



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan 49546-7140

NOTICE OF PUBLIC MEETING VIA VIDEO CONFERENCE

In accordance with Executive Order 2020-75, which declares that public bodies subject to the Open Meetings Act can use telephone and/or video conferencing technology to meet and conduct business during the ongoing COVID-19 pandemic, the Cascade Charter Township Planning Commission will conduct a regular meeting on Monday, December 7th, 2020 at 7:00pm utilizing the Zoom video conferencing platform, for the purpose of conducting official business while complying with Executive Order 2020-77 and the Michigan Department of Health and Human Services recommendations designed to help prevent the spread of COVID-19. For up-to-date information regarding the ongoing public health crisis, please visit:

<http://www.Michigan.gov/coronavirus> or <http://www.CDC.gov/coronavirus>

INSTRUCTIONS FOR ACCESS AND PARTICIPATION

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/86750705343>

Or iPhone one-tap :

US: +13126266799,, 86750705343 # or +19292056099,, 86750705343 #

Or Telephone:

Dial (for higher quality, dial a number based on your current location):

US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1
669 900 6833 or +1 253 215 8782

Webinar ID: 867 5070 5343

International numbers available: <https://us02web.zoom.us/j/86750705343>

Members of the public with disabilities may utilize the Michigan Relay System (7-1-1) to participate in the meeting. If other aids or services are needed for individuals with disabilities please contact the Township Deputy Clerk, Padley Gallagher, at pgallagher@cascadetwp.com or 616-949-1500 at least 24 hours prior to the meeting

PUBLIC PARTICIPATION

Members of the public will be able to listen to and view all discussion by the Planning Commission,; and all official materials for this meeting prepared for the Planning Commission

will be included in the meeting packet and available to the public on the Township website, www.cascadetwp.com.

Individuals will be permitted to speak during public comment periods in accordance with the Township Remote Public Meeting Procedure Policy.

If you would like to contact the Township about any matter, on the agenda or otherwise, please do so via email at the addresses below a minimum of 8 hours prior to the meeting. If you wish comments to be read into the public record during the public comment period, you must indicate so and draft communication that can be read in the allotted 3-minute timeframe.

Clerk Sue Slater: sslater@cascadetwp.com

Manager Ben Swayze: bswayze@cascadetwp.com

Community Dev. Director: speterson@cascadetwp.com

AGENDA
Cascade Charter Township Planning Commission
Monday, December 7, 2020
7:00 pm
Virtual Meeting

- ARTICLE 1. Call the meeting to order
Record the attendance**
- ARTICLE 2. Pledge of Allegiance to the Flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Approve the Minutes of the November 9, 2020 Meeting**
- ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.
(Comments are limited to five minutes per speaker.)**
- ARTICLE 6. Case #20-3614/Hayes, Sue
Public Hearing
Property Address: 4872 Sequoia Dr SE
Requested Action: The applicant is requesting a Type I special use permit to allow a six-foot-tall fence in the front yard and a section of fence above 6 feet tall in a side yard.**
- ARTICLE 7. Case #20-3599/Green Castle Properties
Public Hearing
Property Address: 6095, 6115, 6143 28th St SE
Requested Action: The applicant is requesting preliminary plan approval to amend the existing PUD to accommodate a new car dealership.**
- ARTICLE 8. Any other business**
- ARTICLE 9. Adjournment**

Meeting Format

- | | |
|---|---|
| 1. Staff Presentation | <i>Staff report and recommendation</i> |
| 2. Project presentation- | <i>Applicant presentation and explanation of project</i> |
| a. PUBLIC HEARINGS | |
| i. Open Public Hearing. | <i>Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants</i> |
| ii. Close public hearing | |
| 3. Commission discussion – | <i>May ask for clarification from applicant, staff or public</i> |
| 4. Commission decision - Options | |
| a. Table the decision | <i>d. Approve with conditions</i> |
| b. Deny | <i>e. Recommendation to Township Board</i> |
| c. Approve | |

MINUTES
Cascade Charter Township
Planning Commission
Monday, November 9, 2020
7:00 P.M.
Virtual Meeting

ARTICLE 1. Chairman Rissi called the meeting to order at 7:00 P.M.
Members Present: Johnson, Katsma, Krieter, Slater, Noordyke, Rissi, Moxley, Deering, and Rapin
Members Absent: None
Others Present: Community Development Director, Steve Peterson, and Planner Brian Hilbrands.

ARTICLE 2. Pledge of Allegiance.

ARTICLE 3. Approve the current Agenda.

Motion was made by Member Krieter to approve the Agenda. Supported by Member Deering. Motion carried 9 to 0.

ARTICLE 4. Approve the Minutes of the September 21, 2020 meeting.

Motion was made by Member Katsma to approve the minutes of September 21, 2020 as written. Supported by Member Rapin. Motion carried 9 to 0.

ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.

No visitors came forward.

ARTICLE 6. Case #20-3612/LiveSpace

Property Address: 4995 Starr St SE

Requested Action: Site Plan Review for a 4,000 sq ft addition.

Chairman Rissi stated that he wished to disclose that the company he co-owns does snow plowing at this location. He does not believe this to be a conflict in any way.

Planner Brian Hilbrands stated that the applicant is requesting to build a 4,000 sq ft addition to the existing 17,000 sq ft building. Mr. Hilbrands stated that anything over a 5% increase of the building is required to come before the Planning Commission. This will include an expansion of the existing retention basin in order to accommodate the slight increase, and will require a temporary grading easement for the property to the north as there is a small amount of grading that will go over the property line. Mr. Hilbrands states that this plan has been reviewed by both the Fire Department and Township Engineer.

Mr. Hilbrands states that Staff is recommending approval of the site plan for the 4,000 sq ft addition with the following conditions:

1. The applicant provide approval from the property owner to the north for grading on that property.
2. The applicant complies with the Township Engineers letter dated November 3, 2020 and all necessary permits are obtained before construction begins.
3. The stormwater maintenance agreement is recorded.

Member Moxley asked why the temporary grading easement is needed for the north side of the property. Mr. Hilbrands stated that it is needed in order to accommodate the expansion of the retention basin for silt fencing that may cross the property line.

Member Rapin asked if that easement has been requested. Mr. Hilbrands stated that he has not seen it yet, and that the applicant will need to turn it in before a building permit is approved.

Chairman Rissi invited the applicant to comment.

Mr. Alex Miedema (from Moore & Bruggink, Engineers for this project) stated that the temporary grading easement is to help smooth out the parking lot, and is just a couple of feet over the property line.

Member Slater asked what the business occupying the building is, Mr. Miedema stated that LiveSpace is audio equipment.

Member Moxley asked why the building projects into the retention basin on the NW corner, Mr. Miedema stated that is needed for the 4,000 sq ft addition as the NE corner of the building is almost touching the setback line already. Mr. Miedema stated that the retention basin is being dug out, and will have a greater volume than it had prior to the addition.

Motion was made by Member Johnson to approve the site plan review with the three conditions listed in the Staff report. Supported by Member Krieter. Motion carried 9 to 0.

ARTICLE 7. Any other business

Discussion was held about the continuance of virtual meetings.

ARTICLE 8. Adjournment

Motion was made by Member Johnson to adjourn. Supported by Member Slater. Motion carried 9 to 0. The meeting was adjourned at 7:13 p.m.

Respectfully submitted,
Brett Katsma, Secretary

STAFF REPORT

STAFF REPORT: Case #20-3614/Hayes
REPORT DATE: November 30, 2020
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: December 7, 2020
PREPARED BY: Brian Hilbrands, Planner

OWNER:
Sue Hayes
4872 Sequoia Dr SE
Grand Rapids, MI 49341

STATUS
OF APPLICANT: Property Owner

REQUESTED ACTION: The applicant is requesting a Type I special use permit to allow a 6-foot-tall fence in the front yard and a section of fence above 6-foot-tall in a side yard.

EXISTING ZONING OF
SUBJECT PARCEL(S): R-1, Residential

GENERAL LOCATION: On the Thornapple River south of 48th St

PARCEL SIZE: 0.34 acres

EXISTING LAND USE
ON THE PROPERTY: Residential

ADJACENT AREA
LAND USES: All Residential

ZONING ON
ADJOINING PARCELS: All R-1

STAFF COMMENTS:

1. The applicant is requesting a Type I special use permit to allow for a taller fence in the front yard, and a portion of taller fence in a side yard. Fences in the front yard are limited to 4 feet tall and are limited to 6 feet tall in a side or rear yard unless the Planning Commission approves a special use permit.
2. They have installed a double-sided wooden privacy fence in the side and rear yard along the north property line, and in the front yard along the south property line. The fence was

constructed late this past summer and the excessive height was then brought to our attention by a neighbor. A special use permit application was submitted in October, but it was incomplete. The completed application was then submitted in November.

3. The fence in the front yard is 6-feet-tall and has a length of approximately 22 feet. It is located in a landscape bed along the south property line. The fence begins near the corner of the garage and ends approximately 25 feet from the edge of the pavement of Sequoia Drive, which is about 9 feet short of the front property line.
4. The fence along the north property line has an approximately 15-foot section in the side yard area of panels facing the neighbor that range in height from 6’3” to 6’6” due to slight elevation changes and tree roots. The panels were installed 3 to 6 inches off the ground to match the top of the panels on the property owner’s side of the fence. The panels on the property owner’s side are 6-feet-tall.
5. Fences do not require a building permit but are required to comply with Section 4.30 of the Zoning Ordinance.
6. We have granted other permits for taller fences in the front yard before when it has not created a vision problem.
7. With a Type I special use permit the Planning Commission may allow the height of the fence to increase to 8 feet, however they are only asking to increase to 6 feet in the front yard and 6’6” in the side yard. I have copied for you the section from our ordinance that provides the criteria for you to evaluate the taller fence request.

Conditions for Special Use Permit Approval

Amended by Ord No 5 of 2012 (7/25/12)

Due to the unusual circumstances related to the property location or use of the fence, the height of a fence may be increased to a height of eight (8) feet as measured from final grade in all agricultural, office and residential zoning districts and up to ten (10) feet, as measured from average grade in all other zoning districts. Upon review of a special use permit for additional fence height the Planning Commission shall consider the following:

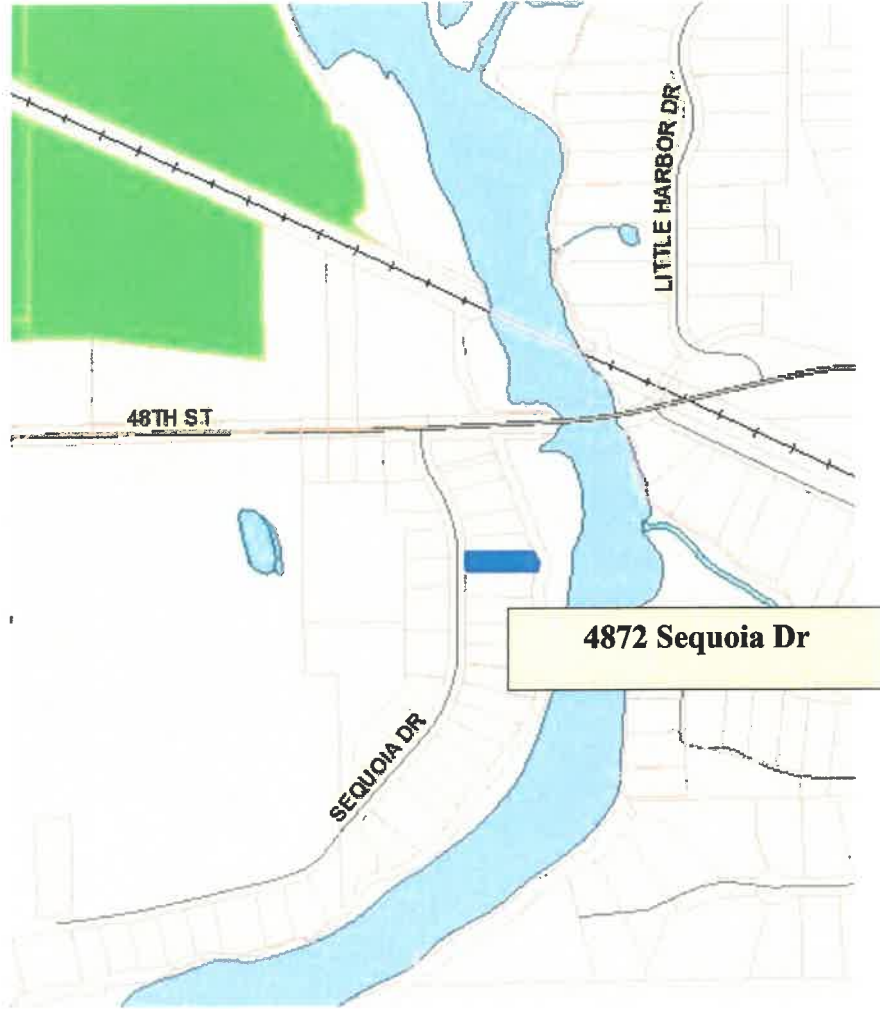
Standard	Comment
To what extent the impact of additional height has on adjoining neighbors.	Little if any for a 6-foot-tall fence.
Whether the additional height severely impacts light and ventilation from flowing onto the adjoining properties.	I do not believe this would be an issue for a 6-foot-tall fence in the front yard or the section of 6’6” fence in the side yard.
Whether the increased height creates a traffic hazard.	The additional height would not create a traffic hazard.
Whether the increased height creates a fire, safety hazard.	Chief Magers has indicated that the increase in height would not create a fire hazard.

