

AGENDA
CASCADE CHARTER TOWNSHIP PLANNING COMMISSION
MONDAY, March 4, 2024
7:00 PM
2870 JACKSMITH AVE SE

Public may access the meeting via video conference software Zoom

Webinar ID: 841 0379 0598

<https://us02web.zoom.us/j/84103790598>

- ARTICLE 1. Call the meeting to order. Record the attendance.**
- ARTICLE 2. Pledge of Allegiance to the Flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Disclose any Conflict of Interest**
- ARTICLE 5. Approve the Minutes of the February 26, 2024 Meeting**
- ARTICLE 6. Acknowledge visitors and those wishing to speak.**
(Comments are limited to five minutes per speaker)
- ARTICLE 7. Case #24-3811**
Applicant: Kerri Johnson
Property Address: 1601 Galbraith Avenue SE
Parcel Number: 41-19-06-403-001
Requested Action: PUD Amendment to allow a Childcare Center as a permitted use.
- ARTICLE 8. Case #23-3805**
Applicant: Skytron
Property Address: 5085 Corporate Exchange Boulevard SE, 5300 Corporate Grove Drive SE
Parcel Number: 41-19-31-100-041 & 41-19-31-100-044
Requested Action: Site Plan Review Approval.
- ARTICLE 9. Acknowledge visitors and those wishing to speak.**
(Comments are limited to five minutes per speaker)
- ARTICLE 10. Planning Commission Training Schedule 2024**
- ARTICLE 11. Any other business**
- ARTICLE 12. Adjourn**

Meeting format

1. **Staff Presentation** *Staff report and recommendation*
2. **Project Presentation-** *Applicant presentation and explanation of project*
 - a. **PUBLIC HEARINGS**
 - i. **Open Public Hearing.**
Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants
 - ii. **Close Public Hearing**
3. **Commission Discussion** – *May ask for clarification from applicant, staff or public*
4. **Commission Decision - Options**
 - a. *Postpone the decision*
 - b. *Deny*
 - c. *Approve*
 - d. *Approve with conditions*
 - e. *Recommendation to Township Board*

**CASCADE CHARTER TOWNSHIP
PLANNING COMMISSION**

**MONDAY, March 4, 2024
7:00 PM**

ARTICLE 5.

Approve the Minutes of the
February 26, 2024 Meeting

Minutes
Cascade Charter Township
Planning Commission
Monday, February 26, 2024
7:00 pm
2870 Jacksmith Ave SE

- ARTICLE 1.** Chair Moxley called the meeting to order at 7:00 pm.
Members Present: Noordhoek, Richardson, Moxley, Rissi, Engel, Noordyke
Members Absent: Bruneau (excused), Rowland (excused)
Others Present: Planning Director Andrea Hendrick, Zoning Administrator (ZA) Madison Smith-Jacoby, Laura Genovich with Foster Swift, and others listed on the sign-in sheet.
Member Bruneau attended via Zoom.
- ARTICLE 2. Pledge of Allegiance**
- ARTICLE 3. Approve the current Agenda**
Motion was made by Member Rissi to approve the current agenda. Supported by Member Noordyke. Motion carried 6 to 0.
- ARTICLE 4. Disclose any conflict of interest**
There were no conflicts of interest disclosed.
- ARTICLE 5. Approve the Minutes of the February 5, 2024 Meeting**
Member Engel noted an error in the last paragraph of Article 7 stating he should be placed in the favor column and Member Rissi should be placed in the opposed column.
Motion was made by Member Rissi to approve the February 5, 2024 meeting minutes with the proposed changes. Supported by Member Engel. Motion carried 6 to 0.
- ARTICLE 6. Acknowledge visitors and those wishing to speak**
There was no one wishing to speak.
- ARTICLE 7. Case #24-3811 Public Hearing**
Property Address: 1601 Galbraith Avenue SE
Parcel Number: 41-19-06-403-001
Requested Action: PUD Amendment to allow Childcare Centers as a permitted use.
ZA Smith-Jacoby presented the case and explained that the applicant is requesting a PUD amendment to allow for a childcare center as a permitted use. The operation hours will be from 7:30 am-6:30 pm. The proposed outdoor play area meets the minimum square footage requirements, but a more detailed site plan was requested. The applicant has stated that they will apply for state licensing once approved. There will be six employees at the facility with ample parking available for them. If the zoning

ordinance amendment gets approved, they will be required to submit a site plan and all other pertinent documents.

Staff suggested that the Planning Commission should provide a recommendation to the Township Board with the proposed conditions listed in the packet.

Member Rissi questioned if the proposed site plan would be reviewed by Staff or the Planning Commission. ZA Smith-Jacoby said the review would be completed by Staff.

Member Engel wanted clarification on the amount of parking. ZA Smith-Jacoby indicated there will be more than enough parking by utilizing parking lots to the north and south and counted over 200 spaces total throughout the whole site.

Member Noordyke expressed discomfort in recommending approval to the Township Board without legal counsel's review of the proposed PUD amendment or the Planning Commission's review of the site plan.

ZA Smith-Jacoby noted that a similar daycare center was approved in the adjacent building in 2004.

Mark DuWaal, the owner of 1601 Galbraith Suite 302, explained that this would be the location of the childcare center.

Mark Bowen, owner of Grand Rapids Gymnastics (GRG), said 865 families are using the gym, and 47 people are employed within his business. They have various programs for kids of all ages and thought this space would be a great fit for younger kids and the creation of a daycare. He expressed the immense need for childcare and felt that they could utilize this space to benefit the township.

Carrie Johnson, Senior Director of Business Operations at GRG, wanted to clarify that there will be no major renovations on the interior or change of the layout.

Motion was made by Member Noordyke to open public hearing. Supported by Member Engel. Motion carried 6 to 0.

There was no one wishing to speak.

Motion was made by Member Rissi to close public hearing. Supported by Member Noordyke. Motion carried 6 to 0.

Member Noordyke suggested tabling this case until legal counsel can review the proposed amendment language and more details are given. Legal Counsel Genovich stated that adding the child daycare center as a permitted use into ordinance form could be completed before the next meeting.

Planning Director Hendrick did not feel it was necessary to request a formal site plan designed by an architect. They will be meeting with the applicants to discuss fence location, street crossing, allocated parking spaces, and landscaping.

Member Rissi said for previous PUD amendments, Staff would move forward with drafting the language of the PUD amendment and present that to the Planning Commission at the next meeting for the final recommendation to the Township Board.

Legal Counsel Genovich stated that the proposed ordinance language for PUD 02 Golf View Office Park is has already been provided to the Planning Commission in the staff report. She said the same language would be presented at the next meeting with minor formatting changes. Staff's provisions were adequate for approval.

Planning Director Hendrick asked for clarification on what the Planning Commission was requesting at the next hearing. She stated that staff could work with the applicant to provide a more detailed site plan, however that would be more information than the Ordinance would require for the requested approval.

Member Rissi stated that the draft language is what is requested.

Member Noordyke stated that what the applicant had provided was sufficient.

Motion was made by Member Noordyke to table the discussion until more details are presented at the next Planning Commission meeting. Supported by Member Engel. Motion carried 6 to 0.

ARTICLE 8. Master Plan Update

Danielle Bouchard with Mckenna attended the meeting to give a Master Plan update. The organization of the plan was designed differently to include the action items, future land use, existing conditions, and demographics towards the beginning of the plan. A zoning plan and recommendations were included to ensure fewer gaps in the ordinances. Additionally, she also added processes for redevelopment, recommendations for farmland and rural preservations, content regarding densities and bonuses, a development review checklist, enhancement of the 28th St character, encouraging redevelopment, and establishing a clear utility service boundary.

Bouchard suggested that the Planning Commission formally recommend to the Township Board to open the 63-day comment period. She mentioned that the document could still be slightly edited, but any significant changes would require restarting the comment period.

Member Rissi said there used to be an annual work plan consisting of obtainable goals for the year. He believed it was necessary to ensure the completion of their work to amend and make changes. Bouchard said there are elements in the Master Plan that list criteria for various projects.

Chair Moxley expressed his excitement about several sections of the Master Plan.

Member Rissi suggested waiting to discuss further edits to the plan, particularly the Starr-Glenwood mixed-use area until all members are present. Bouchard stated that Starr and Glenwood were combined because they permitted the same things in terms of density, building height, land use, and have similar nature of existing character.

Staff will ensure the commissioners will have a hard copy and digital copy of the Master Plan for the next meeting.

Motion was made by Member Noordyke to recommend that the Township Board of Trustees open the 63-day comment period for the Master Plan. Supported by Member Engel. Motion carried 6 to 0.

ARTICLE 9. Ordinance Amendment – Chapter 23 Public Hearing

Legal Counsel Genovich explained they have a proposed amendment to the zoning ordinance to move out the Planning Commission establishment or regulation from the zoning ordinance so the Township Board can consider the adoption of a Police Power Ordinance.

Motion was made by Member Rissi to open public hearing. Supported by Member Engel. Motion carried 6 to 0.

There was no one wishing to speak.

Motion was made by Member Rissi to close public hearing. Supported by Member Engel. Motion carried 6 to 0.

Member Rissi questioned if they were completing this out of order by working through the Bylaws before knowing exactly what Chapter 23 would read. Legal Counsel Genovich clarified they can adopt the Bylaws and make any adjustments at a later date if deemed necessary.

Motion was made by Member Engel recommending that the Township Board amend Chapter 23 as outlined in the packet. Supported by Member Noordyke. Motion carried 6 to 0.

ARTICLE 10. Planning Commission Bylaws

Chair Moxley stated that Planning Commission members and staff have spent a large amount of time editing and reviewing the bylaws. Planning Director Hendrick provided members with a spreadsheet outlining changes that have been made to the Bylaws.

Motion was made by Member Richardson to approve items that were simply moved. Supported by Member Engel. Member Engel withdrew his support.

Planning Commission members approved the moved items by a consensus vote.

Member Engel suggested approving the Bylaws by addressing each of its 6 Articles individually.

Motion was made by Member Engel to adopt Article 1 of the Bylaws as drafted. There was no support for this motion. Article 1 of the Bylaws was approved by consensus vote.

Motion was made by Member Engel to approve Article 2 of the Bylaws. Supported by Member Rissi. Motion carried 6 to 0.

Member Rissi noticed that preparation of the Capital Improvement Plan (CIP) was mentioned in the Bylaws as the Planning Commission's responsibility and felt that the duties and responsibilities vary between the Bylaws and Police Power Ordinance.

Legal Counsel Genovich recommended making mention that the CIP is at the discretion of the Township Board, as opposed to the Planning Commission.

Motion was made by Member Rissi to approve Article 3 with the opinion of the Township Board relating to the CIP. Supported by Member Noordyke. Motion carried 6 to 0.

Member Rissi noticed conflicting information in the Bylaws and Police Power ordinance regarding schedules. The schedule should have the ability to be altered for reasons other than holidays.

Legal Counsel Genovich expressed that the meeting schedule, as approved in the Planning Commission bylaws would be communicated to the Township Board for consideration.

Motion was made by Member Engel to approve Article 4 of the Bylaws. Supported by Member Rissi. Motion carried 6 to 0.

Member Engel suggested an edit to a section in Article 5 to read "No person may speak more than once during any single public comment period".

Motion was made by Member Engel to approve Article 5 of the bylaws with the addition in section 5.2 E of the word "single" between "any" and "public". Supported by Member Noordyke. Motion carried 6 to 0.

Motion was made by Member Noordyke to approve Article 6 of the Bylaws as written. Supported by Member Engel. Motion carried 6 to 0.

Motion was made by Member Engel to approve Articles 1 through 6 of the Bylaws as written with addition to the one proposed change. Supported by Member Noordyke. Motion carried 6 to 0.

ARTICLE 11. Acknowledge visitors and those wishing to speak

There was no one wishing to speak.

ARTICLE 12. Planning Commission Training Schedule 2024

Planning Director Hendrick presented the Planning Commission with a training schedule to review. Staff will also be applying for a grant to receive an onsite training workshop through the Michigan Association of Planning.

ARTICLE 13. Any other business

Chair Moxley said there is going to be a workshop between the Farmland Preservation Subcommittee and the Board of Trustees on March 13, 2024.

Member Noordyke said there was a previous PUD that reached approval despite the lack of details provided by Staff and the developer. He felt there was a severe lack of organization and follow-through by Staff that led to a bad situation. Two subcommittees worked diligently to mitigate damages done by the developer, and Staff chose not to follow through. He expressed frustration with the lack of details and organization.

Chair Moxley discussed documents related to process recommendations with Supervisor Lesperance and stressed the need to keep these items from being overlooked.

Planning Director Hendrick said the tabled case will be on the next meeting's agenda as well as an industrial addition to a property located in PUD 33. She made sure to request all necessary details from the developer to comply with the ordinance.

The next meeting will be on March 4, 2024.

ARTICLE 14. Adjournment

Motion was made by Member Engel to adjourn the meeting. Supported by Member Rissi. Motion carried 6 to 0. The meeting adjourned at 9:13 pm.

Respectfully submitted,
Joe Engel, Secretary

**CASCADE CHARTER TOWNSHIP
PLANNING COMMISSION**

**MONDAY, March 4, 2024
7:00 PM**

ARTICLE 7.

Case #24-3811

Applicant: Kerri Johnson

Property Address: 1601 Galbraith Avenue SE

Parcel Number: 41-19-06-403-001

Requested Action: PUD Amendment to allow Child Care
Centers as a permitted use.