Whether the increased height violates any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.).

The Township is unaware of any deed restrictions that would prohibit this fence.

Staff recommends that the Planning Commission approve the 6-foot-tall fence in the front yard and the section of fence above 6-feet tall in the side yard as proposed.

Attachments: application package, Section 4.30 of the zoning ordinance



4872 Sequoia Dr



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan
49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Gabriel Stulp
Address: 6337 Egypt Valley
City & Zip Code: Rockford MI 49341
Telephone: 616-295-8277
Email Address: Exterior.Refresh@gmail.com

OWNER: * (if different from Applicant) Name: See Hayes
Address: 4872 Sequoia Dr SE
City & Zip Code: Grand Rapids MI 49341
Telephone: 616-893-2768
Email Address: Soc@Sellinggr.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. - Rezoning * |
| <input type="checkbox"/> P.U.D. - Site Condominium * | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Subdivision Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 27-402-007

ADDRESS OF PROPERTY: 4872 Sequoia

PRESENT USE OF THE PROPERTY: Residential

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

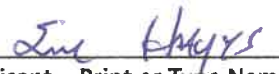
Name(s)	Address(es)
_____	_____
_____	_____

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)


Owner – Print or Type Name
(*If different from Applicant)


Applicant – Print or Type Name

* _____
Owner's Signature & Date
(*If different from Applicant)

 10/6/2020
Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: _____
 Address: _____
 City & Zip Code: _____
 Telephone: _____
 Email Address: _____

OWNER: * (If different from Applicant)

Name: _____
 Address: _____
 City & Zip Code: _____
 Telephone: _____
 Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. – Rezoning * |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Subdivision Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

Privacy fence along side of house is
 6'4" in one section. privacy fence in front
 yard is 6' to hide neighbors mess.

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

Maps 4872 Sequoia Dr SE



Imagery ©2020 Kent County, Maxar Technologies, Map data ©2020 20 ft



fence

4872 Sequoia Dr SE

Grand Rapids, MI 49512
Building

You visited 3 weeks ago

Photos

CHAPTER 4

General Provisions

of all excavation sites shall be sloped at a grade of not less than 2.5 feet horizontal to 1 foot vertical.

- b. Complete extent of areas which will be backfilled and depth of backfill shown with spot elevations.
 - c. Areas and depth of areas to be restored with top soil and other overburden.
 - d. Areas which will contain either standing or runoff water and measures which will be taken to avoid stagnation and erosion.
 - e. Phasing diagram(s) for reclamation.
 - f. A complete landscape plan indicating location and type of proposed and existing landscape features.
 - g. Description of the proposed final use of the site, with discussion of how the proposed use relates to the General Development Plan and zoning districts within the vicinity of the property.
 - h. Estimated timetable clearly expressing the maximum time required for various phases of the reclamation plan.
9. **Financial Guarantee** The Township may require the posting of a financial guarantee consistent with Section 21.09 of this Ordinance.
10. **Existing Mineral Resource Extraction Sites-** Mineral Resource Extraction sites which are actively mined or which have been actively mined within 180 days of enactment of this Section shall be limited to the lot on which the activity exists at the date of enactment of this Section. Further, all existing mineral resource extraction sites which are currently being mined shall be required to submit a reclamation plan consistent with the requirements of this Section within one hundred eighty (180) days following the adoption of this Section. (New Section added by Ordinance #19 of 1990)

Section 4.29 Traffic Visibility Across Corners:

In any residential, business, or industrial district on any corner, no fence, structure or planting over thirty (30) inches in height shall be erected or planted within a twenty foot radius of the corner property lines so as to interfere with traffic visibility across the corner.

Section 4.30 Walls and Fences:

This Section shall apply to all boundary fences, walls, hedges, gatehouses and entrance gates which are not specifically exempted herein. This Section shall not apply to seawalls as regulated by the Michigan Department of Natural Resources.

1. Construction

- a. All fences and walls shall be of sound construction.
- b. No barbed wire, spire tips, sharp objects, or electrically charged fences shall be erected in or abutting any residentially zoned district.
- c. Bona fide agricultural uses may use barbed wire or charged fences to control livestock when located in the ARC, Agricultural Rural Conservation zoning district.
- d. Fence posts and vertical supports must be inside of the fence and facing inside of the property on which the fence is located.

2. Location and Height

- a. Agricultural, Office and Residential Zoning Districts - Unless specifically exempted by a Type I special Use Permit, all walls or fences in the front yard shall be limited to a maximum height of four (4) feet at final grade. The maximum fence or wall height in the side yard or rear yard shall be limited to six (6) feet in height as measured from average grade.
- b. All Other Zoning Districts - Unless specifically exempted by a Type I special Use Permit, all walls or fences in these zoning districts shall be limited to a maximum heights of eight (8) feet. The use of barbed wire strands is permitted provided the strands be restricted to the uppermost portion of the fence and shall not extend lower than a height of six (6) feet from the average grade.
- c. Architectural Features - Fences, walls and hedges for residential, office or commercial use may include architectural features such as columns, cupolas, fountains, parapets, etc. at a height not exceeding 1.5 times the permitted height wall or fence height. Such features must be compatible with the project and abutting properties.



Definitions

General Provisions

Development Review

Zoning Districts

Special Uses

Planned Unit Development

Height, Area, & Placement

Parking & Access

Landscaping

CHAPTER 4 General Provisions

3. **Location Requirements** - Except as specified below, fences, walls and hedges may be erected, placed and maintained along any property line provided:
 - a. It shall be unlawful to construct any wall or fence in any public right-of-way or within the right-of-way easement for private roads.
 - b. No wall, fence, structure or planting over thirty (30) inches in height shall be erected or planted within a twenty (20) foot radius of the corner property lines so as to interfere with traffic visibility across the corner.
4. **Additional Requirements for Commercial, Office and Industrial Areas** - All commercial, office and industrial uses shall provide a continuous visual screen of at least eight (8) feet in height along any lot line abutting a residential use. Such screen shall be installed by the non-residential user and shall be maintained in a sightly manner.
 - a. An entrance gate or gatehouse not approved as part of a Planned Unit Development (PUD) may be permitted by right for security purposes to any development provided the gate or gatehouse is:
 - 1) Not located on a public street or right-of-way; and
 - 2) Located a minimum of one hundred (100) feet back from any public right-of-way or easement; or
 - 3) Designed in such a manner that a minimum of three (3) vehicles can pull safely off the public street while waiting to enter; or
 - 4) The development provides a deceleration-turning lane adjacent to the existing pavement for a minimum distance of three hundred (300) feet leading into the access road, unless more stringent requirements are specified by the Kent County Road Commission.
 - b. Access for emergency vehicles shall be provided. Should an emergency necessitate the breaking of an entrance gate, the costs of repairing the gate and the emergency vehicle (if applicable) shall be the responsibility of the owner and/or operator of the gates.

5. **Conditions for Special Use Permit Approval**

Due to the unusual circumstances related to the property location or use of the fence, the height of a fence may be increased to a height of eight (8) feet as measured from final grade in all agricultural, office

and residential zoning districts and up to ten (10) feet, as measured from average grade in all other zoning districts. Upon review of a special use permit for additional fence height the Planning Commission shall consider the following:

- a. To what extent the impact of additional height has on adjoining property owners.
- b. Whether the additional height severely impacts light and ventilation from flowing onto the adjoining properties.
- c. Whether the increased height creates a traffic hazard.
- d. Whether the increased height creates a fire, safety hazard.
- e. Whether the increased height violates any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.). (New Section added by Ordinance #5 of 2012).

Section 4.31 Residential Front Yard Averaging:

In any ARC, R1 or R2 zoning district where the average front yard setback of two (2) or more buildings within two hundred (200) feet of the lot or parcel in question and on the same side of the street is less than, or greater than, the minimum front yard setback prescribed for the specific zoning district, then the required front yard setback of such lot or parcel shall not be less than the average existing front yard setback or such buildings. In any event, the front yard setback on any lot or parcel shall not be less than ten (10) feet. (New Section added by Ordinance #14 of 1989).

Section 4.32 Resubmission of Applications

No application for a rezoning, planned unit development, special use permit, site plan approval, variance or other zoning approval or project shall be submitted to the Township or be formally considered by a Township board or official (i.e. Township Board, Zoning Board of Appeals, Planning Commission or Planning Director) where such application or project has been previously denied or turned down by the Township unless the new application or project is substantially changed from the prior one. With regard to whether or not substantial changes have occurred since the prior application or project was denied, the Planning Director shall make the determination in the first instance. If the applicant disagrees with the Planning Director's determination, the applicant shall have thirty (30) days to appeal the Planning Director's determination



Definitions

General Provisions

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Height, Area, & Placement

Parking & Access

Landscaping

STAFF REPORT

STAFF REPORT: Case #20-3599/Green Castle Properties
REPORT DATE: November 30, 2020
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: December 7, 2020
PREPARED BY: Brian Hilbrands, Planner

APPLICANT:

Green Castle Properties, LLC
200 Ottawa Ave NW, Ste 800
Grand Rapids, MI 49503

STATUS

OF APPLICANT: Owner

REQUESTED ACTION: The applicant is requesting preliminary plan approval to amend the existing PUD to accommodate a new car dealership.

EXISTING ZONING OF
SUBJECT PARCEL(S):

B-2

GENERAL LOCATION: North side of 28th St, across from Lucerne Dr.

PARCEL SIZE: Approximately 5.9 acres

EXISTING LAND USE
ON THE PROPERTY:

Commercial – Cascade Business Center

ADJACENT AREA
LAND USES:

N – Commercial
S – Commercial
E – Commercial – Cascade Business Center
W – Commercial – Fox Subaru

ZONING ON
ADJOINING PARCELS:

N – PUD 58
S – B-2, PUD 88
E – PUD 33
W – PUD 67

STAFF COMMENTS:

1. The applicant is requesting Preliminary Plan Approval to amend the existing Planned Unit Development to allow for the development of a new 37,803 sq ft car dealership.

2. The parcels are currently zoned B2. These parcels would be added to PUD 67 which is immediately to the west and includes the existing Porsch/Audi and Subaru dealerships. This site was rezoned to PUD in 2001 and amended to the current PUD in 2004 to permit new and used car sales and service.
3. The site was location of three buildings of the Cascade Business Center.
4. The developer is proposing a 37,803 sq ft building for a car dealership, with 367 parking spaces. 70 of these spaces are designated for customer parking. The building height will be approximately 27 feet.
5. The proposed plan allows for cross-access to all the neighboring parcels. The basic plan that you reviewed at your September meeting included an additional driveway access in the northeast corner to the parcel to the east, but that has now been removed. It still maintains a driveway access to that parcel in the southeast corner.
6. The plan provides for two driveway access to 28th Street. The existing site had four driveways accessing 28th Street, so the plan is eliminating two of those drives. Initial comments from the KCRC are that the eastern driveway will need to be moved to line up with Lucerne Drive across 28th Street. The plans will need to be revised to address those comments.
7. A revised lighting photometric plan is required. The original photometric plan showed illumination levels well above the 5.0 foot-candles that are allowed.
8. The application includes a number of proposed wall signs and a ground sign for the project. Sign permits are approved using a separate application that can be applied for at a later time.
9. The applicant is proposing to combine the three parcels along 28th Street (6095, 6115 and 6143 28th Street) and possibly 6120 Charlevoix Woods Ct as well. The applicant has indicated that the owner is not yet sure if they will include 6120 Charlevoix Woods Ct in the combination. Staff have stated that they would prefer that 6120 Charlevoix Woods Ct be included in the lot combination so that it does not turn into a leftover parcel with only a parking lot. If 6120 Charlevoix Woods Ct is not included then the building setback to the north property line would be approximately 47.8', which is less than the 50' setback currently required in the PUD.
10. The township engineer has reviewed the plans and has asked for revisions regarding the detention system before they complete their review letter. Once the township engineer has received and approved the revised plans, the plans will need to be sent to the KCDC for approval.
11. The Zoning Ordinance requires a 25' wide bufferyard along the west property line between the proposed building and the existing Subaru building, also located in PUD 67. The bufferyard shown in the plan is narrower than the required width. However, what

they are requesting is consistent with what currently exists on the site and there is extensive landscaping included. The narrow bufferyard can be addressed in the PUD amendment.

12. The application includes an extensive landscaping plan with plantings around the perimeter of the site as well as islands in the parking lot. A landscape bond in the amount of \$27,000 will be required prior to obtaining a building permit.
13. If Preliminary Plan Approval is given, then a PUD amendment will be written and brought back before the Planning Commission for a recommendation to the Township Board.

14. Standards

Section 16.03 of the Zoning Ordinance requires that a Planned Unit Development must demonstrate that:

Standard	Staff Comment
Granting of the Planned Unit Development rezoning will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved.	PUD 67 already includes the existing Porsch/Audi and Subaru dealerships. Adding these additional parcels to the PUD allows for the same standards and requirements to be applied to the new dealership.
In relation to underlying zoning, the proposed type and density of use shall not result in a material increase in the need for public services, facilities and utilities, and shall not place a material burden upon the subject or surrounding land or property owners and occupants or the natural environment.	The proposed use would not result in an increase in the need of public services.
The proposed development shall be compatible with the General Development Plan of the Township and shall be consistent with the intent and spirit of this Chapter.	The proposed use is consistent with the master plan.
In relation to the underlying zoning, the proposed development shall not result in an unreasonable negative economic impact upon surrounding properties.	The proposed use should not result in an unreasonable economic impact.
The proposed development shall contain at least as much green area and usable open space as would otherwise be required by this Ordinance with respect to the most dominant use in the development.	Met

<p>The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. This provision shall not prohibit a transfer of ownership or control, upon due notice to the Planning Director of the Township.</p>	<p>Met</p>
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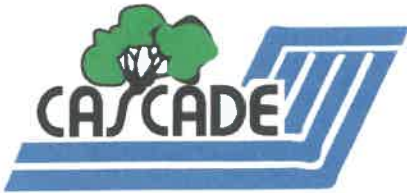
Staff Recommendation

Staff recommends tabling any decision until the applicant has submitted the following information:

1. A revised site plan that addresses the KCRC comments regarding the location of the driveways along 28th Street.
2. A revised stormwater plan that addresses the township engineer’s comments regarding the detention system. Once reviewed by the township engineer these plans should also be sent to the KCDC for review and approval.
3. A revised photometric plan.

ATTACHMENTS:

- Application
- Site Plan
- Architectural Plans
- Photometric Plan
- Current PUD Ordinance East Imports #1 of 2004



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan
49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Green Castle Properties, LLC
Address: 200 Ottawa Avenue, NW; Ste 800
City & Zip Code Grand Rapids, MI 49503
Telephone: 616-774-4044
Email Address: cschiefler@dpfox.com

OWNER: * (If different from Applicant)

Name: _____
Address: _____
City & Zip Code: _____
Telephone: _____
Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input checked="" type="checkbox"/> P.U.D. – Rezoning * |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Subdivision Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

Demolition of existing buildings and construction of new car dealership and supporting customer parking and inventory parking.

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

See Attachment

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 08-451-054, -031, -032, -052

ADDRESS OF PROPERTY: 6095, 6115, 6143 28th Street, SE & 6120 Charlevoix Woods Court SE

PRESENT USE OF THE PROPERTY: Miscellaneous Retail & Business

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
<hr/>	<hr/>
<hr/>	<hr/>

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Owner – Print or Type Name
(*If different from Applicant)

Green Castle Properties, LLC
Applicant – Print or Type Name

*
Owner’s Signature & Date
(*If different from Applicant)

Colin Schiefler 08/05/2020
Applicant’s Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU



November 09, 2020

Mr. Steve Peterson, Director
Community Development
Cascade Township
2865 Thornhills Avenue SE
Grand Rapids, Michigan 49546

RE: Fox Subaru; PUD Amendment Submittal
Cascade Township, Kent County, MI

Dear Mr. Peterson:

Enclosed, along with this cover letter, are the following items being submitted for Cascade Township PUD Amendment for the Fox Subaru project located at 6095, 6115, 6143 28th Street and 6120 Charlevoix Woods Court SE in Cascade Township, Kent County, MI;

- Five (5) copies of the site plan and architectural plans.
- Planning Zoning Application
- Legal Descriptions of the Parcels
- Purchase Agreement
- Stormwater Calculations
- Soil borings
- Parcel combination exhibit

We request review of the abovementioned items with subsequent placement of the project on the agenda of the December 7th Planning Commission meeting.

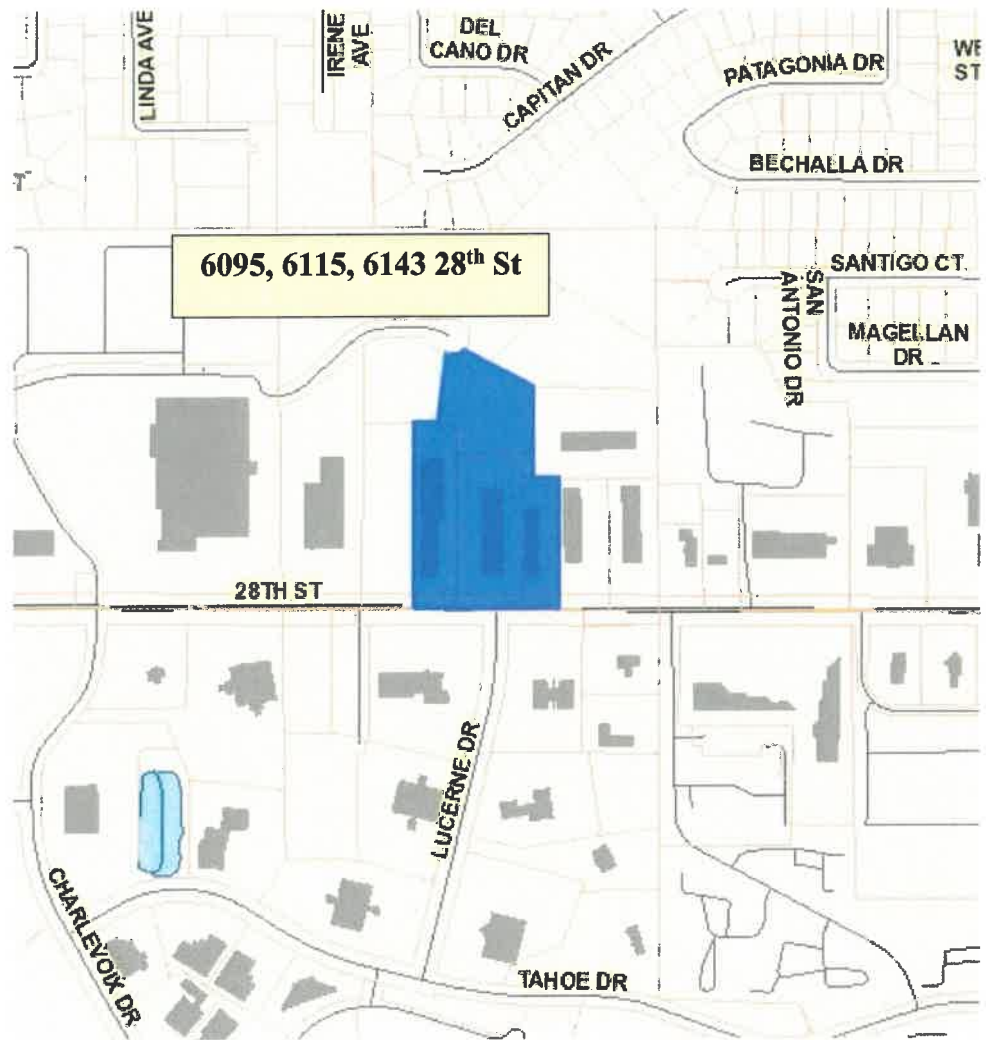
If you have any questions or require additional information, please contact me at (616) 575-5190 or via email at bsimon@nederveld.com.

Sincerely,

A handwritten signature in blue ink, appearing to read 'BSi', is written over a light blue horizontal line.

Brandon Simon, PE
Project Engineer

K:\2019\194\19400962\OUTGOING\Cascade Township Submittals\2020.11.09.Submittal\1. CoverLetter.StevePeterson.docx



TITLE

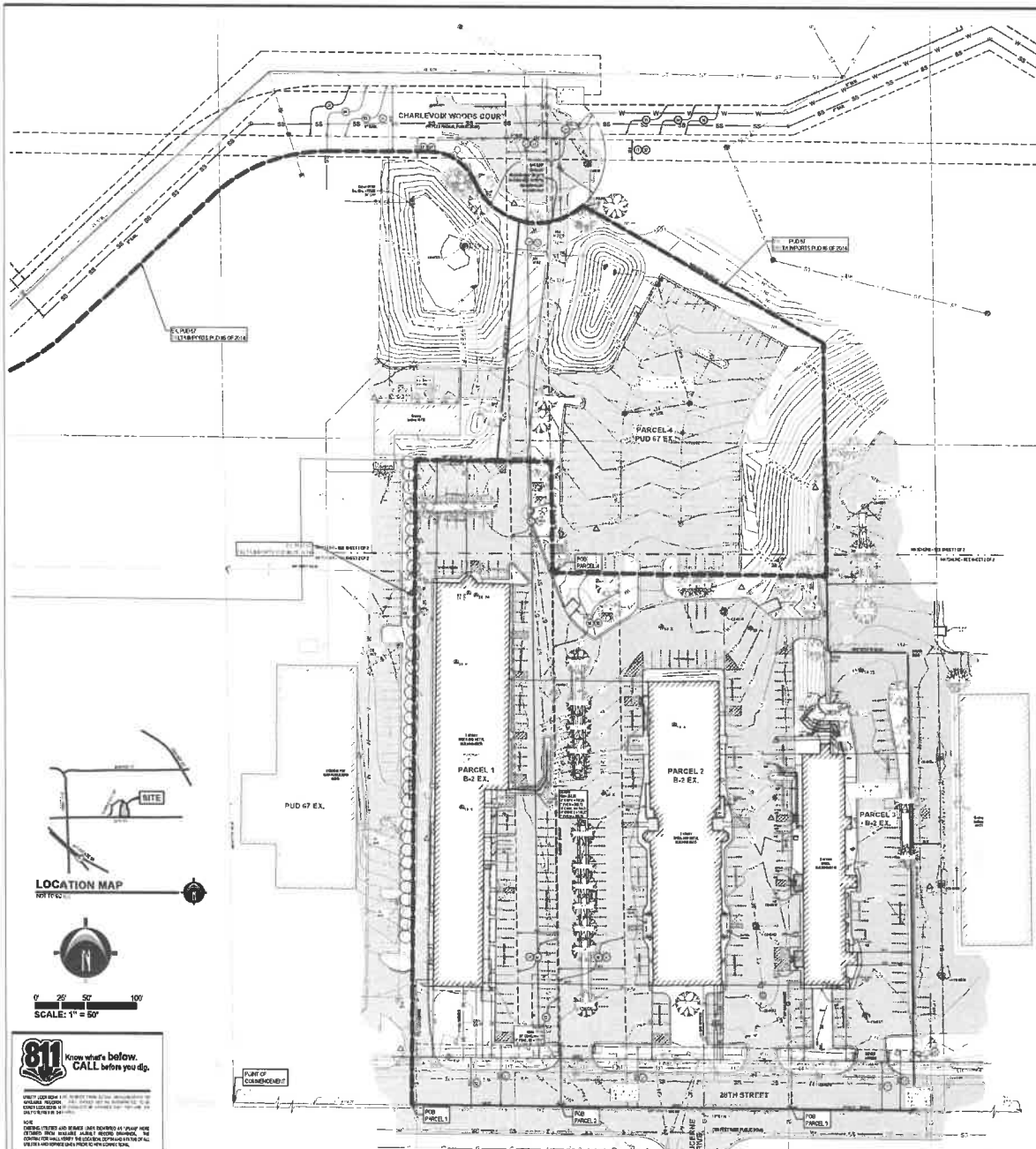


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Printed 9/16/2020 1:47:49 PM



STRUCTURE INFORMATION

Table with columns for structure ID, location, and details. Includes entries for various structures like 'Structure 101', 'Structure 102', etc.

LEGEND

Legend table listing symbols for various features: Air Conditioner, Cable, Catch Basin, etc.