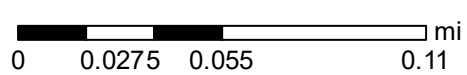


1601 Galbraith Avenue SE

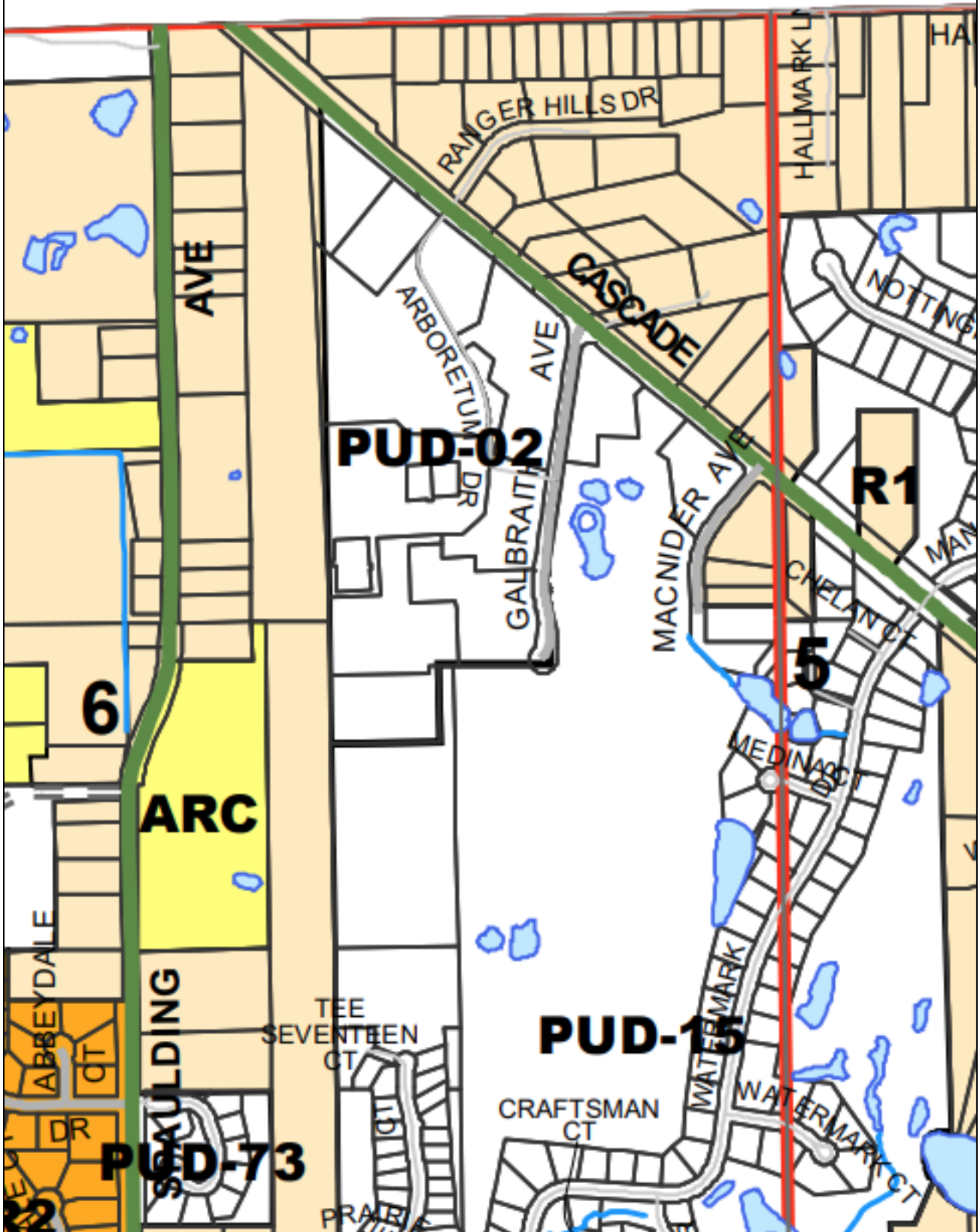
February 29, 2024



Kent County, MI makes no warranty, expressed or implied, regarding the accuracy, completeness or usefulness of information presented. Users of this information assume all liability for its fitness for a particular use.



Zoning



STAFF REPORT

STAFF REPORT: Case #24-3811
REPORT DATE: February 29, 2024
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: March 4, 2024
PREPARED BY: Madison Smith-Jacoby, Zoning Administrator

APPLICANT:

Kerri Johnson, Mark DeWaal, and Mark Burns
Golf View Office Park
1601 Galbraith Avenue, Suite 302
Grand Rapids, MI 49546

STATUS OF APPLICANT: Applicant, Grand Rapids Gymnastics, Kerri Johnson
Property Owner, Mark DeWaal
Day Care Center Tenant, Mark Burns

REQUESTED ACTION: A Recommendation for approval to the Township Board of Trustees to amend the ordinance – adding a Day Care Center in PUD-02, Golfview Office Park, as a permitted use.

EXISTING ZONING OF SUBJECT PARCEL(S): PUD 02 – Golfview Office Park

PROPERTY ADDRESS: 1601 Galbraith Avenue.

PARCEL NUMBER: 41-19-06-403-001

GENERAL LOCATION: Southern terminus of Galbraith Ave, south of Cascade Rd

PARCEL SIZE: Approximately 4.3 acres

EXISTING LAND USE ON THE PROPERTY: Mixed Use – Office Park

ADJACENT AREA LAND USES: N- Mixed office uses within the PUD
W – Consumer’s utility easement, Bos Greenhouse
S – Watermark’s clubhouse, pool & fitness center,
E -- Golf course

ZONING ON ADJOINING PARCELS: N – Golfview PUD- 02
W—R1 and ARC S&E – Watermark PUD 15

STAFF COMMENTS:

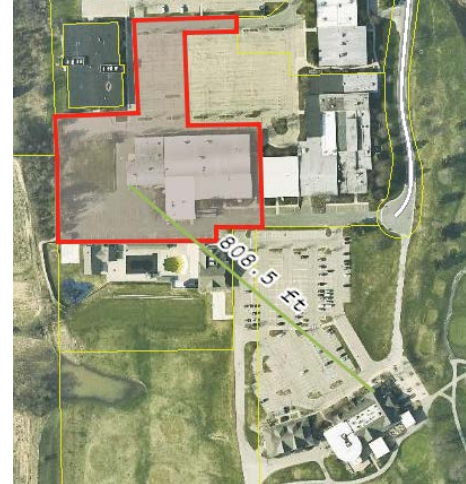
1. The applicant is requesting to amend the existing Planned Unit Development to allow for a daycare as a permitted use.
2. The property is part of a Planned Unit Development that regulates, among other things, the uses that are permitted. The original Golfview Office Park PUD was approved in 1999 and amended 5 times since then. These amendments were adopted in 2000 (2), 2003, 2015, and 2018. The published ordinance represents all changes to date.
3. This building is part of Phase I or 'Building A' of the approved site plan. The permitted uses for Phase I, indicated in the PUD-02 Ordinance, are listed as follows:
 - Computer design and service business
 - Health/sports club
 - Professional Office
 - Church
 - Executive Administrative offices, data processing centers, and business offices such as real estate, insurance, and non-profit organizations.
 - The amount of square footage devoted to office uses shall be allowed to a maximum of 92,000 sf. A minimum of 35,000 sf shall be devoted to Health/Sports Club.
4. The PUD ordinance addresses permitted uses within different phases and buildings, but does not indicate that a child care/daycare facility is permitted, and does not refer to underlying zoning or the Cascade Charter Township Zoning Ordinance for other uses. It was determined that an amendment to the existing ordinance will be required to allow for an additional permitted use, based on Section V. of the PUD-02 Ordinance.
5. Pursuant to Chapter 3 of the Cascade Township Zoning Ordinance, the proposed use is defined as a Child Care Center under the Child Care Organization definition:

“A facility, other than a private residence, receiving more than six (6) pre-school or school age children for group care for periods of less than 24 hours a day, and where the parents or guardians are not immediately available to the child. It includes a facility which provides care for not less than two consecutive weeks, regardless of the number of hours of care per day. The facility is generally described as a child care center, day care center, day nursery, nursery school, parent cooperative preschool, play group, or drop-in center. "Child care center" or "day care center" does not include a Sunday school conducted by a religious institution or a facility operated by a religious organization where children are cared for during short periods of time while persons responsible for such children are attending religious services.”
6. The applicant has submitted a floor plan for the building showing what space the daycare will occupy. This will be a tenant build-out of suite 302, which does not require the expansion of or addition to any existing buildings. There will be 3,600 sf dedicated to a Day Care Center.
7. In addition to Cascade Charter Township regulations, Child Care Centers are defined and regulated by the Michigan Department of Licensing and Regulatory Affairs (LARA).

8. When considering Cascade Charter Township’s intended uses for an office district, Pursuant to Section 12.03, *Uses Permitted by Right* in the “O” Office District, a Day Care Center is a Personal Service Establishment use permitted by-right if it is in line with these conditions:
- a. Such establishments are limited to basement and ground floors of the building.
 - b. The total gross floor area collectively occupied by personal service establishments shall not exceed ten (10) percent of the gross floor area of the building’s ground floor.
 - c. The gross floor area occupied by any single personal service establishment shall not exceed ten (10) percent of gross floor area of the building’s ground floor of 1,500 sf, whichever is the lesser amount.
9. Child Care Center Zoning Ordinance requirements (*Section 17.07.e*):

REQUIREMENTS	FINDINGS
Minimum lot size of 40,000 sf	The proposed Child Care Center will operate in a portion of the existing building on a 4.3 acres (187,308 sf) lot
Dormitory facilities are not permitted	The proposed operation does not include dormitory facilities. Proposed hours of operation are 7:30 am to 6:30 pm.
150 sf per child/ minimum 5,000 sf outdoor play area	Existing green space to be utilized is approximately 19,645 sf.
The outdoor play area shall be enclosed by a chain link fence not less than four (4) feet in height, and screened by natural or planted or planted vegetation to a height of at least five feet.	The applicant has indicated this standard will be met on the finalized site plan. Planning staff recommends that Planning Director Approval is a condition of approval.
Signs shall be subject to the regulations relative to signs for the district in which the use is to be located.	The applicant has indicated any and all proposed signage will follow the standards here today.
Such facilities must be registered with the Township and licensed state.	State licensing will be pursued after Township approval is given. Proof of registration will be provided upon receipt.
<i>Table 19.B Parking Requirements</i> one (1) parking space /1,000 sf fa -OR- two (2) parking spaces/ 3 employees	The applicant has indicated that there will be six (6) employees. Therefore, four (4) parking spaces are required. The current site has hundreds of parking spaces. The proposed entrance to the operation will be located on the southwest façade of the building. Directly adjacent to the proposed entrance, there is a parking lot with 74 parking spaces. The current site is overparked.

10. The proposed Child Care Center is approximately 800 feet from the recently approved cigar bar lounge at Watermark Clubhouse. See map image. The Michigan Department of Licensing and Regulatory Affairs (LARA) regulates smoking in regards to Child Care Centers.



11. If the Zoning Ordinance Amendment is recommended for approval, the site will require Administrative Site Plan Review once completed. Staff has requested a basic site plan be provided to the Planning Department in advance of operation. The applicant is preparing appropriate documentation and has indicated that the site itself will not require modification besides a fence and landscaping around the outdoor play area.

12. The Planning Department will not require formal Site Plan Review of the Day Care Center by the Planning Commission for reasons stated above. The Planning Commission indicated at the February 26, 2024 meeting that the site plan information provided by the applicant is sufficient.

STANDARDS

Section 16.03 of the Zoning Ordinance requires that a Planned Unit Development must demonstrate that:

Standard	Staff Comment
Granting of the Planned Unit Development rezoning will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved.	The property is already zoned PUD – 02. The proposed use will fit into the existing PUD’s uses and will complement existing businesses.
In relation to underlying zoning, the proposed type and density of use shall not result in a material increase in the need for public services, facilities and utilities, and shall not place a material burden upon the subject or surrounding land or property owners and occupants or the natural environment.	The proposed use will not result in an increase in the need of public services as they are already available on site.
The proposed development shall be compatible with the General Development Plan of the Township and shall be consistent with the intent and spirit of this Chapter.	This district of the Township is mainly office and commercial uses mixed with some residential. While the zoning is mainly planned unit developments, the use is compatible to an office district.

<p>In relation to the underlying zoning, the proposed development shall not result in an unreasonable negative economic impact upon surrounding properties.</p>	<p>The proposed use will provide optional services for working families in the Township. The location of the proposed use within the development is such that it will have minimal impact on surrounding land uses. The use will result in prohibiting Adult Oriented Businesses within 1,000-foot radius of this parcel, if approved.</p>
<p>The proposed development shall contain at least as much green area and usable open space as would otherwise be required by this Ordinance with respect to the most dominant use in the development.</p>	<p>While the current site is overparked, the proposed use will utilize existing recreational green space and provide more trees on the property.</p>
<p>The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. This provision shall not prohibit a transfer of ownership or control, upon due notice to the Planning Director of the Township.</p>	<p>The PUD was previously established, which makes this standard unapplicable. However, attestation from the existing owner has been provided.</p>

STAFF RECOMMENDATION

Staff recommends that the Planning Commission forward a RECOMMENDATION FOR APPROVAL to the Township Board of Trustees for an amendment to the PUD-02, Golf View Office Park PUD.

MOTION:

To recommend approval by the Township Board of Trustees to amend the Golf View Office Park PUD to allow for a Day Care Center with the following condition:

1. All necessary state, county, and local permits and approvals are obtained.
2. All required fencing and landscaping for the proposed outdoor play area must be approved by the Planning Director.
3. The applicant must obtain a sign permit in advance of erecting any signage.
4. Prior to operation, the applicant must submit a site plan to the Planning Department for review and inspection.