TITLE DESCRIPTION

The land shown in this Commitment is described as follows: Located in the Township of Cascade, County of Kent, State of Michigan, PARCEL 1: Part of the Southwest 1/4 of Section 8, Town 6 North, Range 19 West, Cascade Township, Kent County, Michigan, described as: Commencing 45.425 feet East along the South Section line from the South 1/4 corner, thence East along the South Section line, 148.160 feet; thence North 87°41'11\"/>

SCHEDULE B - SECTION II NOTES

- 11. Easements and the terms, conditions and provisions thereof which are recited in the Highway Easement Release recorded in Liber 122 of Misc. Records, Page 277. The easement described in this document is not shown and does not touch the surveyed property is not shown on this survey.
12. Easements and the terms, conditions and provisions thereof which are recited in the Release of Right of Way recorded in Liber 717, Page 515. The easement described in this document is shown on this survey.
13. Easements and the terms, conditions and provisions thereof which are recited in the Drainage Easement Release recorded in Liber 2193, Page 10. The easement described in this document is shown on this survey.
14. Easements and the terms, conditions and provisions thereof which are recited in the General Easement and Right of Way recorded in Liber 2178, Page 311. The easement described in this document is shown on this survey.
15. Easement granted to Michigan Bell Telephone Company recorded in Liber 2519, Page 155. The easement described in this document is shown on this survey.
16. Terms, conditions and provisions which are recited in the Easement of Agreement of Easement recorded in Liber 2796, Page 503. The easement described in this document is shown on this survey.
17. Easements and the terms, conditions and provisions thereof which are recited in the Declaration of Utility Easement recorded in Liber 2801, Page 322. The easement described in this document is shown on this survey.
18. Easements and the terms, conditions and provisions thereof which are recited in the Declaration of Utility Easement recorded in Liber 2801, Page 361. The easement described in this document is not shown and does not touch the surveyed property is not shown on this survey.
19. Easement of Access Easement as declared by the Warranty Deed recorded in Liber 4383, Page 425. The easement described in this document is shown on this survey.
20. Easements and the terms, conditions and provisions thereof which are recited in the Sidewalk Easement recorded in Instrument No. 20080702407605. The easement described in this document is shown on this survey.
21. Easements and the terms, conditions and provisions thereof which are recited in the Sidewalk Easement recorded in Instrument No. 20080702407606. The easement described in this document is shown on this survey.
22. Easements and the terms, conditions and provisions thereof which are recited in the Sidewalk Easement recorded in Instrument No. 20080702407608. The easement described in this document is shown on this survey.
23. Easements and the terms, conditions and provisions thereof which are recited in the Shared Driveway Easement Agreement recorded in Instrument No. 20170214219376. The easement described in this document is shown on this survey.
24. Easements and the terms, conditions and provisions thereof which are recited in the Easement of Access recorded in Liber 2119, Page 513. The easement described in this document is shown on this survey.
25. Terms, conditions and provisions which are recited in an Easement Agreement recorded in Liber 2794, Page 504. The easement described in this document is shown on this survey.
26. Terms, conditions and provisions which are recited in a First Amendment to General Easement and Right of Way Agreement recorded in Liber 4281, Page 1902. No survey made.
27. Easements for Emergency Access in the instrument recorded in Liber 4383, Page 425. The easement described in this document is shown on this survey.
28. Easement for public utility purposes vested in City of Grand Rapids by instrument recorded in Liber 4387, Page 231. The easement described in this document is shown on this survey.
29. Easement for public utility purposes vested in City of Grand Rapids by instrument recorded in Liber 4482, Page 587. The easement described in this document is shown on this survey.
30. Easement for sewer and watermain purposes vested in City of Grand Rapids by instrument recorded in Liber 4428, Page 692. The easement described in this document is shown on this survey.
31. Terms, conditions and provisions which are recited in Declaration of Utility Easement recorded in Liber 2801, Page 351. The easement described in this document is not shown and does not touch the surveyed property is not shown on this survey.
32. Terms, conditions and provisions which are recited in Declaration of Utility Easement recorded in Liber 2801, Page 352. The easement described in this document is shown on this survey.

NEDERVELD logo and contact information: www.nederveld.com, 800.222.1668, GRAND RAPIDS, 170 Ottawa Ave., S.W. 3rd Floor, Grand Rapids, MI 49503, Phone 616.733.9591

PREPARED FOR: Green Castle Properties, LLC, Colin Schellor, 200 Ottawa Avenue NW, Suite 403, Grand Rapids, MI 49503

REVISIONS table with columns for Date, Description, and Author. Includes entries for 10/13/2017, 10/13/2017, 10/13/2017, 10/13/2017, 10/13/2017.

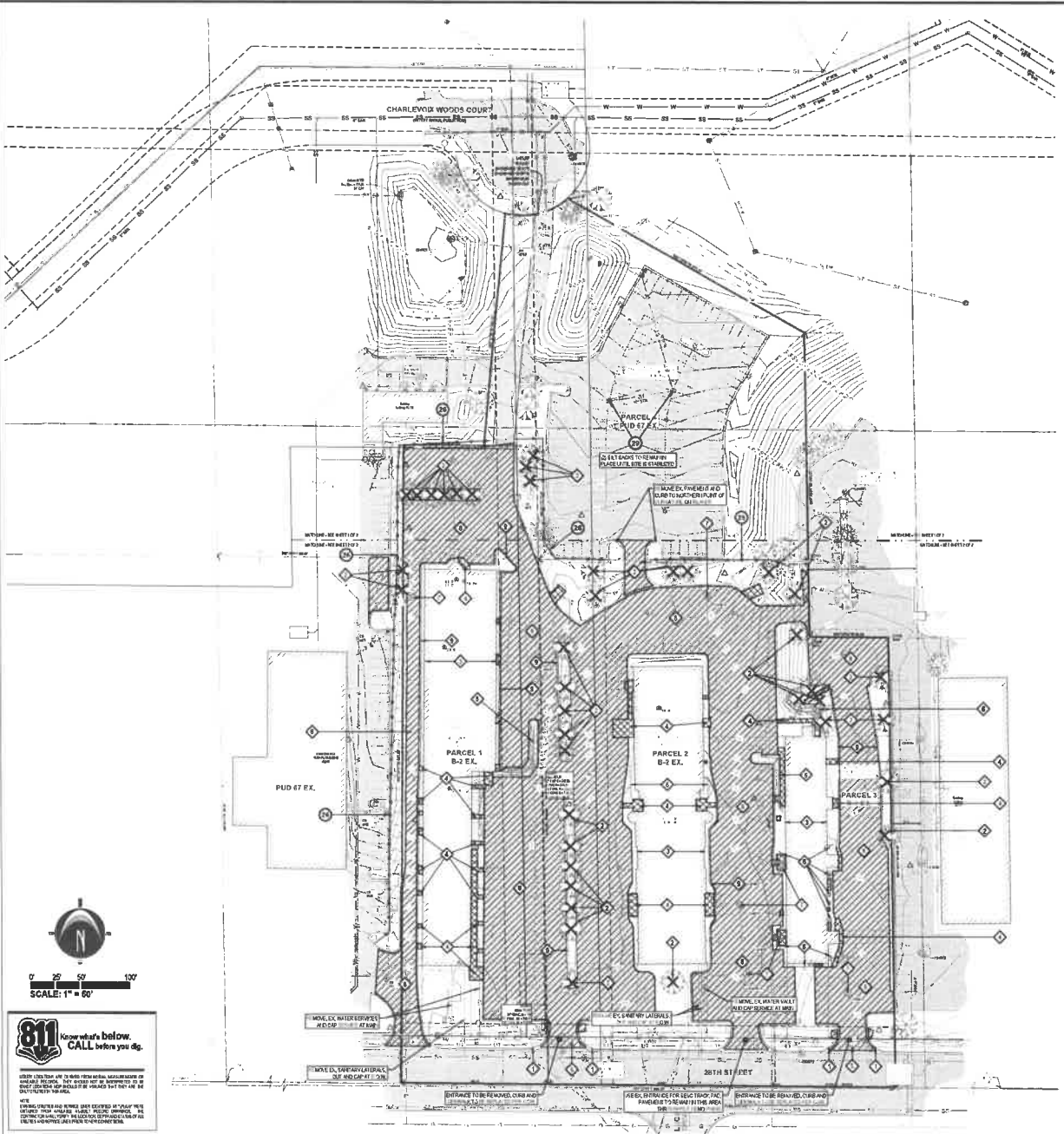
28TH STREET PARCELS Existing Site Conditions Plan 605, 615 and 619-28th Street and 612-614 Cascade Woods Court SE PART OF THE SOUTHEAST 1/4 OF SECTION 8, TOWN 6 NORTH, RANGE 19 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

STAMP:

PROJECT NO: 1840992

SHEET NO: C-201

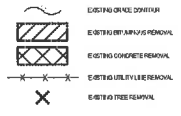




REMOVAL / DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF DEMOLITION OPERATIONS. THERE ARE EITHER A COPIED OR FIELD LOCATIONS FOR THE PROPOSED REMOVAL WORK. WHERE A FIELD LOCATION IS REQUIRED, THE CONTRACTOR SHALL OBTAIN THE REQUIRED EXEMPTION FROM THE NEIGHBORHOOD OFFICIALS.
2. ALL UTILITIES TO BE REMOVED SHALL BE IDENTIFIED AND MARKED PRIOR TO THE BEGINNING OF DEMOLITION OPERATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE BEGINNING OF DEMOLITION OPERATIONS. THE CONTRACTOR SHALL OBTAIN THE REQUIRED EXEMPTION FROM THE NEIGHBORHOOD OFFICIALS.
3. ALL UTILITIES TO BE REMOVED SHALL BE IDENTIFIED AND MARKED PRIOR TO THE BEGINNING OF DEMOLITION OPERATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE BEGINNING OF DEMOLITION OPERATIONS. THE CONTRACTOR SHALL OBTAIN THE REQUIRED EXEMPTION FROM THE NEIGHBORHOOD OFFICIALS.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE BEGINNING OF DEMOLITION OPERATIONS. THE CONTRACTOR SHALL OBTAIN THE REQUIRED EXEMPTION FROM THE NEIGHBORHOOD OFFICIALS.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE BEGINNING OF DEMOLITION OPERATIONS. THE CONTRACTOR SHALL OBTAIN THE REQUIRED EXEMPTION FROM THE NEIGHBORHOOD OFFICIALS.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE BEGINNING OF DEMOLITION OPERATIONS. THE CONTRACTOR SHALL OBTAIN THE REQUIRED EXEMPTION FROM THE NEIGHBORHOOD OFFICIALS.
7. ALL UTILITIES TO BE REMOVED SHALL BE IDENTIFIED AND MARKED PRIOR TO THE BEGINNING OF DEMOLITION OPERATIONS. THE CONTRACTOR SHALL OBTAIN THE REQUIRED EXEMPTION FROM THE NEIGHBORHOOD OFFICIALS.

LEGEND



REMOVAL / DEMOLITION NOTES

- ◆ REMOVE EXISTING CONCRETE CURB & GUTTER
- ◆ REMOVE EXISTING BRICK CURB & GUTTER
- ◆ REMOVE EXISTING BRICK CURB
- ◆ REMOVE EXISTING STRUCTURE
- ◆ REMOVE EXISTING CONCRETE SIDEWALK
- ◆ REMOVE EXISTING CONCRETE SIDEWALK
- ◆ REMOVE EXISTING RETAINING WALL
- ◆ REMOVE EXISTING STRUCTURE

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. CONTRACTOR SHALL PROVIDE THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE START OF ANY DEMOLITION WORK.
2. CONTRACTOR SHALL VERIFY THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE START OF ANY DEMOLITION WORK.
3. EROSION PROTECTION SHALL BE PROVIDED AT ALL EXPOSED SOIL AREAS AND SHALL BE MAINTAINED THROUGHOUT THE DEMOLITION PROCESS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE START OF ANY DEMOLITION WORK.



NOTE: EXISTING STRUCTURES SANITARY SEWER LATERALS TO BE CUT AND CAPPED AT THE RIGHT OF WAY. EXISTING STRUCTURE WATER / FIRE LINES TO BE CUT AND CAPPED AT THE MAIN.



NEDERVELD
 www.nederveld.com
 800.222.1868
GRAND RAPIDS
 377 Franklin Ave. SW
 Grand Rapids, MI 49503
 Phone: (616) 275-1511
 CHICAGO
 COLUMBIAN
 HULLLAND
 INDEPENDENCE
 ST. LOUIS

PREPARED FOR:
 Green Castle Properties, LLC
 Colin Schrader
 200 Ottawa Avenue NW
 Suite 403
 Grand Rapids, MI 49503

REVISIONS:

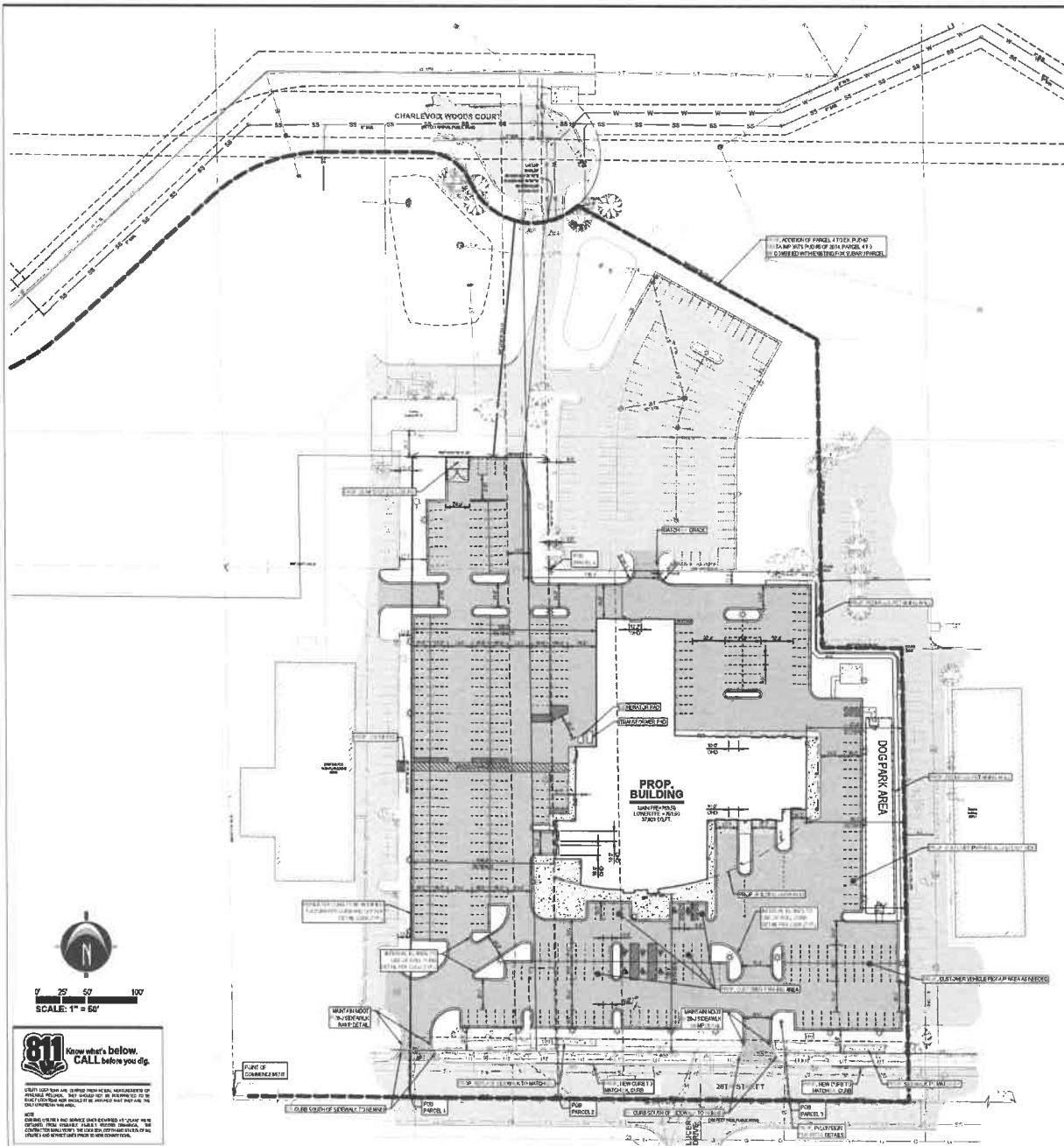
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28TH STREET PARCELS
 Demolition & SESC Plan
 PART OF THE SOUTHWEST 1/4 OF SECTION 18, T8N, R10W, GARAGE TOWNSHIP, KENT COUNTY, MICHIGAN

STAMP:

PROJECT NO:
 19400962
SHEET NO:
C-203

811 Know what's below. CALL before you dig.
 1-800-4-A-DIG
 1-800-486-4868
 www.811.org



LEGEND

- EXISTING RETAIL AREA
- EXISTING DRIVE
- PROPOSED RETAIL/RESIDENTIAL
- PROPOSED DRIVE
- PROPOSED DRIVE
- PROPOSED DRIVE
- PROPOSED DRIVE
- PROPOSED DRIVE

GENERAL NOTES

1. DELTA IMPACTS, AND OTHER TESTS, SHALL BE CONDUCTED BY THE CLIENT AT THE PROPERTY TO BE DEVELOPED.
2. DELTA IMPACTS, AND OTHER TESTS, SHALL BE CONDUCTED BY THE CLIENT AT THE PROPERTY TO BE DEVELOPED.
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20. DELTA IMPACTS, AND OTHER TESTS, SHALL BE CONDUCTED BY THE CLIENT AT THE PROPERTY TO BE DEVELOPED.

NEDERVELD
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 GRAND RAPIDS
 277 Dundas Ave., Suite 302
 Grand Rapids, MI 49503
 Phone: 616.265.9100

PREPARED FOR:
 Crown Castle Properties, LLC
 Colin Schlar
 200 Ottawa Avenue NW
 Suite 403
 Grand Rapids, MI 49503

REVISIONS:

Rev.	By	Checked	Date
1	ES	ES	01/11/2019
2	ES	ES	01/11/2019
3	ES	ES	01/11/2019
4	ES	ES	01/11/2019
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19	ES	ES	01/11/2019
20	ES	ES	01/11/2019

28TH STREET PARCELS
Site Layout Plan
 6005 211E 14TH ST SW, Grand Rapids, MI 49503
 PART OF THE 28TH STREET PARCELS, ALL OF SECTION 16, T4N, 18W, GR
 CASCADE TOWNSHIP, WEST COUNTY, MICHIGAN

STAMP:

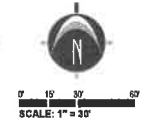
PROJECT NO:
19400952

SHEET NO:
C-205



811 Know what's below. CALL before you dig.

811 CALLS ARE REQUIRED FOR ALL UTILITIES BEFORE ANY CONSTRUCTION OR LANDSCAPE WORK. CALL 811 AT LEAST 48 HOURS BEFORE THE START OF ANY WORK. FAILURE TO CALL 811 MAY RESULT IN DAMAGE TO UTILITIES AND PERSONAL LIABILITY. THE CALLER IS RESPONSIBLE FOR PROVIDING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CALLER IS RESPONSIBLE FOR PROVIDING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CALLER IS RESPONSIBLE FOR PROVIDING THE LOCATION AND DEPTH OF ALL UTILITIES.



LEGEND

- ELEVATION CONTROL
- PROP. UNDER CONSTRUCTION
- D. BRICK/STONE
- D. CONCRETE
- PROPOSED BRICK/STONE
- PROPOSED CONCRETE
- PROPOSED ASPHALT DRIVE/PAVEMENT
- PROPOSED SIDEWALK
- PROPOSED WATER MAIN

LEGEND

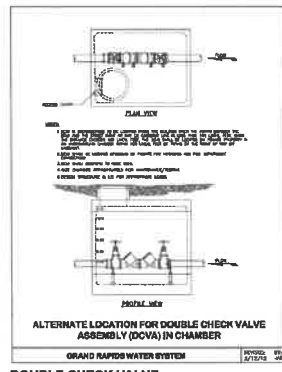
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- 1/2" CLEARANCE REQUIRED
- 3/4" CLEARANCE REQUIRED
- 1" CLEARANCE REQUIRED

STORM SEWER DRAINAGE PIPES

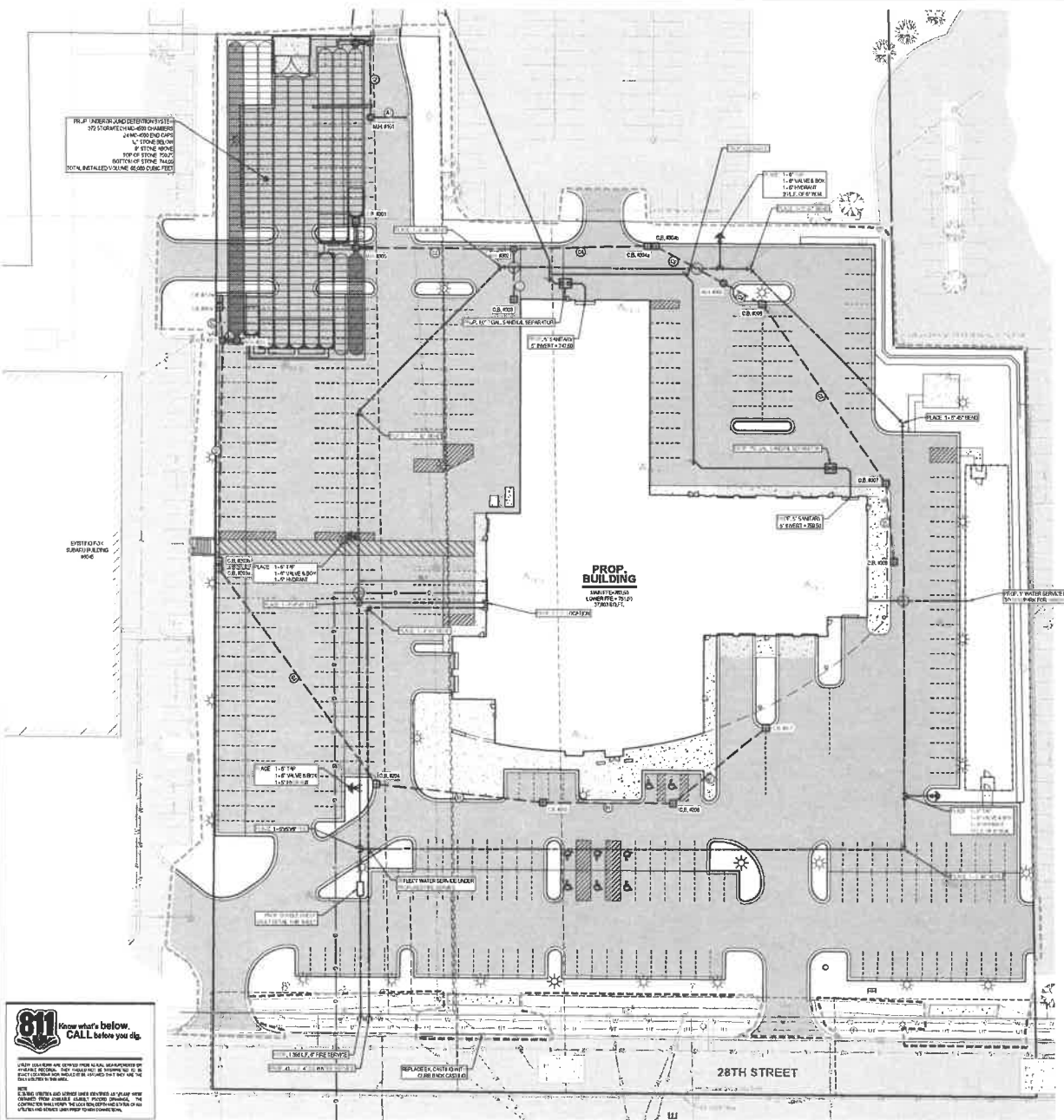
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A2	42'	36"	2.20%	SLCFF
A3	9'	36"	2.20%	SLCFF
B1	20'	36"	2.20%	SLCFF
B2	9'	36"	2.54%	SLCFF
B3	132'	36"	1.80%	SLCFF
B4	102'	36"	1.50%	SLCFF
B5	39'	36"	1.40%	SLCFF
B6	72'	36"	0.91%	SLCFF
B7	39'	36"	0.91%	SLCFF
B8	39'	36"	0.91%	SLCFF
B9	39'	36"	0.91%	SLCFF
B10	39'	36"	0.91%	SLCFF
B11	39'	36"	0.91%	SLCFF
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B46	39'	36"	0.91%	SLCFF
B47	39'	36"	0.91%	SLCFF
B48	39'	36"	0.91%	SLCFF
B49	39'	36"	0.91%	SLCFF
B50	39'	36"	0.91%	SLCFF

STORM SEWER DRAINAGE STRUCTURES

PROP. #	RUN	INVERTS	DIA.	TYPE
01	744.0	3.74	36"	EMW 36x40
02	740.1	3.74	36"	EMW 36x40
03	733.1	3.74	36"	EMW 36x40
04	726.1	3.74	36"	EMW 36x40
05	719.1	3.74	36"	EMW 36x40
06	712.1	3.74	36"	EMW 36x40
07	705.1	3.74	36"	EMW 36x40
08	698.1	3.74	36"	EMW 36x40
09	691.1	3.74	36"	EMW 36x40
10	684.1	3.74	36"	EMW 36x40
11	677.1	3.74	36"	EMW 36x40
12	670.1	3.74	36"	EMW 36x40
13	663.1	3.74	36"	EMW 36x40
14	656.1	3.74	36"	EMW 36x40
15	649.1	3.74	36"	EMW 36x40
16	642.1	3.74	36"	EMW 36x40
17	635.1	3.74	36"	EMW 36x40
18	628.1	3.74	36"	EMW 36x40
19	621.1	3.74	36"	EMW 36x40
20	614.1	3.74	36"	EMW 36x40
21	607.1	3.74	36"	EMW 36x40
22	600.1	3.74	36"	EMW 36x40
23	593.1	3.74	36"	EMW 36x40
24	586.1	3.74	36"	EMW 36x40
25	579.1	3.74	36"	EMW 36x40
26	572.1	3.74	36"	EMW 36x40
27	565.1	3.74	36"	EMW 36x40
28	558.1	3.74	36"	EMW 36x40
29	551.1	3.74	36"	EMW 36x40
30	544.1	3.74	36"	EMW 36x40
31	537.1	3.74	36"	EMW 36x40
32	530.1	3.74	36"	EMW 36x40
33	523.1	3.74	36"	EMW 36x40
34	516.1	3.74	36"	EMW 36x40
35	509.1	3.74	36"	EMW 36x40
36	502.1	3.74	36"	EMW 36x40
37	495.1	3.74	36"	EMW 36x40
38	488.1	3.74	36"	EMW 36x40
39	481.1	3.74	36"	EMW 36x40
40	474.1	3.74	36"	EMW 36x40
41	467.1	3.74	36"	EMW 36x40
42	460.1	3.74	36"	EMW 36x40
43	453.1	3.74	36"	EMW 36x40
44	446.1	3.74	36"	EMW 36x40
45	439.1	3.74	36"	EMW 36x40
46	432.1	3.74	36"	EMW 36x40
47	425.1	3.74	36"	EMW 36x40
48	418.1	3.74	36"	EMW 36x40
49	411.1	3.74	36"	EMW 36x40
50	404.1	3.74	36"	EMW 36x40



DOUBLE CHECK VALVE VAULT DETAIL



811 Know what's below. CALL before you dig.

UTILITY LOCATIONS ARE SHOWN FROM PUBLIC RECORDS AND FIELD SURVEY. LOCATIONS OF PRIVATE UTILITIES, SUCH AS SEWER, GAS, AND CABLE, SHOULD BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN.

NEOVERVELD
www.neoverveld.com
800.222.1668
GRAND RAPIDS
177 Douglas Ave., Suite 302
Grand Rapids, MI 49503
Phone 616.255.6150

PREPARED FOR:
Green Castle Properties, LLC
Colin Schlar
200 Ottawa Avenue NW
Suite 403
Grand Rapids, MI 49503

REVISIONS:

No.	Description	Checked By	Date
1	1/4\"/> 1/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
2	1/2\"/> 1/2" CLEARANCE REQUIRED	Colin Schlar	07/15/19
3	3/4\"/> 3/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
4	1\"/> 1" CLEARANCE REQUIRED	Colin Schlar	07/15/19
5	1/4\"/> 1/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
6	1/2\"/> 1/2" CLEARANCE REQUIRED	Colin Schlar	07/15/19
7	3/4\"/> 3/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
8	1\"/> 1" CLEARANCE REQUIRED	Colin Schlar	07/15/19
9	1/4\"/> 1/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
10	1/2\"/> 1/2" CLEARANCE REQUIRED	Colin Schlar	07/15/19
11	3/4\"/> 3/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
12	1\"/> 1" CLEARANCE REQUIRED	Colin Schlar	07/15/19
13	1/4\"/> 1/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
14	1/2\"/> 1/2" CLEARANCE REQUIRED	Colin Schlar	07/15/19
15	3/4\"/> 3/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
16	1\"/> 1" CLEARANCE REQUIRED	Colin Schlar	07/15/19
17	1/4\"/> 1/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
18	1/2\"/> 1/2" CLEARANCE REQUIRED	Colin Schlar	07/15/19
19	3/4\"/> 3/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
20	1\"/> 1" CLEARANCE REQUIRED	Colin Schlar	07/15/19
21	1/4\"/> 1/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
22	1/2\"/> 1/2" CLEARANCE REQUIRED	Colin Schlar	07/15/19
23	3/4\"/> 3/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
24	1\"/> 1" CLEARANCE REQUIRED	Colin Schlar	07/15/19
25	1/4\"/> 1/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
26	1/2\"/> 1/2" CLEARANCE REQUIRED	Colin Schlar	07/15/19
27	3/4\"/> 3/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
28	1\"/> 1" CLEARANCE REQUIRED	Colin Schlar	07/15/19
29	1/4\"/> 1/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
30	1/2\"/> 1/2" CLEARANCE REQUIRED	Colin Schlar	07/15/19
31	3/4\"/> 3/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
32	1\"/> 1" CLEARANCE REQUIRED	Colin Schlar	07/15/19
33	1/4\"/> 1/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
34	1/2\"/> 1/2" CLEARANCE REQUIRED	Colin Schlar	07/15/19
35	3/4\"/> 3/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
36	1\"/> 1" CLEARANCE REQUIRED	Colin Schlar	07/15/19
37	1/4\"/> 1/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
38	1/2\"/> 1/2" CLEARANCE REQUIRED	Colin Schlar	07/15/19
39	3/4\"/> 3/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
40	1\"/> 1" CLEARANCE REQUIRED	Colin Schlar	07/15/19
41	1/4\"/> 1/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
42	1/2\"/> 1/2" CLEARANCE REQUIRED	Colin Schlar	07/15/19
43	3/4\"/> 3/4" CLEARANCE REQUIRED	Colin Schlar	07/15/19
44	1\"/> 1" CLEARANCE REQUIRED	Colin Sch	

PROJECT INFORMATION

Client: FOX SUBARU
 Address: GRAND RAPIDS, MI
 Project: MC-488 STORMTECH CHAMBER SPECIFICATIONS

ADVANCED DRAINAGE SYSTEMS, INC.

ASSEMBLY

FOX SUBARU
 GRAND RAPIDS, MI

MC-488 STORMTECH CHAMBER SPECIFICATIONS

IMPORTANT - NOTES FOR THE DESIGN AND INSTALLATION OF MC-488 CHAMBER SYSTEMS

1. Chambers shall be installed in accordance with the specifications and drawings provided herein.
2. Chambers shall be installed in accordance with the specifications and drawings provided herein.
3. Chambers shall be installed in accordance with the specifications and drawings provided herein.
4. Chambers shall be installed in accordance with the specifications and drawings provided herein.
5. Chambers shall be installed in accordance with the specifications and drawings provided herein.
6. Chambers shall be installed in accordance with the specifications and drawings provided herein.
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20. Chambers shall be installed in accordance with the specifications and drawings provided herein.

NOTES

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17. Chambers shall be installed in accordance with the specifications and drawings provided herein.
18. Chambers shall be installed in accordance with the specifications and drawings provided herein.
19. Chambers shall be installed in accordance with the specifications and drawings provided herein.
20. Chambers shall be installed in accordance with the specifications and drawings provided herein.

ACCEPTABLE FILL MATERIALS: STORMTECH MC-488 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	ACCEPTED MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
1. Chamber Bed
2. Chamber Bed
3. Chamber Bed
4. Chamber Bed
5. Chamber Bed
6. Chamber Bed
7. Chamber Bed
8. Chamber Bed
9. Chamber Bed
10. Chamber Bed
11. Chamber Bed
12. Chamber Bed
13. Chamber Bed
14. Chamber Bed
15. Chamber Bed
16. Chamber Bed
17. Chamber Bed
18. Chamber Bed
19. Chamber Bed
20. Chamber Bed

INSPECTION & MAINTENANCE

1. Chambers shall be inspected in accordance with the specifications and drawings provided herein.
2. Chambers shall be inspected in accordance with the specifications and drawings provided herein.
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17. Chambers shall be inspected in accordance with the specifications and drawings provided herein.
18. Chambers shall be inspected in accordance with the specifications and drawings provided herein.
19. Chambers shall be inspected in accordance with the specifications and drawings provided herein.
20. Chambers shall be inspected in accordance with the specifications and drawings provided herein.

MC-488 TECHNICAL SPECIFICATION

MC-488 END CAP DETAIL

NEDERVELD

www.nederveld.com
 800.222.1868

GRAND RAPIDS
 27 Grandville Ave., Suite 302
 Grand Rapids, MI 49503
 Phone 616.252.9191

MAINTENANCE
 "COLLECTIVE"
 INDIANA

PREPARED FOR:
 Green Castle Properties, LLC
 Colin Scheller

200 Ottawa Avenue NW
 Suite 403
 Grand Rapids, MI 49503

REVISIONS:

Rev	Description	Checked By	Date
1	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
2	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
3	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
4	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
5	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
6	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
7	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
8	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
9	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
10	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
11	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
12	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
13	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
14	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
15	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
16	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
17	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
18	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
19	File: 19460962.dwg	Checked: AS	Date: 11/21/2019
20	File: 19460962.dwg	Checked: AS	Date: 11/21/2019

28TH STREET PARCELS

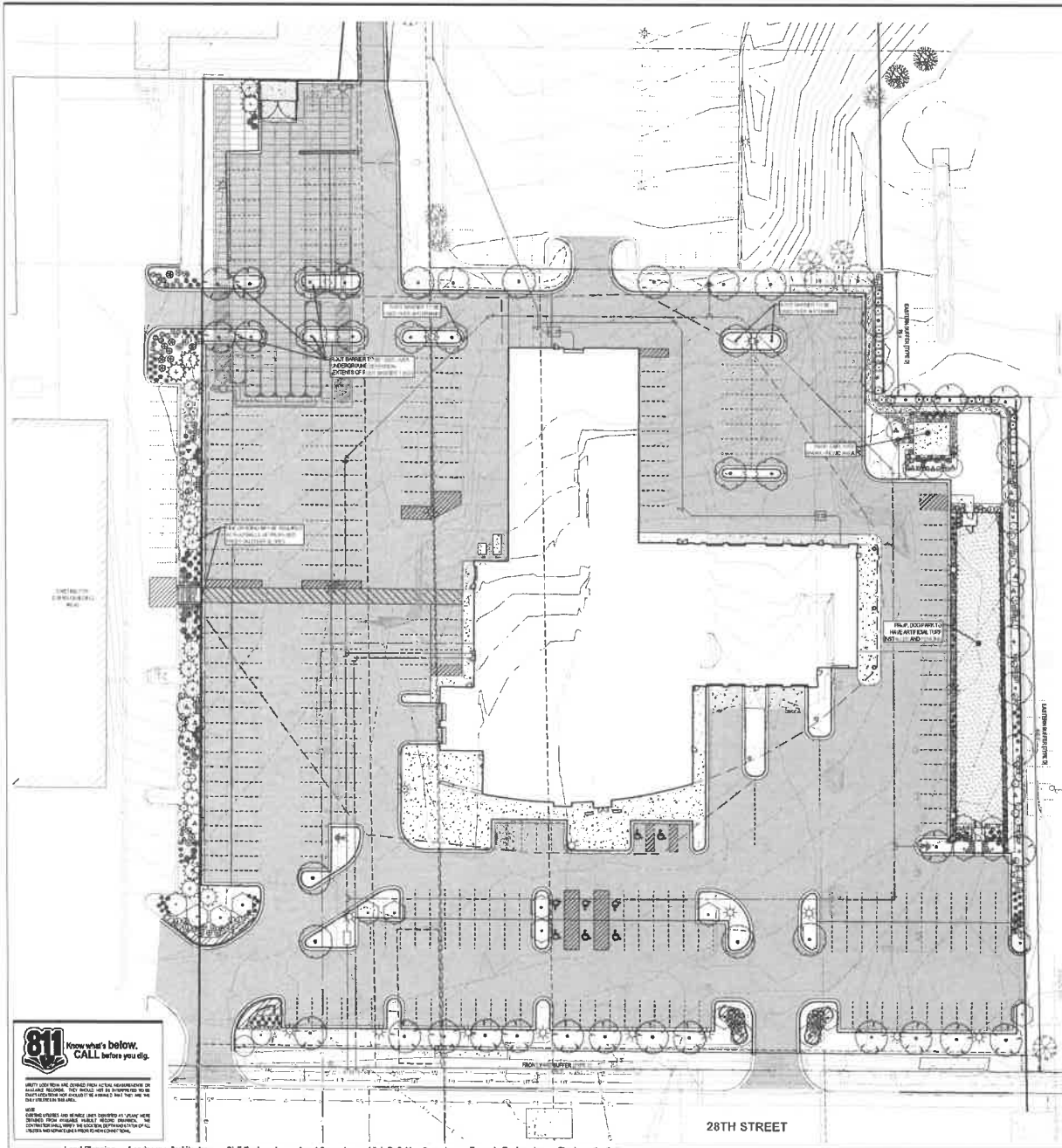
Details & Specifications

0005, 0115 and 0140, 28th Street and 120th Cascade Woods Court SE
 PART OF THE SOUTHEAST 1/4 OF SECTION 16N, 17W,
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

STAMP:

PROJECT NO:
 19460962

SHEET NO:
C-501



LEGEND

- EXISTING RETAININGS
- EXISTING CONCRETE
- PROPOSED PLANTINGS
- PROPOSED PLANTINGS
- PROPOSED CONCRETE
- PROPOSED CONCRETE
- PROPOSED CONCRETE
- PROPOSED CONCRETE



0 25 50 100
SCALE: 1" = 60'

PLANT SCHEDULE

SYMBOL	QTY	DESCRIPTION / COMMON NAME	SIZE	NOTES
	18	Redstarts Life Long Tree / Redstarts Tree	8-10' Caliper	
	14	Large Yellow Pines / Yellow Pines	12' cal. min.	
	16	Japanese evergreen / Japanese evergreen	6-8' cal. min.	
	2	Ornamental Tree / Ornamental Tree	12' cal. min.	
	14	Small plant / Small plant	20' cal. min.	
	15	Tree / Tree	20' cal. min.	
	15	Tree / Tree	12' cal. min.	
	30	Tree / Tree	20' cal. min.	
	9	Tree / Tree	24" cal. min.	
	38	Tree / Tree	5' cal.	
	35	Tree / Tree	5' cal.	
	30	Tree / Tree	5' cal.	
	40	Tree / Tree	5' cal.	
	30	Tree / Tree	5' cal.	
	30	Tree / Tree	5' cal.	
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	30	Tree / Tree	5' cal.	
	30	Tree / Tree	5' cal.	