ATTACHMENTS

1. Application
2. PUD Ordinance – Draft Amendment
3. Floor plan
4. Owner’s letter of support



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids,
Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Kerri Johnson
Address: 1601 Galbraith Ave, Ste 301
City & Zip Code Grand Rapids, MI 49546
Telephone: 616-975-2992
Email Address: kerri@grgymnastics.com

OWNER: * (If different from Applicant)
Name: Mark DeWaal
Address: 1601 Galbraith Ave, Ste 302
City & Zip Code: Grand Rapids, MI 49546
Telephone: 616-334-8425
Email Address: mtdewaal@gmail.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|---|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. – Rezoning * |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance Subdivision |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Other: Amendment to PUD |

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

Request an amendment to the ordinance for Ste 302 at 1601 Galbraith Ave SE, Grand Rapids
to allow Daycare use

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY**:

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 _____

ADDRESS OF PROPERTY: 1601 Galbraith Ave, Ste 302, Grand Rapids, MI 49546

PRESENT USE OF THE PROPERTY: Office Space

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
<u>deWaal Properties LLC</u>	<u>1601 Galbraith Ave, Ste 302</u>
	<u>Grand Rapids, MI 49546</u>

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Mark de Waal
 Owner – Print or Type Name *MARK de WAAL*
 (*If different from Applicant)
 * Mark de Waal 1/3/24
 Owner's Signature & Date
 (*If different from Applicant)

Herri Johnson
 Applicant – Print or Type Name
Herri Johnson 1/3/24
 Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

1601 Galbraith, Suite 302 (proposed location)

3600 SQ FOOT open office/class rooms, activity rooms, Kitchens, bathrooms

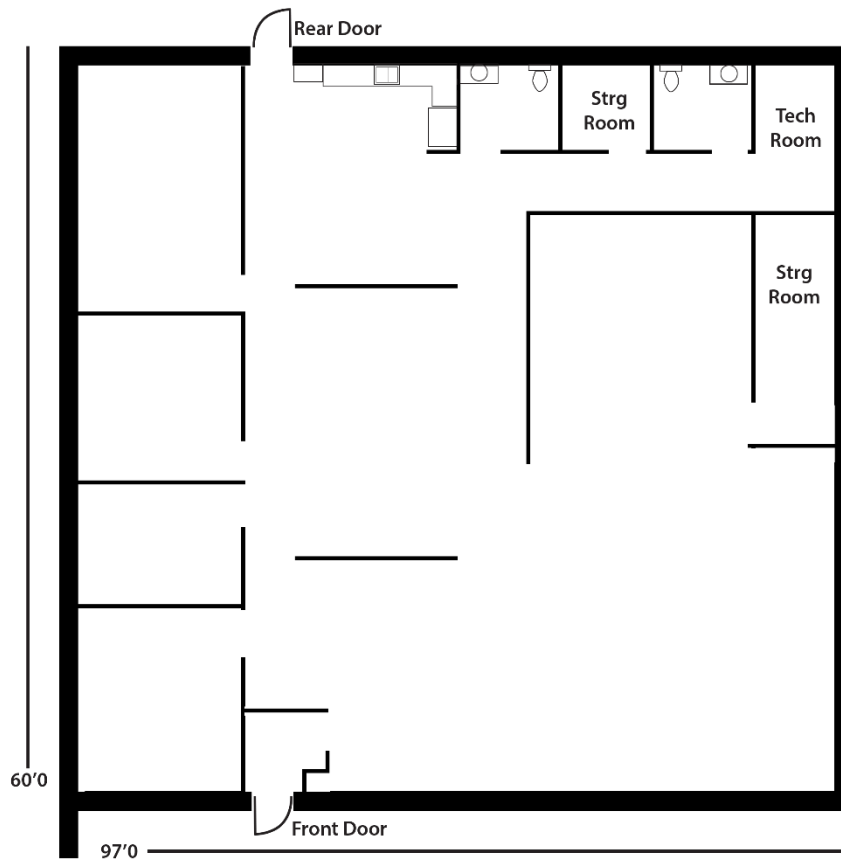
Overview



Street level



Preliminary Floor Plan – Suite 302



Architectural drawing of 1601 Galbraith, Suite 302. Approx 60x60 ft, no load bearing walls, Front entrance (airlock), rear exit, open to patio.

Hours of Operation: 7:30am – 6:30pm

Day of the week open: To be determined.

Number of employees: 6

Capacity: # of Children to be served, not provided by the applicant.

January 2, 2024

To whom it may concern:

I, Mark de Waal, am the managing member of de Waal Properties LLC. de Waal Properties owns 1601 Galbraith Ave, Suite 302, Grand Rapids, MI 49546.

We have been approached by an entity who would like to explore the use of Suite 302 as a day care/school. I am a proponent of this use.

Please feel free to contact me @ 616.334.8425 (cell) or mtdewaal@gmail.com if you need add'l information.

Sincerely -

Mark de Waal

Mark de Waal
1601 Galbraith SE, Ste 302
Grand Rapids, 49546

CASCADE CHARTER TOWNSHIP

ORDINANCE NO. 24-_____

**AN ORDINANCE TO AMEND THE TOWNSHIP ZONING ORDINANCE REGARDING
THE GOLF VIEW OFFICE PARK PLANNED UNIT DEVELOPMENT PROJECT**

THE CHARTER TOWNSHIP OF CASCADE ORDAINS:

Section 1. Amendment of Section VI of Ordinance #9 of 1999 of the Township Zoning Ordinance

Section VI of Ordinance #9 of 1999 of the Township Zoning Ordinance is amended to add “child day care centers” as a permitted use for Phase 1 of the Golf View Office Park PUD as follows:

Section VI. Permitted Uses.

The permitted uses for the Golf View Office Park PUD do not include any retail sales operations, the following uses are allowed:

...

PHASE 1

B. The renovation of the existing Lack's manufacturing and warehousing facility will be broken down into three (3) multi-use office buildings, each building is separated by an open atrium. The maximum square footage of all three buildings is 127,000 square feet. Uses permitted within this building shall be limited to those listed below:

1. Computer design and service business
2. Health/Sports Club
3. Professional Office
4. Church
5. Executive and administrative offices, data processing centers and business offices such as real estate, insurance, and non-profit organizations.
6. The amount of square footage devoted to office uses shall be allowed to a maximum of 92,000 square feet. The total square footage of the building will not exceed 127,000 square feet. A minimum of 35,000 square feet shall be devoted to the Health/Sports Club.
7. Child Day Care Center – 3,600 square feet devoted to a Child Day Care Center, pursuant to the standards in the Cascade Township Zoning Ordinance.

Section 2. Severability.

If a court determines that any provision of this Ordinance is invalid, the remaining provisions of this Ordinance shall remain in full force and effect.

Section 3. Repealer.

Any ordinances in conflict with this ordinance are repealed to the extent necessary to give this ordinance full force and effect.

Section 4. Effective Date.

This ordinance takes effect upon the expiration of seven (7) days after publication.

87192:00001:7081176-2
87192:00001:200333767-1

**CASCADE CHARTER TOWNSHIP
PLANNING COMMISSION**

**MONDAY, March 4, 2024
7:00 PM**

ARTICLE 8.

Case #23-3805

Applicant: Skytron

Property Address: 5085 Corporate Exchange Boulevard SE,
5300 Corporate Grove Drive SE

Parcel Number: 41-19-31-100-041 & 41-19-31-100-044

Requested Action: Site Plan Review Approval.

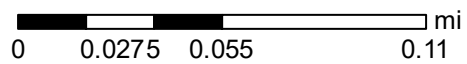


5085 Corporate Exchange BLVD SE

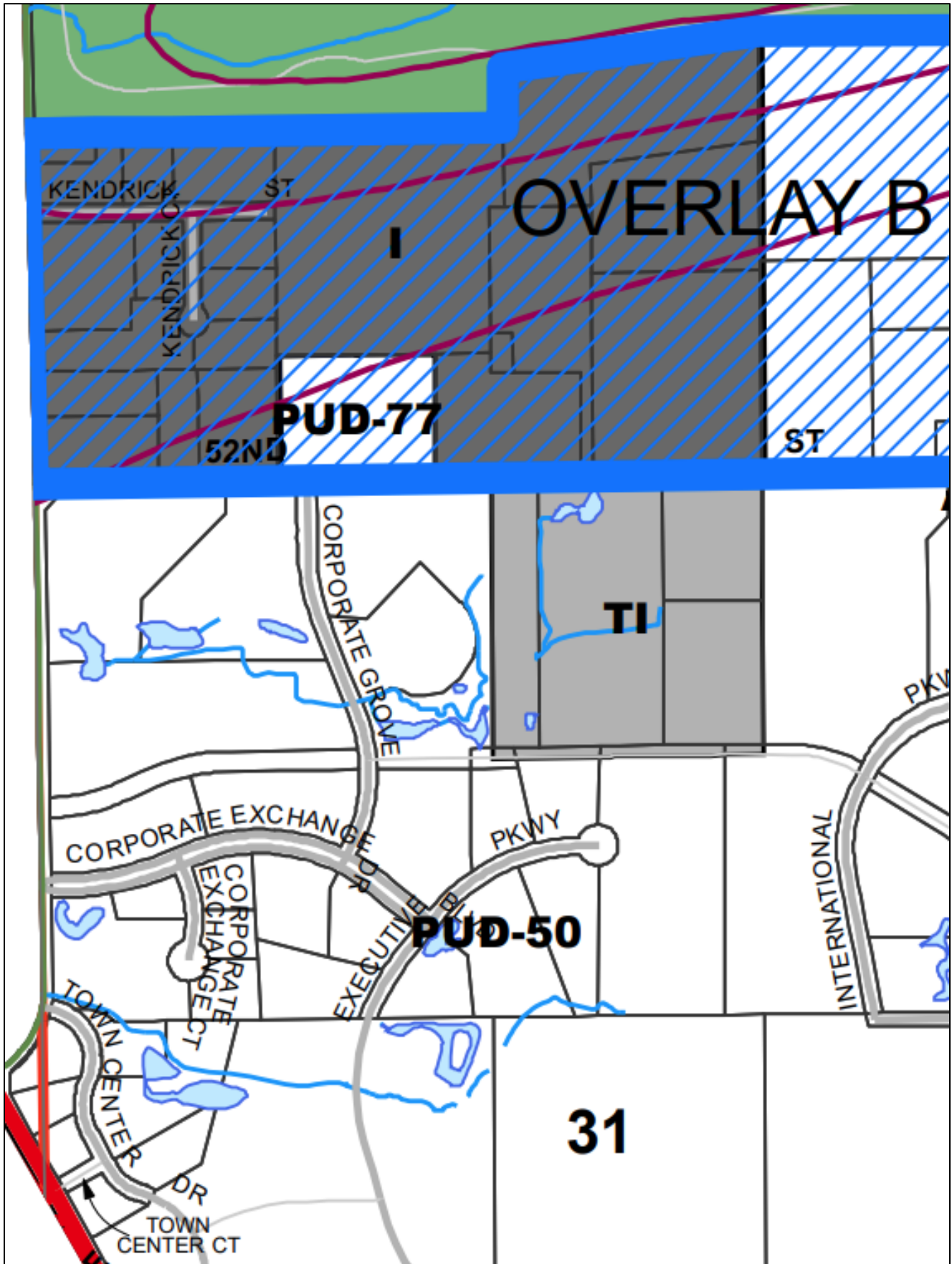
February 29, 2024



Kent County, MI makes no warranty, expressed or implied, regarding the accuracy, completeness or usefulness of information presented. Users of this information assume all liability for its fitness for a particular use.



Zoning





Memorandum

TO: Cascade Township Planning Commission
FROM: Danielle Bouchard, AICP, Principal Planner
SUBJECT: 5085 Corporate Exchange Blvd. – Site Plan Review #3
DATE: February 28, 2024

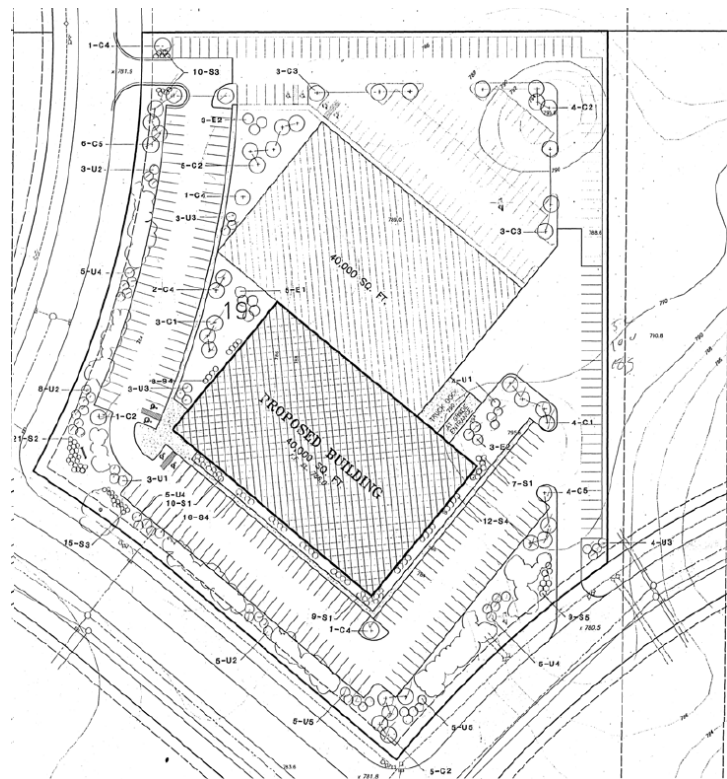
The applicant, Veneklasen Construction, is proposing a 51,014 square foot addition to the existing Skytron building, located at 5085 Corporate Exchange Blvd. The existing building is approximately 68,985 square feet in size. As such, the proposed addition will expand the building footprint by approximately 74%. This review is based on site plans dated 2/28/2024.

SITE BACKGROUND

The subject site, located at 5085 Corporate Exchange Blvd. (the “subject site”), is a current industrial business. The business on site, Skytron, operates a light manufacturing business in which medical supplies are manufactured within the facility. Light manufacturing is a permitted use per the current PUD Ordinance #3 of 2017, Section VIII.A.5.

After the Meadowbrooke Business Park PUD was originally approved in 1988 (Ordinance #2 of 1988), the Planning Commission subsequently approved a site plan for the development of the subject site in 1998. The primary purpose of this site plan review is to amend the previously approved site plan (case number 98-2086) and consider the revised site plan (details of which are described further in this review).

The site plan, as proposed, includes a substantial deviation from conditions approved in 1998. Further, the proposed site improvements include an additional warehousing use, thus increasing the intensity of the current site’s operations and land uses – warranting a new approval by the Planning Commission.



Above: 1998 approved site plan



PROJECT OVERVIEW

A. Proposed Use. The subject site is located at 5085 Corporate Exchange Boulevard – also with frontage on Executive Parkway and Exchange Boulevard. This site is a part of PUD #50, Meadowbrooke Business Park, of 1988.

The applicant is proposing an addition to the existing building. The intended use for the proposed addition is for warehousing. The PUD Ordinance does not explicitly permit warehousing as a permitted use in the Meadowbrooke PUD. Accessory uses customary and incidental to permitted uses are allowed. Staff finds the proposed warehousing use can be permitted, given that it is incidental and accessory to the current permitted operations.

B. Meadowbrooke Review Board: Section VI. The PUD Ordinance states that site improvements shall be subject to review and approval by the Meadowbrooke Review Board. Staff reached out to the Meadowbrooke Review Board Representative. It was discovered that the Board decided to dissolve in 2023. The representative did not identify substantial concerns with the proposed site plan or warehousing use.



Above: current site conditions

C. Boundary Adjustment. The applicant is proposing to combine a segment of Parcel 41-19-311-000-44 (north adjacent) to the subject site. The segment includes a former railroad right-of-way. Resulting parcels are compliant with PUD requirements. The parcel boundary adjustment shall be approved and filed with the Cascade Township Assessing Department and Kent County Register of Deeds prior to any improvements taking place on-site.