LANDSCAPE CALCULATIONS

LANDSCAPE AREA	BUFFER TYPE REQUIRED	PLANTING REQUIREMENTS	LENGTH OF LANDSCAPE AREA	PLANTINGS REQUIRED	PLANTINGS PROVIDED
RIGHT YARD	BUFFER TYPE 1	10 CANOPY TREES AND 10 PERENNIAL TREES PER FOOT.	400 LINEAL FEET	400 CANOPY TREES AND 400 PERENNIAL TREES (10 PER FOOT)	400 CANOPY TREES AND 400 PERENNIAL TREES (10 PER FOOT)
LANDSCAPE AREA	BUFFER TYPE 2	10 CANOPY TREES AND 10 PERENNIAL TREES PER FOOT.	400 LINEAL FEET	400 CANOPY TREES AND 400 PERENNIAL TREES (10 PER FOOT)	400 CANOPY TREES AND 400 PERENNIAL TREES (10 PER FOOT)
REQUIRED LANDSCAPE AREA	AREA	10 CANOPY TREES OR 10 PERENNIAL TREES PER 100 SQ. FT. OF LANDSCAPE AREA OR 10 PER 1000 SQ. FT. OF LANDSCAPE AREA PER PARKING SPACE		400 CANOPY TREES OR 400 PERENNIAL TREES (10 PER 1000 SQ. FT.)	400 CANOPY TREES OR 400 PERENNIAL TREES (10 PER 1000 SQ. FT.)

811 Know what's below. CALL before you dig.

WHY CALL 811? YOU CAN SAVE TIME AND MONEY BY CALLING 811 BEFORE YOU DIG. IT'S FREE AND IT'S THE EASY WAY TO FIND OUT WHAT'S BELOW THE SURFACE OF THE GROUND. CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG.

28TH STREET

NEDERVELD
www.nederveld.com
800.222.1868
GRAND RAPIDS
20 Grande Ave, Suite 202
Grand Rapids, MI 49503
Phone 616.275.1870

PREPARED FOR:
Green Castle Properties, LLC
Curtis Schaefer
200 Ottawa Avenue NW
Suite 403
Grand Rapids, MI 49503

REVISIONS:
Rev. 01: 02/20/2020
Rev. 02: 02/20/2020
Rev. 03: 02/20/2020
Rev. 04: 02/20/2020
Rev. 05: 02/20/2020
Rev. 06: 02/20/2020
Rev. 07: 02/20/2020
Rev. 08: 02/20/2020
Rev. 09: 02/20/2020
Rev. 10: 02/20/2020

28TH STREET PARCELS
Landscape Plan
9505, 6116 and 6118 28th Street and 6120 Chelton Road Court SE
PART OF THE SOUTHEAST 1/4 OF SECTION 8, T4N, 47W,
CASSIOWA TOWNSHIP, KENT COUNTY, MICHIGAN

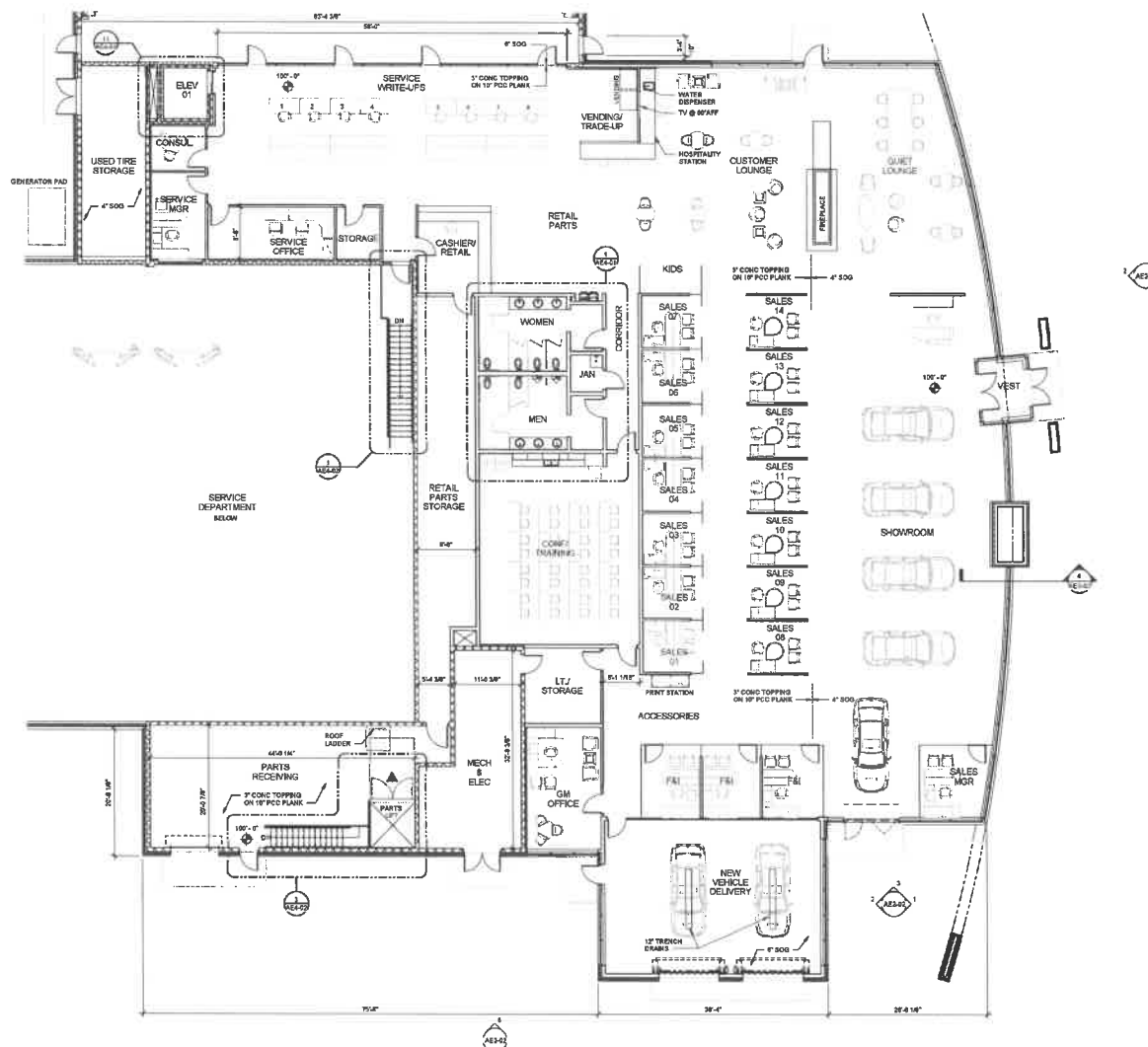
STAMP:

PROJECT NO:
1940952

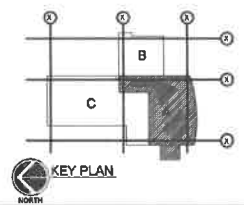
SHEET NO:
L-100



**PRELIMINARY
SOUTH ELEVATION RENDERING**



1
AE1-02 ARCHITECTURAL FIRST FLOOR PLAN AREA A
 SCALE 1/8" = 1'-0"



FOX MOTORS INCORPORATED
 DP Fox / Fox Motor Group

FOX SUBARU
 28th Street SE
 Grand Rapids, MI 49516

GHAFFARI
 85 MONROE CENTER STREET NW
 GRAND RAPIDS, MI 49503-2900 USA
 TEL: +1.616.771.0088
 www.ghaffari.com

CONSULTANT INFORMATION

REGISTRATION SEAL







NOT FOR CONSTRUCTION

PROJECT NO.	200903
PROJECT MANAGER	G. Jacobs
DESIGNED BY	A. Hines
DRAWN BY	A. Hines, J. Chisholm
CHECKED BY	A. Hines
SHEET TITLE	ARCHITECTURAL FIRST FLOOR PLAN AREA A

ARCHITECTURAL FIRST FLOOR PLAN AREA A
AE1-01
 SHEET NUMBER

GHAFFARI ASSOCIATES © 2009 1/20/2009 12:55:37 PM

Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLD	LDD	BF	[MANUFAC]	Description
	11	G10-T4FT	SINGLE	1.000	1.000	1.000	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GLEON-AF-10-LED-E1-T4FT
	10	W2-T4W	SINGLE	1.000	1.000	1.000	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GWC-AF-02-LED-E1-T4W
	8	G10-AFL (HSS)	SINGLE	1.000	1.000	1.000	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GLEON-AF-10-LED-E1-AFL-HSS
	5	G10-5WQ (4)	4 @ 90 DEGREES	1.000	1.000	1.000	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GLEON-AF-10-LED-E1-5WQ
	3	G10-5WQ (2)	BACK-BACK	1.000	1.000	1.000	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GLEON-AF-10-LED-E1-5WQ
	1	GB-T4W	SINGLE	1.000	1.000	1.000	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GLEON-AF-08-LED-E1-T4W

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CIRCULATION & DRIVE (FRONT)	Illuminance	Fc	16.64	30.0	1.9	8.76	15.79
FRONT LINE @ 4' AFF	Illuminance	Fc	29.12	36.5	14.3	2.04	2.55
MERCHANDISE & SALES PARKING	Illuminance	Fc	13.31	32.4	5.3	2.51	6.11
PARKING, PREP & STORAGE (FRONT)	Illuminance	Fc	11.47	28.3	3.1	3.70	9.13
PARKING, PREP, & STORAGE (BACK)	Illuminance	Fc	4.50	9.1	0.2	22.50	45.50
Circulation & Drive (Front)	Illuminance	Fc	16.64	30.0	1.9	8.76	15.79
Merchandise & Sales Parking	Illuminance	Fc	13.31	32.4	5.3	2.51	6.11
Parking, Prep, & Storage (Front)	Illuminance	Fc	11.47	28.3	3.1	3.70	9.13
Parking, Prep, & Storage (Back)	Illuminance	Fc	4.50	9.1	0.2	22.50	45.50

SCHEDULES

SCALE: NTS



Crittes, Tidey & Assoc., Inc
 998C West River Center Dr
 Cornslock Park MI 48821
 PH: 915-567-2400
 www.crittesday.com

DISCLAIMER
 This document contains confidential information and is intended only for the individual named. If you are not the named individual you should not disseminate, distribute or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake and delete this e-mail from your system. If you are not the named addressee you should not disseminate, distribute or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake and delete this e-mail from your system. If you are not the named addressee you should not disseminate, distribute or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake and delete this e-mail from your system.

DESIGNED FOR:

FOX SUBARU
 ADDRESS

SALES
 T MCBRIDE
 DATE
 11.6.2020
 DESIGNER
 JEN YONKERS

REVISIONS	
DATE	NAME
XX	XX

SHEET
2

CASCADE CHARTER TOWNSHIP

Ordinance # 1 of 2004

Amended by Ordinance #6 of 2004

Amended by Ordinance #5 of 2014

Amended by Ordinance #9 of 2017

**AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE
AND ZONING MAP TO ESTABLISH THE
EAST IMPORTS
PLANNED UNIT DEVELOPMENT PROJECT.**

Cascade Charter Township Ordains:

Section I. An Amendment to The Cascade Charter Township Zoning Ordinance.

The application received from Green Castle Properties (hereinafter referred to as the "Developer"), for Planned Unit Development designation for the proposed East Imports Automotive Development Project (herein after referred to as the "Project") was recommended by the Cascade Charter Township Planning Commission for approval on December 1, 2003. The Project is recommended to repeal the existing Zoom Automotive PUD and replace it with a new Planned Unit Development that will also permit new and used car sales and service. This action requires an amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission's recommendation and the Cascade Charter Township Board of Trustees' action on January 14, 2004.

Section II. Legal Description.

(Amended by Ord No #5 of 2014)

Part of the SE ¼ of Section 8, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan described as: Beginning at the S ¼ corner of said Section 8; thence N 00°43'11" W, 706.63 feet along the North and South ¼ line to the South line of Charlevoix Woods Court (66 wide private); thence 139.08 feet on a 233.00 foot radius curve to left, the long chord which bears N 64°24'45" E, 137.00 feet along said South line of Charlevoix Woods Court; thence continuing along said South line of Charlevoix Woods Court N 47°18'57" E, 196.63 feet; thence 28.52 feet on a 167.00 foot radius curve to the right, the long chord bears N 52°12'31" E, 28.48 feet; thence S 00°29'57" W, 918.76 feet to said South line of Section 8; thence N 89°32'03" W 273.75 feet along said South line of Section 8 to the POINT OF BEGINNING. This parcel contains 5.07 acres more or less. Subject to easements, restrictions and rights-of-way of record.

Subaru Site Legal Description – 6045 28th Street

(Amended by Ordinance #9 of 2017)

Part of the Southeast 1/4 of Section 8, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan, described as: Commencing at the South 1/4 corner of said Section 8; thence S89°32'03"E 273.75 feet along the South line of said Section 8 to the Point of Beginning; thence N00°29'57"E 918.76 feet to the South right-of-way line of Charlevoix Woods Court; thence Northeasterly 95.90 feet along a 167.00 foot radius curve to the right, said curve having a central angle of 32°54'11", and a chord bearing N73°32'50"E 94.59 feet; thence N90°00'00"E 101.02 feet; thence Southeasterly 57.59 feet along a 50.00 foot radius curve to the right, said curve having a central angle of 65°59'41", and a chord bearing S57°00'05"E 54.46 feet; thence Southeasterly 128.03 feet along a 68.00 foot radius curve to the left, said curve having a central angle of 107°52'49", and a chord bearing S77°56'42"E 109.94 feet; (last 4 courses being along said South right-of-way line); thence S60°43'50"E 275.14 feet; thence S00°38'51"E 232.94 feet; thence N89°32'03"W 273.01 feet along the North line of the South 530.38 feet of said Southeast 1/4; thence N00°43'11"W 111.61 feet; thence N89°32'03"W 135.09 feet; thence S00°29'57"W 641.86 feet; thence N89°32'03"W

180.50 feet along the South line of said Section 8 to the Point of Beginning. Contains 6.64 acres. Subject to easements, restrictions and rights-of-way of record.