EXISTING AND SURROUNDING CONDITIONS

The subject site is located within a planned industrial park, part of the Meadowbrooke PUD. The surrounding land uses include industrial businesses. Just north of the subject site are several Transitional Industrial (TI) zoned properties, and Airport Overlay B. The subject site is not affected by any Airport Overlays.

The general area surrounding the site is industrial with office uses. The parcel to the east of the subject site is currently vacant. We find that the proposed warehousing use is consistent with the industrial character of the Meadowbrooke PUD and consistent with surrounding properties and land uses.

SITE PLAN REVIEW

The following analysis is conducted in accordance with the provisions as established in the Cascade Township Zoning Ordinance as well as the PUD Ordinance.

A. Basic Features: Section 21.05.1 (Zoning Ordinance)

The proposed site plan includes required basic information such as date, scale, orientation, engineer's seal, legend, and other applicable basic information. This is compliant with Ordinance requirements.



B. Natural Features: Section 21.05.2 (Zoning Ordinance)

The subject site does not appear to be located within a known floodplain or regulated wetland area.

C. Schedule of Regulations: Section X.A (PUD Ordinance)

Section X of the PUD Ordinance requires the following:

PUD #50 Ordinance Requirements	Min. Lot Area	Maximum Height	Setback from ROW (front)	Setbacks side	Setbacks Rear	Lot Coverage
Standard	2 acres	40'	40'	25'	25'	80%**
Proposed	~ 6.6 acres	25'	40'	25'	129'	74%**
Compliance Status	Yes	Yes	Yes	Yes	Yes	N/A

**Site plan sheet C-101 notes a maximum lot coverage requirement of 80%. Neither the PUD Ordinance nor the Zoning Ordinance indicates a maximum lot coverage requirement of 80%. The applicant shall submit justification for this condition. Based on the submitted site plan, the proposed new construction meets setback provisions.

D. Off-Street Parking and Loading

Required Parking: Table 19-B

The site plans include several areas for passenger vehicle parking. Vehicles are intended to park on the west, southern, southeast, and east portion of the site – surrounding the existing building.

The table below includes required parking calculations per Table 19-B of the Cascade Township Zoning Ordinance.

Requirement (Table 19-B)	Required # of Spaces	Proposed # of Spaces
Light manufacturing: 1.5/1,000 sq. ft.	68,985 sq.ft./1,000 = 69 x 1.5 = 104 spaces	1/1,000 sq. ft.
Warehousing: 0.67/1,000 sq. ft.	51,014 sq.ft./1,000 = 51 x 0.67 = 34 spaces	1/1,000 sq. ft.
TOTAL	138 spaces	145 spaces (7 ADA)

The proposed site plan meets and exceeds the required minimum parking by 7 spaces. Parking space dimensions are 9'x20'. This is compliant with PUD and Ordinance requirements.

Section 19.04.3.a. states a maximum of one (1) driveway per parcel and Section 19.04.3.b. states an additional driveway may be approved by the Planning Commission for lots with street frontage greater than 300 feet. The Planning Commission shall have the authority to approve (or deny) the additional new driveway from Corporate Grove Drive.

E. Surface Materials: Section X.C.1 (PUD Ordinance)

All off-street parking areas shall be constructed of bituminous concrete or asphalt. Site plan conditions note asphalt. This is in compliance with the PUD Ordinance. We defer to the Township Engineer or Road Commission for further comment, if applicable.



F. Stormwater & Drainage

This is subject to review and approval by the Township Engineer.

G. Lighting: Section 4.34 & Section 19.19

The site plans include 7 existing light poles and 7 building mounted lights on the proposed addition. Photometric Plans includes 0 footcandle light trespass onto adjacent properties. All lights must be fully shielded and downward glare. Lighting conditions appear to be consistent with Ordinance requirements.

H. Signage

One existing ground sign is proposed to remain at the corner of Corporate Grove Drive and Corporate Exchange Blvd. No new signs are proposed. Any new signs proposed at a later date shall be subject to review and approval by Cascade Township.

I. Landscaping: Chapter 20 (Zoning Ordinance), Section X.G.4., Section X.C.3. (PUD Ordinance)

Demolition notes on the site plan indicate the removal of approximately 11 trees and shrubs and removal of an existing berm along the northern property line. The landscaping plans include the preservation of 34 trees. Proposed site plans include the following landscaping:

- 7 Redpointe Maple
- 4 Ginko Tree
- 5 Blackhill Spruce
- 6 Vanderwolf Pine
- **TOTAL: 22 new trees**

Existing mature growth trees are located along the northern portion of the subject site, within the area Skytron has recently purchased. **Cascade Township encourages the preservation of the existing mature growth trees to the highest extent possible – especially considering the removal of the existing berm.** Site plans note that the existing mature growth trees on the northern portion of the site will be preserved.

Per Section X.G.4 of the PUD Ordinance, *“Trees with a caliper of five (5) inches or more shall not be removed without written approval of the Planning Director.”* The Planning Director shall provide written approval to the applicant permitting the removal of trees 5 inches or more in caliper – should the Planning Commission approve the proposed demolition plan and landscaping plan.

Per Section X.C.3, *“The use of berms to insure that parking/loading areas are screened from public view may be required. In particular, loading docks and areas where commercial trucks and vehicles are stored shall be screened.”* The new loading/unloading dock should be adequately screened from view. The proposed building orientation includes the truck loading/unloading area slightly angled away from the road. Cars traveling south on Corporate Grove Drive will likely see the unloading/loading area. However, given the local precedent of other sites within the Meadowbrooke PUD, this is likely adequate screening, especially considering the preservation of mature growth trees on the north side of the site. This finding is subject to decision by the Planning Commission.



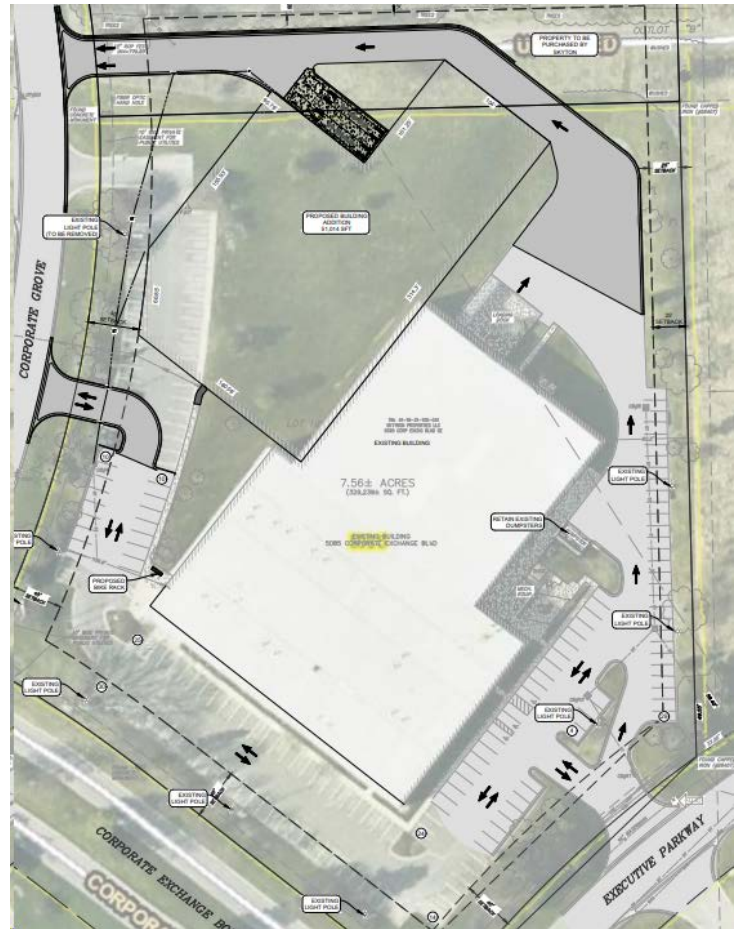
J. Site Circulation

Site plans depict two new/modified points of ingress/egress onto the site and one (1) existing ingress/egress onto the site. The northernmost proposed driveway width is approximately 30' wide. The northern internal truck access route is 30' wide, narrows to 26' wide, and back to 30' wide toward the driveway on the northwest side of the site. No changes are proposed to the eastern internal access route. The applicant has provided documentation from the Kent County Road Commission noting tentative approval of the northern driveway. Proof of driveway permits shall be submitted to the Township when obtained.

A truck loading dock is proposed on the northwest side of the proposed addition, intending to accommodate two semi-trucks at a time. The loading dock is 28'x60', or 1,680 square feet in area. This indicates that the "new" facility includes loading and unloading activities as well as warehousing. Site plans state, *"Delivery and shipment of products and merchandise will be done using 3 trucks. Deliveries/shipments will occur 5 times per week during normal business hours."* This concludes an increase of approximately 15 trucks per week. We find that the increase of truck traffic onto Corporate Grove Drive, Corporate Exchange Boulevard, and Executive Parkway will likely not cause adverse effects to surrounding properties, property uses, or streets as a result of the proposed addition.

Trucks are intended to pull north into the site from Corporate Exchange Blvd and circulate around the east and north side of the building – where the new loading/unloading dock is proposed. Trucks are intended to exit the new northernmost driveway onto Corporate Grove Dr. Truck traffic is intended to be a one-way traffic flow onto and around the site. Site plans provide truck turning movement patterns. It is not intended that trucks are to use the public roadway for backing in and out of the site. This is compliant with Ordinance standards.

A pedestrian walkway, approximately 4' in width is proposed to connect the existing building to the addition, adjacent to the remaining parking area on the west side of the site. A bike rack is included on the site plans. This is compliant with Ordinance requirements.



Above: Proposed site circulation



K. Outside Storage: Section X.H (PUD Ordinance)

Site plans do not indicate any areas for outdoor storage. If outdoor storage is proposed, details shall be included on site plans and provided by the applicant.

L. Utilities and Infrastructure: Section X.K (PUD Ordinance)

The current building is connected to required utility services. The proposed addition shall also include required public utilities. Approval for required utilities shall be obtained by the appropriate approval entities. It appears this requirement is satisfied.

M. Trash Removal & Disposal

Dumpster enclosure location and details are not intended to change. If the applicant plans to change the dumpster enclosure at any time, the relocation and enclosure details shall be submitted for review and approval by Cascade Township.

ADDITIONAL AGENCY REVIEWS

The following reviews have been conducted in addition to the planning/zoning review listed above.

1. Fire Department

The Fire Department requires a minimum of 20' wide internal site circulation drives. The proposed site plan is compliant with this requirement. However, additional review by the Fire Department will occur prior to any site improvements taking place.

2. Cascade Township Engineer

The Kent County Drain office states: *"It appears that site will drain south into our Meadowbrooke South Drain regional detention basin through stormwater in Executive Parkway. That basin was designed assuming each Lot could build out to a weighted C factor of 0.8 (assuming a 0.9 for impervious areas and 0.2 for pervious areas). If the weighted C factor exceeds that value, then additional onsite detention should be provided. Additionally, new standards implemented since design of that basin encourage water quality improvements. Some sort of water quality treatment device or BMP should be included in the design to help remove suspended solids. As part of the site plan review process, an approval email from myself should be solicited. I'll want to see the site grading plan and a table summarizing existing and proposed land uses (pervious vs impervious) with the weighted C factor calculation. You'll still need full stormwater review from Cascade Township."*

All drainage plans shall be subject to review and approval by the Township Engineer prior to submittal to the required approval from the Kent County Drain Commission.

3. Kent County Road Commission

The applicant shall submit proof of permit approvals from the Road Commission, when issued. To date, the Township has received information stating theoretical approval of the ingress/egress of the site.



RECOMMENDATION

Based on the above analysis conducted for the proposed addition located at 5085 Corporate Exchange Blvd. Cascade Township Staff recommends **approval** of the proposed site plans dated February 28, 2024 for the 51,014 square foot addition to the existing principal building with the following conditions:

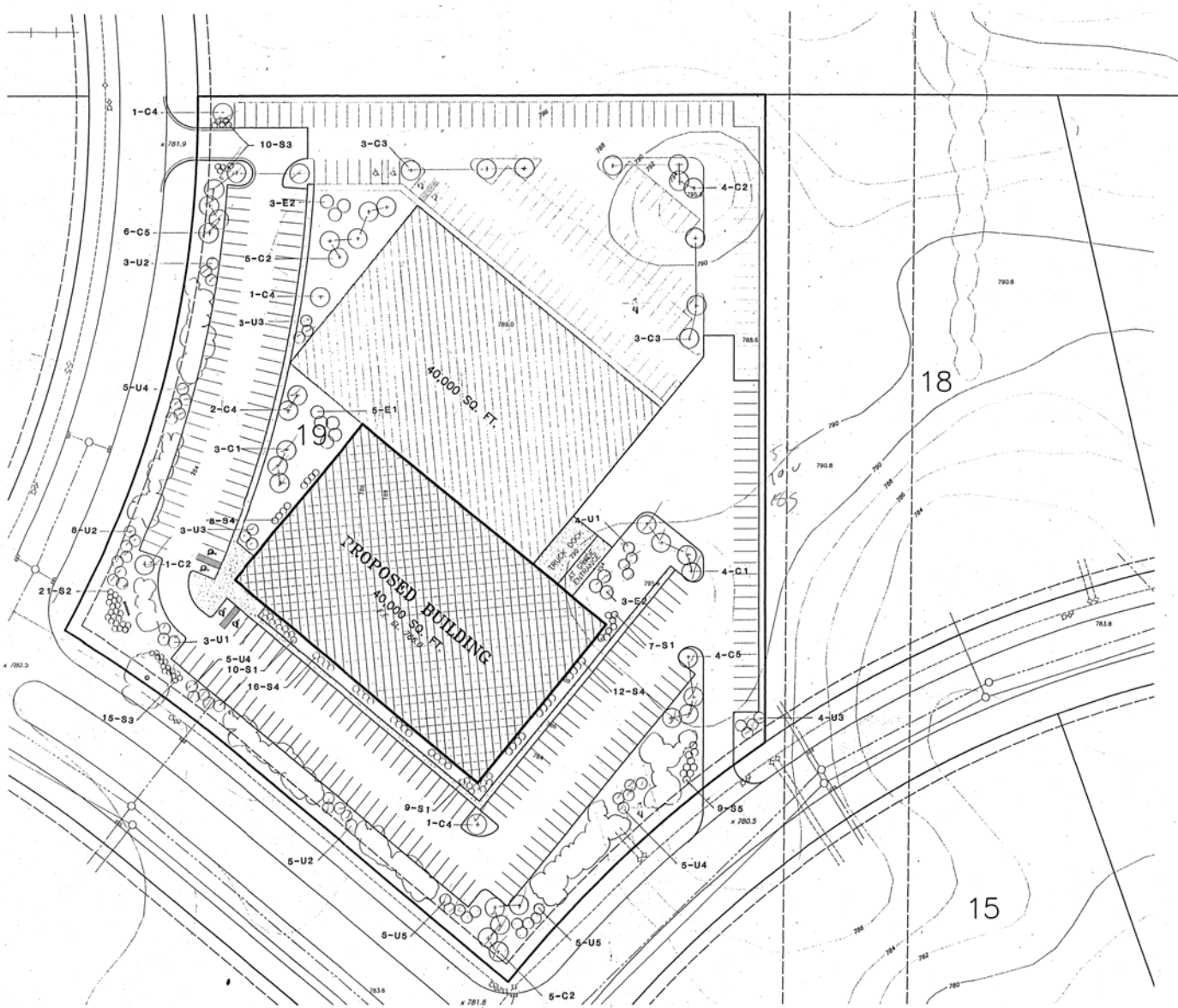
1. The Planning Commission determines that the proposed warehousing use is incidental and accessory to the principal permitted use and upholds the intent of the PUD Ordinance.
2. The Planning Commission approves the new driveway on Corporate Grove Drive.
3. The Planning Commission finds that the proposed screening of the loading/unloading area is adequate.
4. The applicant obtains all required reviews and approvals prior to any improvements taking place on site including:
 - a. Approval from the Township Engineer
 - b. Approval from the Kent County Road Commission
 - c. Approval from the Kent County Drain Commission
 - d. Approval from the Cascade Township Assessing Department for the boundary adjustment
 - e. Approval from the Cascade Township Fire Department

Please feel free to contact Danielle Bouchard, AICP at dbouchard@mcka.com with any questions regarding this review.

Respectfully,

McKenna

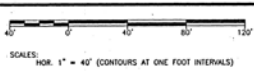
Danielle Bouchard, AICP
Principal Planner



CANOPY TREES			
Code	Quantity	Name	Size
C1	7	Acer saccharum (Sugar maple)	2 1/2-3' cal.
C2	15	Fraxinus a. Autumn Purple (Autumn purple ash)	2 1/2-3' cal.
C3	6	Fraxinus p. Patmore (Patmore ash)	2 1/2-3' cal.
C4	5	Tilia c. 'Chancellor' Chancellor (Chancellor Linden)	2 1/2-3' cal.
C5	10	Tilia c. 'Greenspire' (Greenspire linden)	2 1/2-3' cal.
UNDERSTORY TREES			
U1	7	Aemolanchier canadensis (Juneberry)	10/12' clump
U2	16	Malus Pink Profusion (Pink profusion crab)	1 1/2-2' cal.
U3	10	Malus Red Barron (Red barron crab)	1 1/2-2' cal.
U4	15	Malus Reality (Reality crab)	1 1/2-2' cal.
U5	10	Malus Sargentii (Sargent crab)	1 1/2-2' cal.
EVERGREEN TREES			
E1	5	Picea Omorika (Serbian spruce)	5-6'
E2	6	Picea p-glauca (Blue spruce)	5-6'
SHRUBS			
S1	26	Euonymus a. 'compacta' (Dwarf burningbush)	24/30"
S2	21	Juniperus s. 'Buffalo' (Buffalo Juniper)	18/24"
S3	25	Spiraea j. 'shirobana' (Miss Kim Lilac)	18/24"
S4	35	Taxus x-m. 'densiformis' (Dense yew)	18/24"
S5	9	Weigela f. 'Red Prince' (Purple leaf weigela)	24/30"
GROUND COVER			

Lawn shall be used as a ground cover for all landscaped areas of the site.

--- indicates existing trees to be saved in place or relocated on site as directed by the landscape architect.



NO.	REVISIONS	BY	DATE	DRWN

Prein & Newhof
Engineers • Surveyors • Environmental & Soils Laboratory

David L. Nederveld, ASLA
Landscape Architect
4804 Cassada Road SE Grand Rapids, MI 49506
MARCH 9, 1999

DATE: 12/25/98
SCALE: 1" = 40'-0"
DWC BY: MICHAEL BOUMAN
JOB #: HAUSHAHNC2
REF.:

PROJECT NO: 980290
SHEET NO: 1-1

HAUSHAHN SYSTEMS
MEADOWBROOKE BUSINESS PARK
LOT 19
CASCADE TOWNSHIP

DATE: 2/27/98
REVISION: PLUM BORDERS
LANDSCAPE

NOTE: THIS PLAN IS THE PROPERTY OF HAUSHAHN SYSTEMS AND SHOULD BE KEPT IN CONFIDENTIALITY. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF HAUSHAHN SYSTEMS. IT IS FORWARDED BY L.A.C.

Pioneer
L.L.C. O.R.E.E.L.L.D.
GENERAL CONTRACTORS
A DIVISION OF PIONEER INC.
2500 GRAND RAPIDS, MI
PHONE: (616) 247-6986

SITE PLAN REVIEW PROCESS



Planning & Zoning Application

APPLICANT: Name: Veneklasen Construction
 Address: 5000 Kendrick SE, Grand Rapids, MI 49512
 Telephone: 616-957-3731
 Facsimile: 616-957-4085

OWNER:* Name: Skytron
 Address: 5085 Corporate Exchange Blvd.
 Telephone: 616-856-2900
 Facsimile: _____

(*If different from the Applicant)

NATURE OF THE REQUEST (Please check the appropriate box or boxes)	
<input type="checkbox"/> Administrative Appeal	<input checked="" type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. – Rezoning **
<input type="checkbox"/> P.U.D. – Site Condominium **	<input type="checkbox"/> Rezoning
<input checked="" type="checkbox"/> Site Plan Review **	<input type="checkbox"/> Sign Variance
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Subdivision Plat Review **
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ **

(**Requires an initial submission of 5 copies of the completed site plan)

BRIEFLY DESCRIBE YOUR REQUEST:***

Building addition to the existing Skytron facility at 5085 Corporate Exchange Blvd.. Improvements to include 40,000 new building, pavement removal, new pavement, new storm sewer, new drive entrance, and landscaping.

(***Use Attachments if Necessary)

SITE PLAN REVIEW PROCESS



LEGAL DESCRIPTION OF PROPERTY***:

Lots 18 and 19 of Meadowbrooke Business Park, part of the Northwest 1/4 of the Northeast 1/4 of Section 31, T6N R10W,
Cascade Township, Kent County, Michigan as recorded in Liber 91 of Plats, page 21 with exceptions.

(***Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19- 31-100-041

ADDRESS OF PROPERTY: 5085 Corporate Exchange Blvd.

PRESENT USE OF THE PROPERTY: Skytron

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
_____	_____
_____	_____

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

CURT WEBB

Owner – Print or Type Name
(*If different from Applicant)

* Curt Webb
Owner's Signature & Date 12/1/23
(*If different from Applicant)

CHRIS BOOTH

Applicant – Print or Type Name

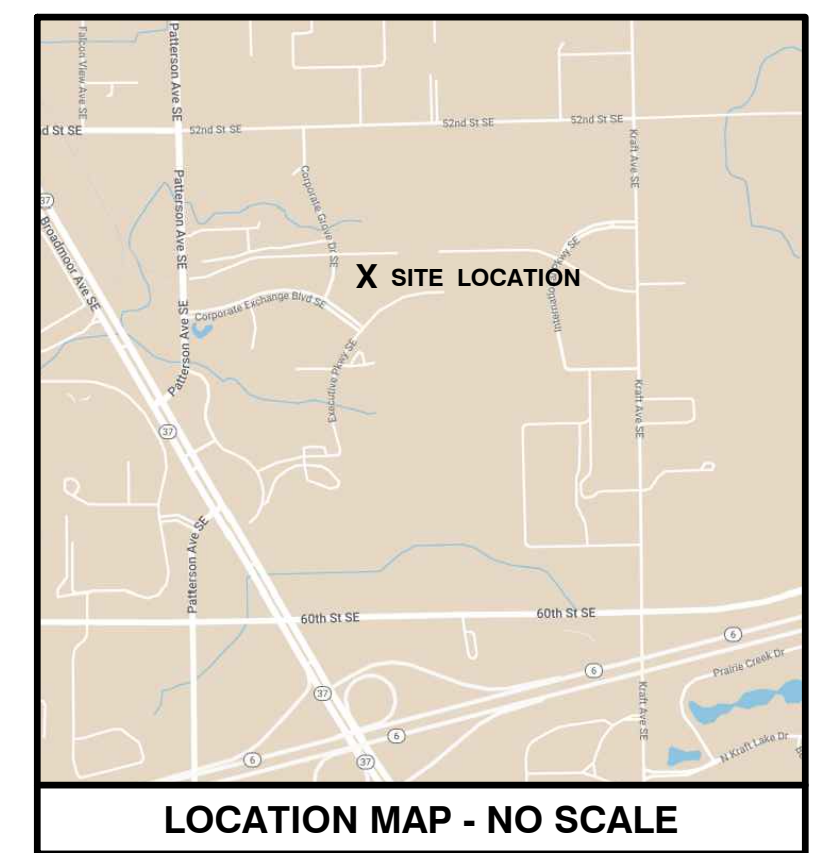
Chris Booth
Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU!

TOPOGRAPHIC / BOUNDARY SURVEY

LEGAL DESCRIPTION
FROM: DRIESENKA & ASSOCIATES, INC.
LOT LINE ADJUSTMENT EXHIBIT (JOB NO. 2330645.5A, DATED 02/19/2024)

PART OF LOTS 18, 19 AND OUTLOT B OF MEADOWBROOKE BUSINESS PARK, SECTION 31, TOWN 06 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN, AS RECORDED IN LIBER 91 OF PLATS, PAGES 21 THROUGH 31; KENT COUNTY RECORDS, DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 19; THENCE ALONG THE WEST LINE OF SAID LOT 19, NORTH 26 DEGREES 27 MINUTES 24 SECONDS EAST 14.89 FEET; THENCE CONTINUING ALONG SAID WEST LINE AND THE WEST LINE OF SAID OUTLOT B, NORTHERLY 522.72 FEET ALONG THE ARC OF A 843.00 FOOT RADIUS CURVE TO THE LEFT, THE CHORD OF WHICH BEARS NORTH 08 DEGREES 41 MINUTES 34 SECONDS EAST 514.38 FEET TO THE NORTH LINE OF SAID OUTLOT B; THENCE ALONG SAID NORTH LINE, NORTH 88 DEGREES 30 MINUTES 59 SECONDS EAST 457.30 FEET; THENCE SOUTH 01 DEGREE 29 MINUTES 01 SECOND EAST 608.07 FEET TO THE SOUTHWEST LINE OF SAID LOT 19; THENCE ALONG SAID SOUTHWEST LINE, SOUTHWESTERLY 272.08 FEET ALONG THE ARC OF A 943.00 FOOT RADIUS CURVE TO THE LEFT, THE CHORD OF WHICH BEARS SOUTH 46 DEGREES 13 MINUTES 17 SECONDS WEST 271.12 FEET; THENCE CONTINUING ALONG SAID SOUTHWEST LINE, SOUTH 37 DEGREES 57 MINUTES 24 SECONDS WEST 4.29 FEET TO THE SOUTHWEST LINE OF SAID LOT 19; THENCE ALONG SAID SOUTHWEST LINE, NORTH 52 DEGREES 02 MINUTES 36 SECONDS WEST 297.00 FEET; THENCE CONTINUING ALONG SAID SOUTHWEST LINE, NORTHWESTERLY 149.68 FEET ALONG THE ARC OF A 960.00 FOOT RADIUS CURVE TO THE LEFT, THE CHORD OF WHICH BEARS NORTH 56 DEGREES 30 MINUTES 36 SECONDS WEST 149.53 FEET TO THE POINT OF BEGINNING. SUBJECT TO EASEMENTS, RESTRICTIONS, AND RIGHT OF WAYS, APPARENT AND OF RECORD. SAID PARCEL CONTAINS 7.56± ACRES (329,239± SQ. FT.).



DRIESENKA & ASSOCIATES, INC.
Engineering
Surveying
Testing
www.driesenka.com
Holland, MI
616-396-0255
Grand Rapids, MI
616-249-3800
Kalamazoo, MI
269-544-1455
Lansing, MI
517-977-1019
Ypsilanti, MI
734-368-9483

BENCHMARK DATA

BENCHMARKS TAKEN FROM SURVEY PREPARED BY BURGESS SURVEYING, PROJECT NO. 2321001, DATED 08/24/2023.

BENCHMARK #1: ELEVATION = 783.70
TOP OF FLANGE BOLT UNDER "E" ON HYDRANT, LOCATED WEST OF CORPORATE GROVE, WEST OF NORTHWEST PROPERTY CORNER.

BENCHMARK #2: ELEVATION = 781.85
TOP OF FLANGE BOLT UNDER "E" ON HYDRANT, LOCATED NORTH OF EXECUTIVE PARKWAY, SOUTH OF SOUTHWEST PROPERTY CORNER.