Section III. General Provisions.

The following provisions shall hereby apply to the Project, in addition to those Provisions outlined in Chapter 16 of the Cascade Charter Township Zoning Ordinance (Ordinance No. 11 of 1988, as amended).

Section IV. Purpose.

(Amended by Ord #9 of 2017)

The Project occupies approximately 11.8 acres of land. The Project is proposed to be expanded to allow for a new (Subaru) new and used automobile sales and related uses. The Planned Unit Development technique has been chosen by the Developer to provide more control over the Project's aesthetics and appearance. This development technique provides the Developer with the ability to develop the Project in a manner to meet market expectations and develop the project in a unified manner with the existing East Imports PUD (Porsche and Audi) new and used automobile dealership.

The regulations contained herein are established to define the procedures necessary to insure high quality development in the Project. Additionally, they are designed to achieve integration of this development with adjacent land uses.

Section V. Approval Limitations.

- A. The provisions of this Ordinance are not intended as a substitute for the Cascade Charter Township Zoning Ordinance and the General Development Plan, nor do they in any way relieve the Developer from obtaining all approvals and permits required by the township, except as otherwise expressly provided herein. In the event that a development issue or site plan element is not addressed by this Ordinance, the specifications and requirements of the Cascade Charter Township Zoning Ordinance shall be enforced.
- B. Except as otherwise provided herein, the Developer and his assigns must meet all applicable provisions and regulations of Cascade Charter Township, as well as federal and state law, and must obtain all necessary approvals from state and county governmental agencies that are required for operation or use.
- C. This PUD approval is expressly contingent upon all conditions of approval herein remaining fully effective and valid. If any condition imposed herein is determined to be illegal or contrary to law as a result of a successful legal challenge by the Developer or its assigns, or any other party, the Township reserves the right to review the entire Project under the PUD provisions of the Cascade Charter Township Zoning Ordinance, and further, to withdraw its approval of this PUD if it finds that, absent the effect of any condition imposed herein, the PUD no longer meets the standards for PUD approval contained in the Zoning Ordinance.
- D. All conditions contained herein shall be binding upon the Developer, as well as its successors, tenants and assigns. The conditions may be modified or amended only pursuant to a formal amendment of the PUD approval and ordinance amendment.
- E. **This approval document shall be recorded with the Kent County Register of Deeds by the Developer prior to construction occurring on site and shall run with and bind the lands involved. Copies of this recorded document shall be supplied by the Developer to the Cascade Charter Township Clerk.**
- F. Failure to comply with the site plan or any condition of approval herein shall be deemed a violation of the Cascade Charter Township Zoning Ordinance.

Section VI. Permitted Uses.

(Amended by Ord #5 of 2014)

The permitted uses for the East Imports PUD include the following uses:

1. **New and Used Car sales.**

- A. One (1) 34,600 square foot building. This building will be constructed as shown on the approved site plan dated 12/23/03 as drawn by Concept Design Group (the approved site plan).
- B. One (1) 20,000 square foot building. This building will be constructed as shown on the approved site plan dated 1/2/14.
- C. One (1) 3,200 square foot single story detail building as shown on the approved site plan dated 1/2/14.
This site will also be able to utilize the following uses associated with the new and used automobile sale business on site:
 - Normal repair and servicing associated with automotive sales
 - Display of vehicles outside the building.
 - The display of vehicles for sale or lease inside and outside the building for periods in excess of 72 hrs.
 - Normal retail sales of parts as related to new and used automotive vehicle brands sold on-site.
 - Washing and detailing of vehicles both inside and outside the building.

Section VII. Site Plans & Design Guidelines, Requirements and Limitations.

(Amended by Ord #5 of 2014)

The Project shall be developed in accordance with the site plans approved and signed by the Township. The site plan shall indicate where the building will be located and provide appropriate measurements demonstrating compliance with this ordinance. Engineering plans and documents relating to utilities, topography, drainage, and the survey of the Project shall be reviewed and approved by the Township Engineer. Approval of these documents shall be based upon their meeting recognized, acceptable engineering standards and practices. No alterations, expansions or additions may take place to the Project without an amendment to this Ordinance, other than those changes allowed to be review by staff as stated in Section 21.04 of the Zoning Ordinance or unless authorized otherwise herein.

- A. **Maximum Building Height**
 - 1. Commercial retail building – 33 feet.
- B. **Parking (amended by Ord #9 of 2017)**
 - 1. A total of 578 parking spaces are provided. With at least an additional 60 spaces being deferred until needed for a total of 638 if all parking is constructed. A minimum of 50 spaces must be reserved for customer parking with the rest of the parking allowed to be used for display of vehicles for sale. No vehicles are allowed to be displayed anywhere on the site except for an approved parking space as shown on the approved site plan.
- C. **Building Setback Requirements**
 - 1. These measurements include the following minimum setbacks:
 - a. Minimum of 100 feet from the 28th Street right-of-way line.
 - b. Minimum of 50 feet from the proposed North boundary line.
 - c. Minimum of 25 feet on the sides. With the exception of the Subaru building (6045 28th St) may have a 10 foot setback as shown on the approved site plan.
- D. **Bufferyards**
 - Parking setbacks shall be provided as indicated on the approved site plan.

Section VIII. Landscaping

(Amended by Ord #9 of 2017)

The project shall provide landscaping according to the approved landscape plans as drawn by Concept Design Group dated 1/02/14 and the parking expansion plans drawn by Nederveld dated 7/25/17. The developer shall be required to deposit a Performance guarantee for landscaping prior to obtaining a building permit.

Section IX. Signs. The following signs shall be permitted for the project:

(As amended by Ord No 5 of 2014)

Sign _____ Area (sf) _____

DELTA IMPORTS (existing dealership at 6025 28th St)

Porsche Wall Logo	33
Audi Ring Logos	46
Audi Grand Rapids	83
<u>Delta Pylon Sign</u>	<u>48</u>
Total	210 sq ft

DELTA IMPORTS DIRECTIONAL

Porsche Service Sign	6
Audi Service	6
<u>Site Directional</u>	<u>8</u>
Total	20 sq ft

SUBARU (6045 28th St)

Oval Logo	16
Subaru Letter Sign	51
“FOX” Dealer Name	17
<u>Pylon Sign</u>	<u>90</u>
Total	174 Sq ft

SUBARU DIRECTIONAL

Subaru Service	10
<u>Site Directional</u>	<u>10</u>
Total	20 sq ft (can be multiple signs provided no more than 20 sq ft total)

1. The developer agrees to comply with all other provisions of the Cascade Charter Township Sign Ordinance as amended.

SECTION X. Loudspeakers

No outside loudspeaker shall be permitted with this project.

Section XI. Land Splits

(Amended by Ord #5 of 2014)

This project involves a portion of a larger parcel to the north; this parcel is currently identified as (6065 28th St. (41-19-08-451-037). Per the approval of the project this land division is already considered approved by Cascade Township provided it is completed as shown on the approved site plan.

This expanded project involves a land split and combination with two different properties to the north and east. The property to the north (6120 Charlevoix Woods Ct) will be split creating two parcels, the western piece will be combined with the Subaru parcel (6045 28th St). The eastern half will stand on its own.

In addition, the 6097 28th St will be split to create two parcels. The western half will be combined to the Subaru parcel and the eastern half will be combined to 6095 28th St

Section XII. Temporary Buildings.

No structure of a temporary nature; trailer, tent or construction shack shall be constructed, placed or maintained within the Project except accessory to and during construction/ renovation of buildings or infrastructure improvements.

Section XII. Sidewalks

The Developer shall have one of the two options for providing sidewalks along their 28th street frontage for this project:

1. Enter into a construction agreement that would require the developer to construct the sidewalk in the future at such time as sidewalks are extended throughout the area. This agreement would need to be in place prior to the issuance of a building permit.
 - i) The Township shall notify the Owner at least 30 days prior to commencing the sidewalk

- extension project in this area.
 - ii) The Township shall provide the specifications to which the sidewalk or pedestrian path must be constructed.
 - iii) The location of the sidewalk must be consistent with any sidewalk easement on adjacent property and designed and placed so the sidewalk can be easily connected to by adjacent properties.
 - iv) The sidewalk shall be constructed at the Owner's expense and the Owner shall have up to 12 months to install the sidewalk once required to do so.
2. The Developer pay the Township in the amount that it would cost to engineer and construct the sidewalk at the time of the approval of the project in order for the Township to construct the sidewalk. This amount would need to be submitted to the Township prior to a building permit be issued.

Section XIII. Utilities .

- A. Public Water and Sanitary Sewer - All buildings within the Project shall be served by public sanitary sewer and water at the developer's expense.
- B. Stormwater Drainage - All proposed stormwater drainage facilities shall be reviewed and approved by the Township Engineer and the Kent County Drain Commissioner's office prior to the development of the Project. The Developer shall provide the Township Planning Department with copies of all correspondence and permits received from the Kent County Drain Commissioner regarding stormwater disposal issues.
- C. The Developer shall provide all necessary easements within the Project for telephone, electricity, gas and cable television to the appropriate utility provider without cost. Said easements shall be recorded with the Kent County Register of Deeds and provided to each utility provider for their records.

Section XIV. Lighting

(Amended by Ord #9 of 2017)

The required lighting section of the Zoning Ordinance as amended shall regulate lighting for the project. The lighting at this project is limited to only those lights and those types of lights as indicated on the approved photometric lighting plan as drawn by Concept Design Group dated 11/10/03 and the updated lighting plan dated 12/30/13 for the Subaru site and the parking expansion plan dated 7/25/17. Furthermore, the total height of individual light poles is limited to the height indicated on the plan as well. All lights on the site are to be downcast or "shielded" type lights. If the developer chooses to utilize LED lights the new plan will be reviewed administratively by the Planning Department for compliance with our lighting regulations

Section XV. Soil Erosion Control Requirements.

Prior to construction, the Developer shall submit a soil erosion control plan showing all temporary and permanent soil erosion control measures to be taken before, during, and after construction on the Project. This plan shall be reviewed and approved by the Township Engineer prior to commencing any building on the site. The developer shall also be responsible for obtaining a soil erosion permit posting a performance guarantee prior to issuance of any building permit.

Section XVI. Performance Guarantee.

To insure compliance with this Ordinance and any conditions herein, Cascade Township may require reasonable performance guarantees, as authorized under the Township Rural Zoning Enabling Act to insure completion of improvements such as, but not limited to, landscaping, drainage, lighting, roads, and utilities. The Township Board, Engineer, or Planning Department may require such guarantees at any time they deem necessary to insure completion of the improvements.

Section XVII. Reimbursement of Review Fees.

The Developer shall reimburse the Township for all fees associated with the review of the Project. These fees may include, but not be limited to, legal, engineering, publishing, and planning review fees.

Section XVIII. Consistency With Planned Unit Development (PUD) Standards.

The rezoning to Planned Unit Development will result in a recognizable benefit to the ultimate users of the Project and to the community. The conversion of the vacant property to a commercial use along 28th Street is consistent with the Township Goals.

In relation to the underlying zoning (B2, General Business) the Township finds the Project will not result in a material increase in the need for public services. Utility extensions and construction will be the responsibility of the Developer and will not place a material burden upon the subject property or the surrounding properties. The Project is not anticipated to cause undo impact to the stormwater drainage of the surrounding area. All stormwater and soil erosion control plans have been approved by the Township Engineer and the appropriate County and State agencies.

The Project has been determined by the Township to be compatible with the 1999 Comprehensive Plan of the Township and with the spirit and intent of the Planned Unit Development Chapter of the Zoning Ordinance.

The Township finds the Project will not result in an unreasonable negative economic impact upon surrounding properties.

The Township finds the Project to have a similar amount of green areas, and usable open space than would typically be required by the Township Zoning Ordinance.

Finally, the Township recognizes the Project will be under single ownership or control. The Township recognizes that the Developer or its assigns will retain ownership and control of the project until this PUD Ordinance is recorded and all provisions that the developer and his assigns are responsible for are complied with. After that time, the property may be sold to other parties.

Section XIX. Repeal

The effect of this ordinance shall repeal Ordinance #8 of 2001 and any amendment to it.

Section XX. Effective Date.

This Ordinance shall become effective upon publication of the ordinance, or a summary thereof, in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township. All prior Planned Unit Development ordinances that were previously approved for this property shall become null and void.

The foregoing Ordinance was offered by Board Member Timmons, supported by Board Member Parrish. The roll call vote being as follows:

YEAS: Carpenter, Goodyke, Julien, Kleinheksel, Parrish, Timmons
NAYS: None
ABSENT: Jones

Marlene Kleinheksel
Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 14th day of January, 2004.

Marlene Kleinheksel
Cascade Charter Township Clerk