STORM STRUCTURE DATA (FROM BURGESS SURVEYING - EXCEPT AS NOTED)

MH#1 STM MH RIM=778.87 12" INV(S)=772.77 12" INV(E)=772.87 12" INV(W)=772.87 6" TILE INV(S)=772.87	CB#10 STM CB RIM=784.51 12" INV(NE)=776.71 12" INV(S)=776.71	MH#13 STM MH RIM=780.10 24" INV(NW)=772.30 24" INV(SE)=772.30 42" INV(NE)=772.0 42" INV(SW)=771.90
CB#2 STM CB RIM=778.35 12" INV(E)=773.45 6" TILE INV(N&S)=774.75	CB#11 STM CB RIM=782.09 12" INV(NE)=776.29	CB#14 STM CB RIM=779.33 24" INV(N)=771.93 24" INV(SE)=771.93
CB#3 STM CB RIM=778.27 12" INV(W)=773.27 6" TILE INV(N&S)=774.07	CB#12 STM CB RIM=779.56 24" INV(NW)=772.96 24" INV(SE)=772.86	CB#15 STM CB RIM=784.20 12" INV(S)=778.90
CB#4 STM CB RIM=784.57 15" INV(SE)=777.17 12" INV(N)=777.27	CB#13 STM MH RIM=780.10 24" INV(NW)=772.30 24" INV(SE)=772.30 42" INV(NE)=772.0 42" INV(SW)=771.90	CB#7 STM CB RIM=783.18 FILLED W/ WATER ELEV=778.38
CB#5 STM CB RIM=784.96 12" INV(S)=778.66 12" INV(N)=778.66	CB#14 STM CB RIM=779.33 24" INV(N)=771.93 24" INV(SE)=771.93	CB#8 STM CB RIM=783.98 DUMPSTER OVER CB
CB#6 STM CB RIM=784.20 12" INV(S)=778.90	CB#15 STM CB RIM=781.66 INV (W) 12" RCP=777.43 SUMP=777.41	CB#9 STM CB RIM=783.97 15" INV(N)=775.27 12" INV(SW)=775.27 24" INV(SE)=774.67
CB#7 STM CB RIM=783.18 FILLED W/ WATER ELEV=778.38	MH#16 STM MH RIM=782.21 INV (E) 12" RCP=777.06 INV (W) 12" RCP=776.96 INV (N) 12" RCP=776.96 INV (S) 8" CPE=777.11 SUMP=776.91	CB#17 STM CB RIM=781.75 INV (E) 12" RCP=777.07 SUMP=777.05

SANITARY STRUCTURE DATA (FROM BURGESS SURVEYING)

MH-A SAN MH RIM=779.86 12" INV(NE)=766.56 10" INV(NW)=766.66 12" INV(SW)=766.46 10" INV(SE)=766.66

LEGEND

BENCHMARK	EXISTING
MONUMENT FOUND	SET CAPPED REBAR #62885
FOUND IRON	CONTROL POINT
STORM SEWER MANHOLE	CATCH BASIN
SANITARY SEWER MANHOLE	FIRE HYDRANT
VALVE (WATER & GAS)	UTILITY RISER
HAND HOLE	ELECTRIC METER
SGN	FENCE LINE
OVERHEAD UTILITIES	UNDERGROUND ELECTRIC
COMMUNICATIONS	TELEPHONE
FIBER OPTIC	GAS LINE
EXISTING WATER LINE	EXISTING STORM SEWER
EXISTING SANITARY SEWER	BITUMINOUS SURFACE
CONCRETE SURFACE	GRAVEL SURFACE
CONIFEROUS TREE	DECIDUOUS TREE
	ORNAMENTAL BUSH

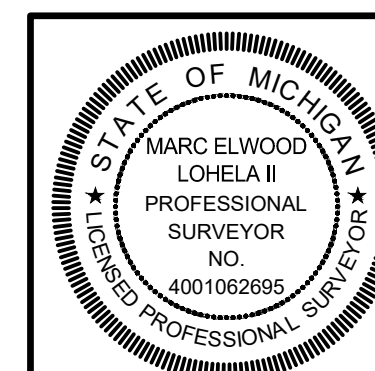
SURVEYOR'S NOTES

- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL FIELD MEASUREMENTS AND AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG - CALL MISS DIG AT 811.
- CONTOUR INTERVAL = 1 FOOT.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" (NO SCREEN) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 26081C05600, WHICH BEARS AN EFFECTIVE DATE OF FEBRUARY 23, 2023. ZONE "X" (NO SCREEN) AREAS DETERMINED TO BE AREAS OF MINIMAL FLOOD HAZARD.
- THE FIELD WORK WAS COMPLETED ON FEBRUARY 20, 2024.
- EASEMENTS, UTILITIES, AND A MAJORITY OF TOPO AREA TAKEN FROM SURVEY PROVIDED BY BURGESS SURVEYING. THIS INFORMATION HAS NOT BEEN VERIFIED BY DRIESENKA & ASSOCIATES, INC.

SURVEY CONTROL

POINT NUMBER	NORTHING (ASSUMED)	EASTING (ASSUMED)	ELEVATION
50	6839.7580'	5828.7574'	782.25'
51	6764.6406'	5956.6730'	785.61'

Tax Parcel No.: 41-19-31-100-041



Marc Elwood Lohela II
P.S. No. 4001062695
TOPOGRAPHIC SURVEY DATA IS REFERENCED TO SECTION LINES AND/OR RIGHT-OF-WAYS FOR GRAPHICAL PURPOSES ONLY. IT DOES NOT REPRESENT A PROPERTY LINE SURVEY. NO CORNERS WERE SET, AND IT SHALL NOT BE RELIED UPON FOR THE ESTABLISHMENT OF ANY PROPERTY LINES, THE LOCATION OF FENCES, WALLS, OR OTHER INDICATIONS OF OCCUPANCY ALONG OR NEAR BOUNDARY LINES IS APPROXIMATE ONLY.

REVISIONS

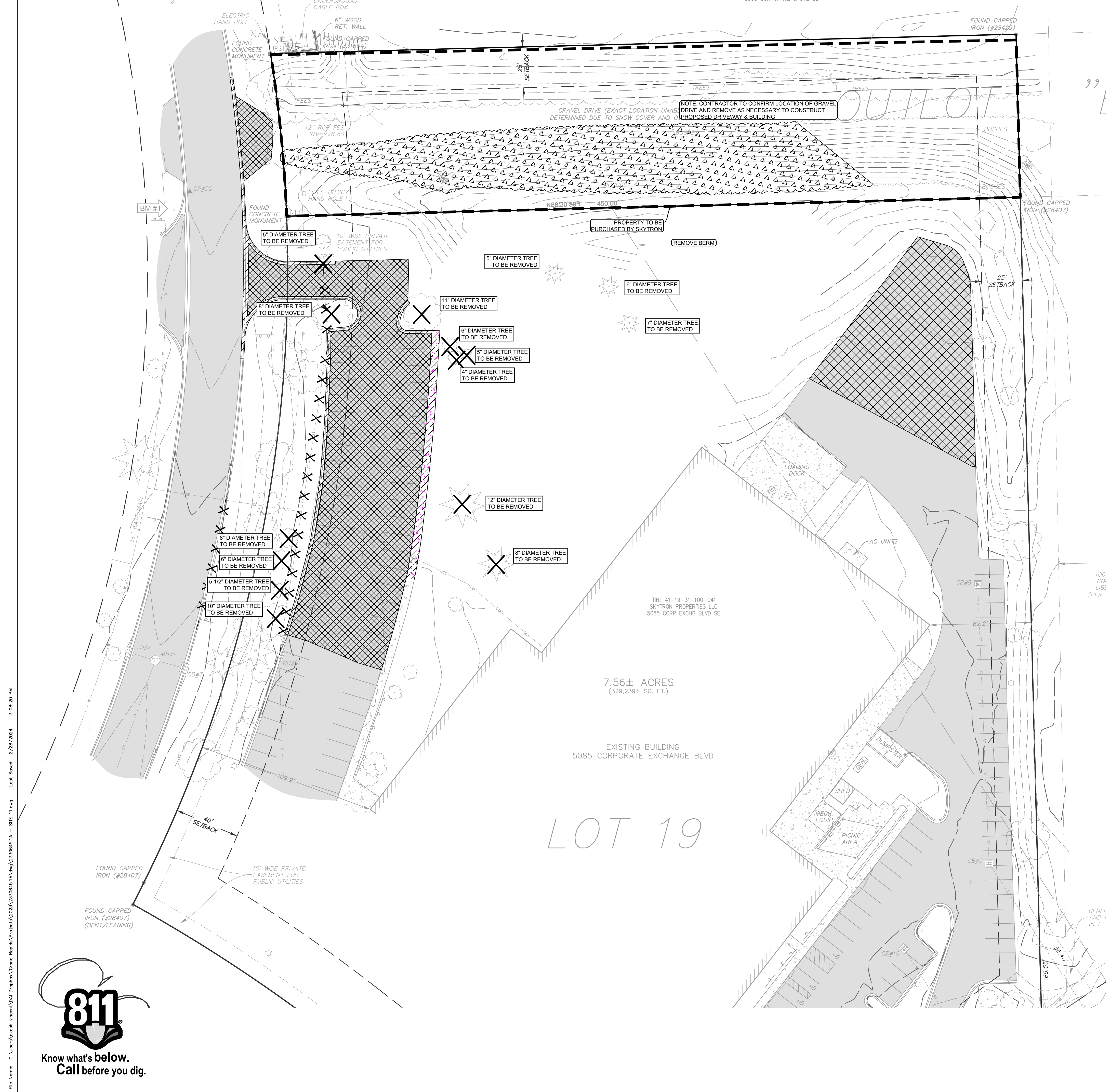
NO.	DESCRIPTION
1	

Drawn By: **GLK**
Scale: 1"=40'
Date: 02-22-2024
Project #: 2330645.5A
Sheet Title:

TOPOGRAPHIC / BOUNDARY SURVEY

Sheet # **V-101**
1 of 1





CLEARING & DEMOLITION NOTES:

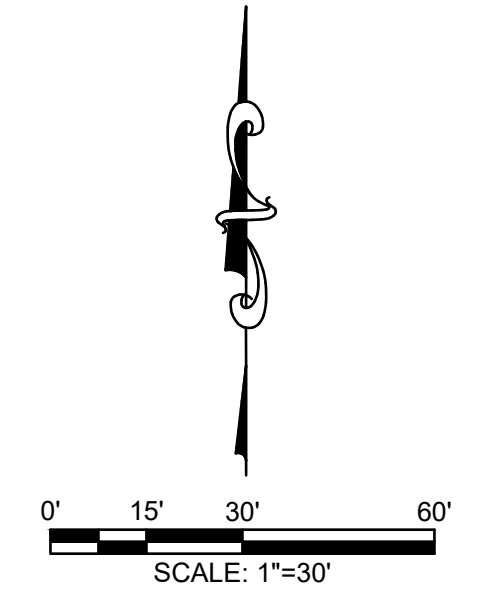
1. REMOVE ALL STRUCTURES, SUPPORT COLUMNS, ASPHALT PAVING, CONCRETE CURB, SIDEWALKS, CONCRETE PADS, TREES, STUMPS, HEDGES, UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE INDICATED AND DISPOSED OF IN A MANNER ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
2. MOVEMENT OF CLEARED WOOD IS RESTRICTED; REFER TO EMERALD ASH BORER QUARANTINE INFORMATION AT WWW.MICHIGAN.GOV. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL QUARANTINE REQUIREMENTS.
3. CONSTRUCTION FENCE SHALL BE PLACED AT THE DRIP LINE OF ALL TREES WITHIN THE PROJECT AREA THAT ARE INDICATED TO BE PROTECTED. DO NOT OPERATE EQUIPMENT OR STORE MATERIALS OR VEHICLES WITHIN THIS AREA.
4. UNLESS INDICATED TO BE ABANDONED IN PLACE, ALL UTILITIES TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY. UTILITIES TO BE ABANDONED IN PLACE SHALL BE FILLED WITH FLOWABLE FILL AND SECURELY CAPPED.
5. EXCEPT FOR THOSE UTILITIES INDICATED TO BE ABANDONED OR REMOVED, RECONNECT ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION.
6. ALL CATCHBASIN AND MANHOLE FRAMES AND COVERS SPECIFIED TO BE REMOVED SHALL BE SALVAGED, CLEANED AND INSPECTED, AND MAY BE REUSED WITH APPROVAL BY ENGINEER.
7. ANY REMOVAL OF PAVEMENT, SIDEWALK, CURB AND GUTTER OR OTHER HARD SURFACES SHALL BE TO A SAWCUT LINE AT THE NEXT JOINT BEYOND REMOVAL LIMITS SHOWN.
8. DEMOLITION WORK IS INDICATED BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH THE EXTENT OF DEMOLITION WORK REQUIRED.

REMOVAL LEGEND:

- CONCRETE REMOVAL
- ASPHALT REMOVAL
- BUILDING REMOVAL
- GRAVEL REMOVAL
- TREE/BUSH CLEARING
- TREE/SHRUB REMOVAL
- FENCE/WALL/UTILITY/MISC. REMOVAL

LEGEND

- BENCHMARK
- STORM SEWER MANHOLE
- CATCH BASIN
- FLARED END SECTION
- SANITARY SEWER MANHOLE
- CLEANOUT
- WELL HEAD
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SPRINKLER CONTROL VALVE
- SPRINKLER HEAD
- VALVE (WATER & GAS)
- GAS METER
- UTILITY RISERS
- UTILITY POLE
- LIGHT POLE
- GUY ANCHOR
- TRANSFORMER
- HAND HOLE (ELECTRIC)
- ELECTRIC METER
- GROUND MOUNTED LIGHT
- SIGN
- SOIL BORING
- BOLLARD POST
- POST
- GATE
- FENCE LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- COMMUNICATIONS
- TELEPHONE
- FIBER OPTIC
- GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING BITUMINOUS SURFACE
- PROPOSED BITUMINOUS SURFACE
- EXISTING CONCRETE SURFACE
- PROPOSED CONCRETE SURFACE
- EXISTING GRAVEL SURFACE
- PROPOSED GRAVEL SURFACE
- CONFEROUS TREE
- DECIDUOUS TREE
- ORNAMENTAL BUSH



ISSUED FOR APPROVAL

**Engineering
Surveying
Testing**

www.driesenka.com

Holland, MI
616-396-0255

Grand Rapids, MI
616-249-3800

Kalamazoo, MI
269-544-1455

Lansing, MI
517-889-6210

Ypsilanti, MI
734-368-9483

SKYTRON ADDITION
5085 CORPORATE EXCHANGE BLVD.
SECTION 31, T06N, R10W, CASCADE TWP., KENT CO.
-FOR-
VENEKLASEN CONSTRUCTION
5000 KENDRICK SE, GRAND RAPIDS, MI 49512

ISSUED FOR:

1	ISSUED FOR REVIEW	02-14-2024	D. JTC C. JT
2	SITE PLAN REVIEW	02-28-2024	D. AVV C. JT

Project Manager:
JULIE TOWNSEND

Project #
2330645.1A

Sheet Title:
**CIVIL
DEMOLITION
PLAN**

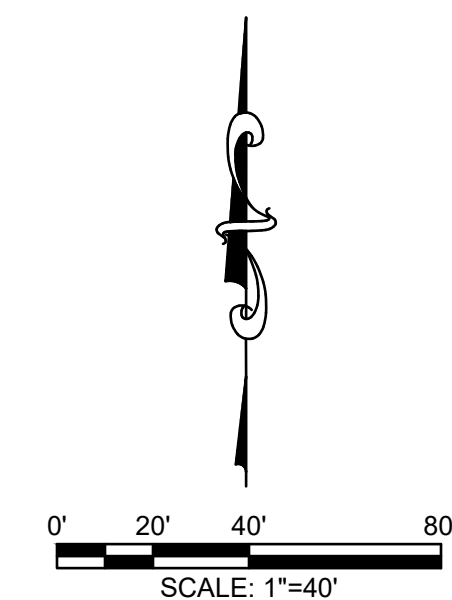
Sheet #
CD-101
3 of 10

File Name: C:\Users\jtowns\OneDrive\Documents\Projects\2023\2330645.1A.dwg\2330645.1A - SITE PL.dwg Last Saved: 2/28/2024 3:08:20 PM





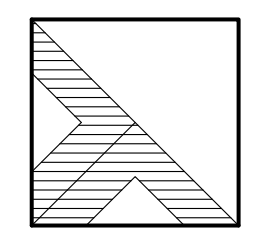
Know what's below.
Call before you dig.



LEGEND

BENCHMARK	EXISTING	PROPOSED
STORM SEWER MANHOLE	EXISTING	PROPOSED
CATCH BASIN	EXISTING	PROPOSED
FLARED END SECTION	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	EXISTING	PROPOSED
CLEANOUT	EXISTING	PROPOSED
WELL HEAD	EXISTING	PROPOSED
FIRE HYDRANT	EXISTING	PROPOSED
FIRE DEPARTMENT CONNECTION	EXISTING	PROPOSED
SPRINKLER CONTROL VALVE	EXISTING	PROPOSED
SPRINKLER HEAD	EXISTING	PROPOSED
VALVE (WATER & GAS)	EXISTING	PROPOSED
GAS METER	EXISTING	PROPOSED
UTILITY RISERS	EXISTING	PROPOSED
UTILITY POLE	EXISTING	PROPOSED
LIGHT POLE	EXISTING	PROPOSED
GUY ANCHOR	EXISTING	PROPOSED
TRANSFORMER	EXISTING	PROPOSED
HAND HOLE (ELECTRIC)	EXISTING	PROPOSED
ELECTRIC METER	EXISTING	PROPOSED
GROUND MOUNTED LIGHT	EXISTING	PROPOSED
SIGN	EXISTING	PROPOSED
SOIL BORING	EXISTING	PROPOSED
BOLLARD POST	EXISTING	PROPOSED
POST	EXISTING	PROPOSED
GATE	EXISTING	PROPOSED
FENCE LINE	EXISTING	PROPOSED
OVERHEAD UTILITIES	EXISTING	PROPOSED
UNDERGROUND ELECTRIC	EXISTING	PROPOSED
COMMUNICATIONS	EXISTING	PROPOSED
TELEPHONE	EXISTING	PROPOSED
FIBER OPTIC	EXISTING	PROPOSED
GAS LINE	EXISTING	PROPOSED
EXISTING WATER LINE	EXISTING	PROPOSED
PROPOSED WATER LINE	PROPOSED	PROPOSED
EXISTING STORM SEWER	EXISTING	PROPOSED
PROPOSED STORM SEWER	PROPOSED	PROPOSED
EXISTING SANITARY SEWER	EXISTING	PROPOSED
PROPOSED SANITARY SEWER	PROPOSED	PROPOSED
BITUMINOUS SURFACE	EXISTING CONCRETE SURFACE	EXISTING GRAVEL SURFACE
PROPOSED BITUMINOUS SURFACE	PROPOSED CONCRETE SURFACE	
CONIFEROUS TREE	DECIDUOUS TREE	ORNAMENTAL BUSH

ISSUED FOR APPROVAL



DRISENGA & ASSOCIATES, INC.

Engineering
Surveying
Testing

www.driesenga.com

Holland, MI 616-396-0255
Grand Rapids, MI 616-249-3800
Kalamazoo, MI 269-544-1455
Lansing, MI 517-889-6210
Ypsilanti, MI 734-368-9483

SKYTRON ADDITION
5085 CORPORATE EXCHANGE BLVD.
SECTION 31, T06N, R10W, CASCADE TWP., KENT CO.
**-FOR-
VENEKLASEN CONSTRUCTION**
5000 KENDRICK SE, GRAND RAPIDS, MI 49512

ISSUED FOR:

1	ISSUED FOR REVIEW	02-14-2024	D. JTC C. JT
2	SITE PLAN REVIEW	02-28-2024	D. AVV C. JT

Project Manager:
JULIE TOWNSEND

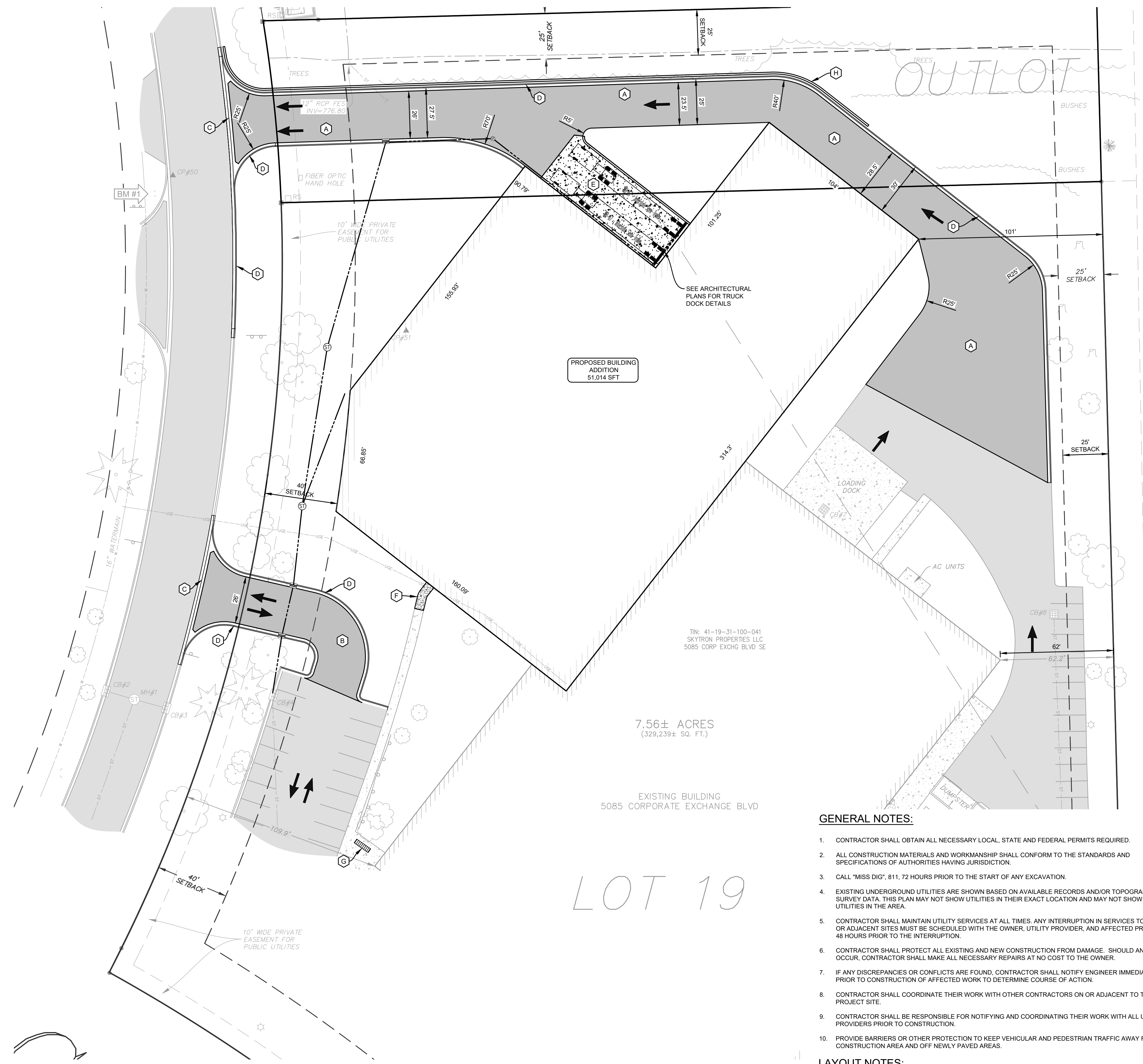
Project #
2330645.1A

Sheet Title:
OVERALL SITE PLAN

Sheet #

C-100
4 of 10

File Name: C:\Users\jash.whelan\OneDrive\Projects\2023\330645\1A - SITE PL.dwg
 Last Saved: 2/28/2024 3:08:20 PM
 SHEET 11.dwg



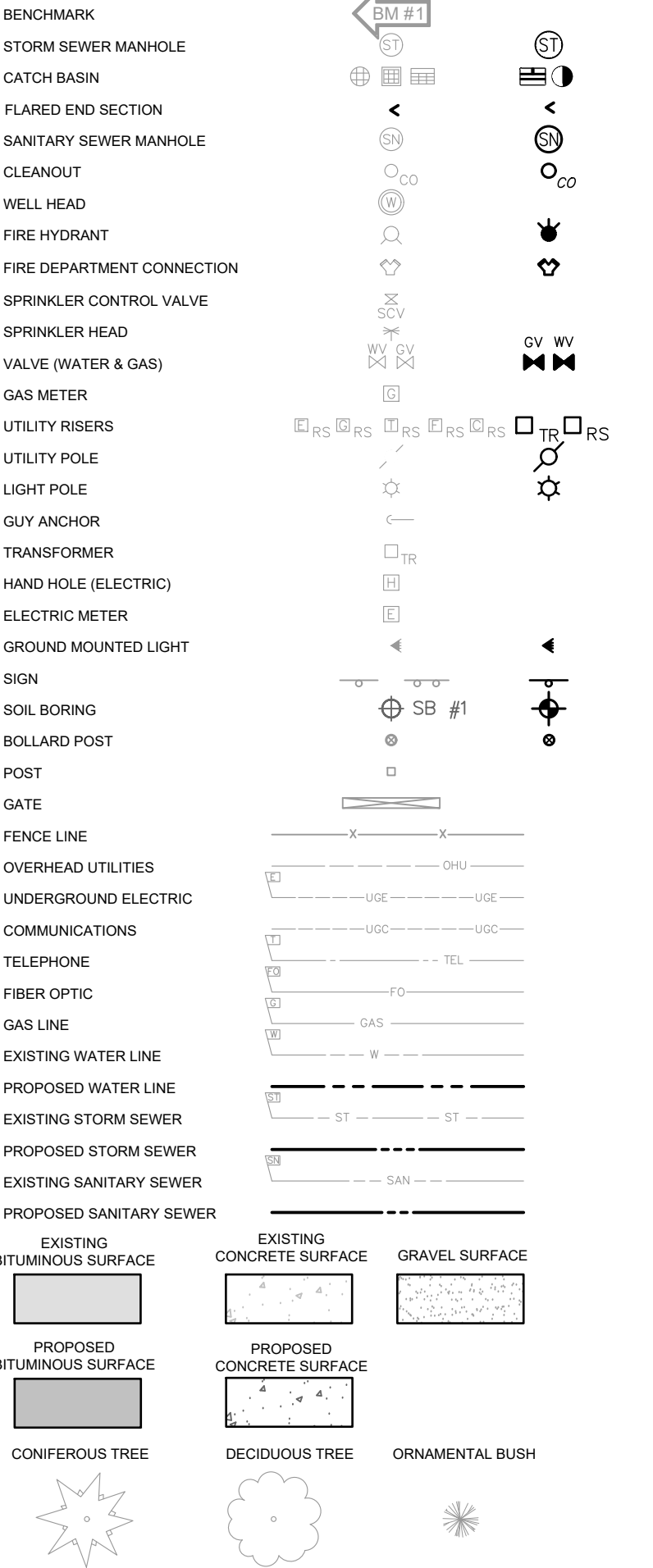
PROJECT SUMMARY

- PARCEL INFORMATION**
 CURRENT ZONING: PUD - DISTRICT
 SITE ADDRESS: 5085 CORPORATE EXCHANGE BLVD.
 PARCEL NUMBER: 41-19-31-100-041
 MIN. LAND AREA: 2.0 AC
 MAX. LOT COVERAGE: 80%
 REQUIRED: 2.0 AC
 PROVIDED: 6.56 AC
 74%
- BUILDING**
 MAX. BUILDING HEIGHT: 45 FT
 BUILDING SIZE: 25 FT
 REQUIRED: 45 FT
 PROVIDED: 24 FT
 EXISTING = 68,400 SFT
 PROPOSED = 44,880 SFT
 TOTAL = 113,280 SFT
- SETBACKS**
 FRONT (MIN.): 40 FT
 SIDE (MIN.): 25 FT
 REAR (MIN.): 25 FT
 PROVIDED: 40 FT
 25 FT
 123 FT
- REGULATORY APPROVALS**
 THE PROJECT WILL REQUIRE THE FOLLOWING APPROVALS, AT A MINIMUM (OTHER PERMITS/APPROVAL MAY ALSO BE REQUIRED)
 • CASCADE TOWNSHIP SITE PLAN
 • CASCADE TOWNSHIP FIRE DEPARTMENT
 • KENT COUNTY DRAIN COMMISSIONER STORM WATER MANAGEMENT
 • KENT COUNTY SOIL EROSION & SEDIMENTATION CONTROL PERMIT
 • KENT COUNTY ROAD COMMISSION ROW/DRIVEWAY
 • MEADOWBROOKE REVIEW BOARD
- IMPACT ON PUBLIC SERVICES**
 PROJECT WILL NOT RESULT IN ADVERSE IMPACT TO PUBLIC SERVICES, INCLUDING POLICE & FIRE PROTECTION, UTILITIES, TRAFFIC OR ROADWAYS.
- IMPACT TO SURROUNDING PROPERTIES**
 USE OF PROPERTY WILL BE CONSISTENT WITH OTHER USES IN THIS ZONING DISTRICT AND IN THE SURROUNDING AREA. USE OF PROPERTY WILL NOT GENERATE ADVERSE LEVELS OF NOISE, VIBRATION, SMOKE, LIGHT, GLARE, OR OTHER PROBLEMATIC CONDITIONS.
- PARKING**
 DIMENSIONS: 9x20'
 SPACES REQUIRED: 9x20'
 1 PER 1000 SFT GROSS FLOOR AREA = 114
 PROPOSED SPACES PROVIDED (REMAINING) = 145 (7 ADA)
- STORM WATER MANAGEMENT**
 STORM WATER WILL BE COLLECTED IN A SERIES OF CATCHBASINS AND PIPES AND ROUTED TO A REGIONAL STORMWATER BASIN OFF-SITE.
- WATER/SEWER SERVICE**
 BUILDING ADDITION WILL BE SERVED BY EXISTING WATER AND SEWER CONNECTIONS CONNECTED TO PUBLIC UTILITIES ADJACENT TO THE SITE.
- WETLANDS**
 THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT PROPERTY.
- FLOODPLAINS**
 THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY, PER FEMA FIRM MAP CN: 26081C0560D.
- LANDSCAPING**
 RETAIN ALL LANDSCAPING EXCEPT AS NOTED ON REMOVAL SHEET AND AS APPROVED BY TOWNSHIP PLANNING DIRECTOR. RETAIN AS MUCH EXISTING NATURAL GROWTH TREES ON NEWLY PURCHASED NORTHERN PROPERTY AS POSSIBLE. REPLACE REMOVED TREES AS NOTED ON THE LANDSCAPE PLAN (PENDING).
- SITE LIGHTING**
 PROPOSED LIGHTING WILL BE WITH SHIELDED LIGHT POLES AND WALL PACKS AT LOCATIONS SHOWN. LIGHTING WILL BE CONSISTENT WITH OTHER USES IN THE AREA AND WILL COMPLY WITH ORDINANCE REQUIREMENTS.
- LOADING/UNLOADING OPERATIONS AT THE NEW LOADING DOCKS**
 LOADING/UNLOADING AREAS ARE INDICATED ON THE PLAN. DELIVERY/SHIPMENT OF PRODUCTS AND MERCHANDISE WILL BE DONE USING 3 TRUCKS. DELIVERIES/SHIPMENTS WILL OCCUR 5 TIMES PER WEEK DURING NORMAL BUSINESS HOURS.
- REFUSE MANAGEMENT**
 NO NEW DUMPSTER IS PROPOSED. EXISTING DUMPSTER WILL BE RETAINED ALONG WITH EXISTING SCREENING.
- CONSTRUCTION SCHEDULE**
 CONSTRUCTION IS ANTICIPATED TO START IN APRIL, 2024 AND BE COMPLETED IN NOVEMBER, 2024.

KEY NOTES:

- (A) ASPHALT PAVEMENT-HEAVY DUTY (SEE DETAIL)
- (B) ASPHALT PAVEMENT-STANDARD DUTY (SEE DETAIL)
- (C) 36" CONCRETE GUTTER (SEE DETAIL)
- (D) 24" CURB & GUTTER - MDOOT F4 (SEE DETAIL)
- (E) 8" REINFORCED CONCRETE PAVEMENT (SEE DETAIL)
- (F) 4" CONCRETE PAVEMENT (SEE DETAIL)
- (G) BIKE RACK (BY OTHERS)
- (H) RETAINING WALL (BY OTHERS)

LEGEND

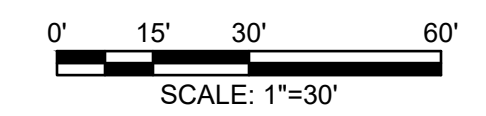


GENERAL NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS REQUIRED.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AUTHORITIES HAVING JURISDICTION.
- CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON AVAILABLE RECORDS AND/OR TOPOGRAPHIC SURVEY DATA. THIS PLAN MAY NOT SHOW UTILITIES IN THEIR EXACT LOCATION AND MAY NOT SHOW ALL UTILITIES IN THE AREA.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES AT ALL TIMES. ANY INTERRUPTION IN SERVICES TO THIS SITE OR ADJACENT SITES MUST BE SCHEDULED WITH THE OWNER, UTILITY PROVIDER, AND AFFECTED PROPERTIES 48 HOURS PRIOR TO THE INTERRUPTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION OF AFFECTED WORK TO DETERMINE COURSE OF ACTION.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS ON OR ADJACENT TO THE PROJECT SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND COORDINATING THEIR WORK WITH ALL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS.

LAYOUT NOTES:

- CONTRACTOR SHALL REVIEW AND VERIFY SITE LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENGAGE A LICENSED SURVEYOR TO PERFORM ALL CONSTRUCTION LAYOUT AND STAKING AS NECESSARY.
- ALL COORDINATE POINTS AND DIMENSIONS GIVEN, UNLESS OTHERWISE NOTED, ARE TO BACK OF CURB AND FACE OF BUILDING WALL.
- REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR BITUMINOUS PAVEMENT.



ISSUED FOR APPROVAL

DRISENGA & ASSOCIATES, INC.
Engineering Surveying Testing
 www.driesenga.com
 Holland, MI 616-396-0255
 Grand Rapids, MI 616-249-3800
 Kalamazoo, MI 269-544-1455
 Lansing, MI 517-889-6210
 Ypsilanti, MI 734-368-9483

SKYTRON ADDITION
 5085 CORPORATE EXCHANGE BLVD.
 SECTION 31, T06N, R10W, CASCADE TWP., KENT CO.
FOR- VENEKLASSEN CONSTRUCTION
 5000 KENDRICK SE, GRAND RAPIDS, MI 49512

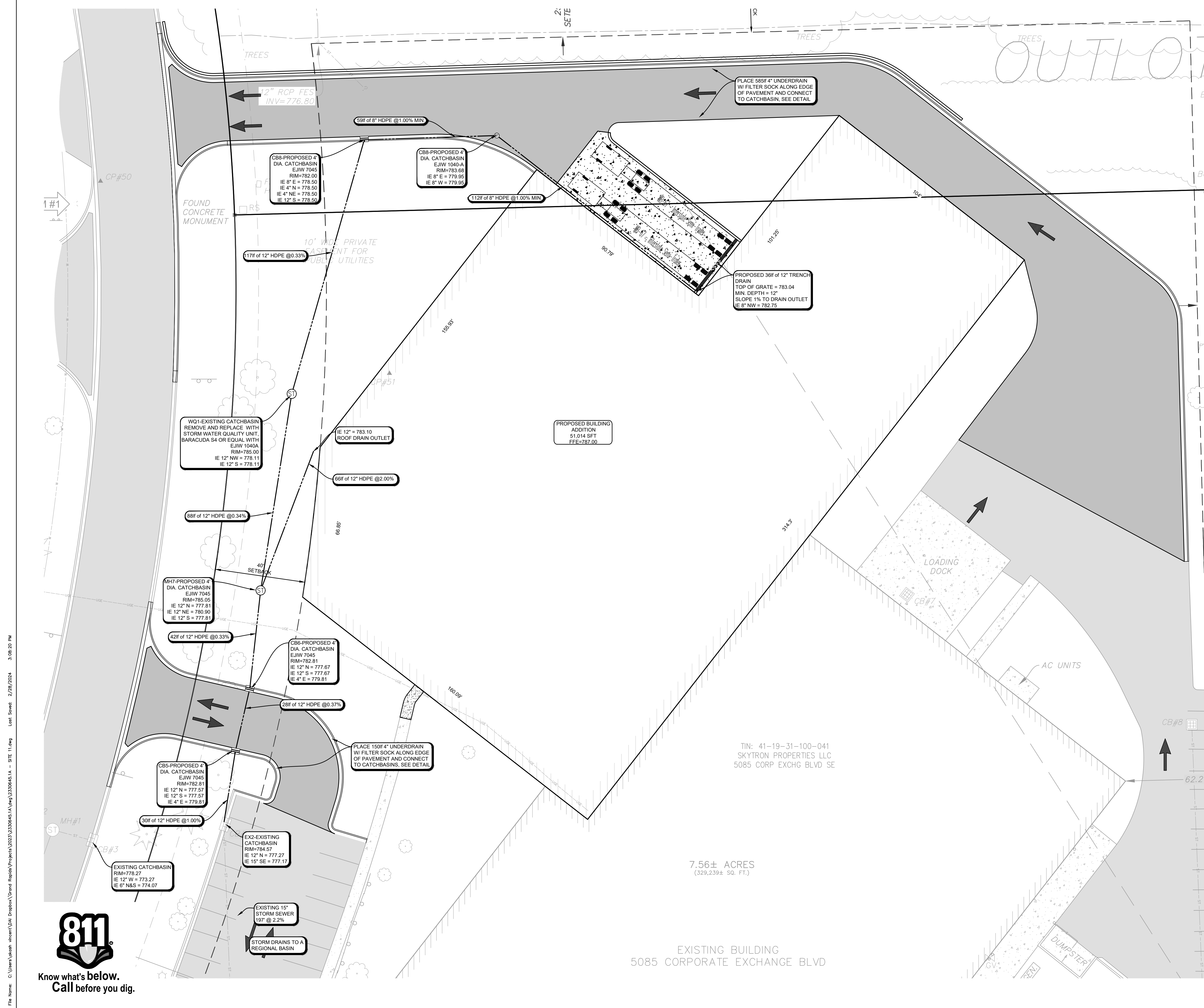
ISSUED FOR:

1	ISSUED FOR REVIEW	02-14-2024	D. JTC C. JT
2	SITE PLAN REVIEW	02-28-2024	D. AVV C. JT

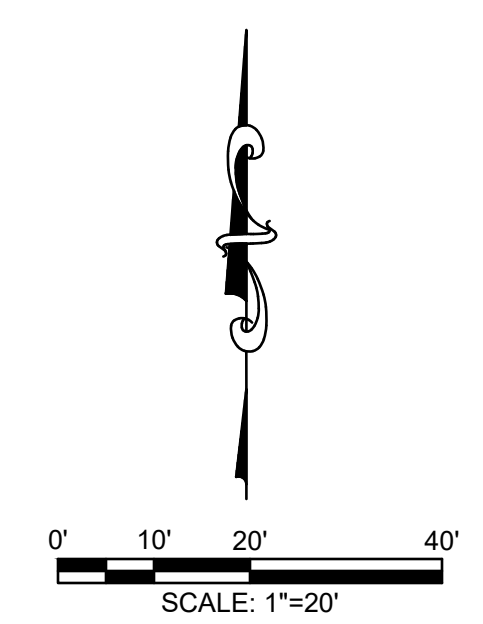
Project Manager:
JULIE TOWNSEND
 Project #
 2330645.1A
 Sheet Title:
SITE PLAN

Sheet #
C-101
 5 of 10





- UTILITY NOTES:**
- CONTRACTOR SHALL OBTAIN CONNECTION PERMIT PRIOR TO INSTALLATION OF ANY PRIVATE WATER, SANITARY, OR STORM CONNECTIONS TO PUBLIC MAIN.
 - CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED FOR ANY PROPOSED PUBLIC WATER MAIN, SANITARY SEWER, OR STORM SEWER. CONTRACTOR SHALL COORDINATE WITH MUNICIPALITY PRIOR TO CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING AND TO ENSURE COMPLIANCE WITH INSPECTION/TESTING REQUIREMENTS.
 - REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
 - ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL DOCUMENT, AND FURNISH TO OWNER AND ENGINEER, WITNESS DIMENSIONS FOR ALL UTILITY STUBS AND CONDUITS INSTALLED.
 - ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF AGGREGATE BASE.



LEGEND

EXISTING	PROPOSED
BENCHMARK	BENCHMARK
STORM SEWER MANHOLE	STORM SEWER MANHOLE
CATCH BASIN	CATCH BASIN
FLARED END SECTION	FLARED END SECTION
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
CLEANOUT	CLEANOUT
WELL HEAD	WELL HEAD
FIRE HYDRANT	FIRE HYDRANT
FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION
SPRINKLER CONTROL VALVE	SPRINKLER CONTROL VALVE
SPRINKLER HEAD	SPRINKLER HEAD
VALVE (WATER & GAS)	VALVE (WATER & GAS)
GAS METER	GAS METER
UTILITY RISERS	UTILITY RISERS
UTILITY POLE	UTILITY POLE
LIGHT POLE	LIGHT POLE
GUY ANCHOR	GUY ANCHOR
TRANSFORMER	TRANSFORMER
HAND HOLE (ELECTRIC)	HAND HOLE (ELECTRIC)
ELECTRIC METER	ELECTRIC METER
GROUND MOUNTED LIGHT	GROUND MOUNTED LIGHT
SIGN	SIGN
SOIL BORING	SOIL BORING
BOLLARD POST	BOLLARD POST
POST	POST
GATE	GATE
FENCE LINE	FENCE LINE
OVERHEAD UTILITIES	OVERHEAD UTILITIES
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
COMMUNICATIONS	COMMUNICATIONS
TELEPHONE	TELEPHONE
FIBER OPTIC	FIBER OPTIC
GAS LINE	GAS LINE
EXISTING WATER LINE	EXISTING WATER LINE
PROPOSED WATER LINE	PROPOSED WATER LINE
EXISTING STORM SEWER	EXISTING STORM SEWER
PROPOSED STORM SEWER	PROPOSED STORM SEWER
EXISTING SANITARY SEWER	EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER	PROPOSED SANITARY SEWER
BITUMINOUS SURFACE	PROPOSED BITUMINOUS SURFACE
CONCRETE SURFACE	PROPOSED CONCRETE SURFACE
GRAVEL SURFACE	GRAVEL SURFACE
CONFEROUS TREE	CONFEROUS TREE
DECIDUOUS TREE	DECIDUOUS TREE
ORNAMENTAL BUSH	ORNAMENTAL BUSH

DRISENGA & ASSOCIATES, INC.
Engineering
Surveying
Testing
www.driesenga.com
Holland, MI 616-396-0255
Grand Rapids, MI 616-249-3800
Kalamazoo, MI 269-544-1455
Lansing, MI 517-889-6210
Ypsilanti, MI 734-368-9483

SKYTRON ADDITION
5085 CORPORATE EXCHANGE BLVD.
SECTION 31, T06N, R10W, CASCADE TWP., KENT CO.
FOR VENEKLASSEN CONSTRUCTION
5000 KENDRICK SE, GRAND RAPIDS, MI 49512

ISSUED FOR:

1	ISSUED FOR REVIEW	02-14-2024	D. JTC C. JT
2	SITE PLAN REVIEW	02-28-2024	D. AVV C. JT

Project Manager:
JULIE TOWNSEND

Project #
2330645.1A

Sheet Title:
STORM SEWER PLAN

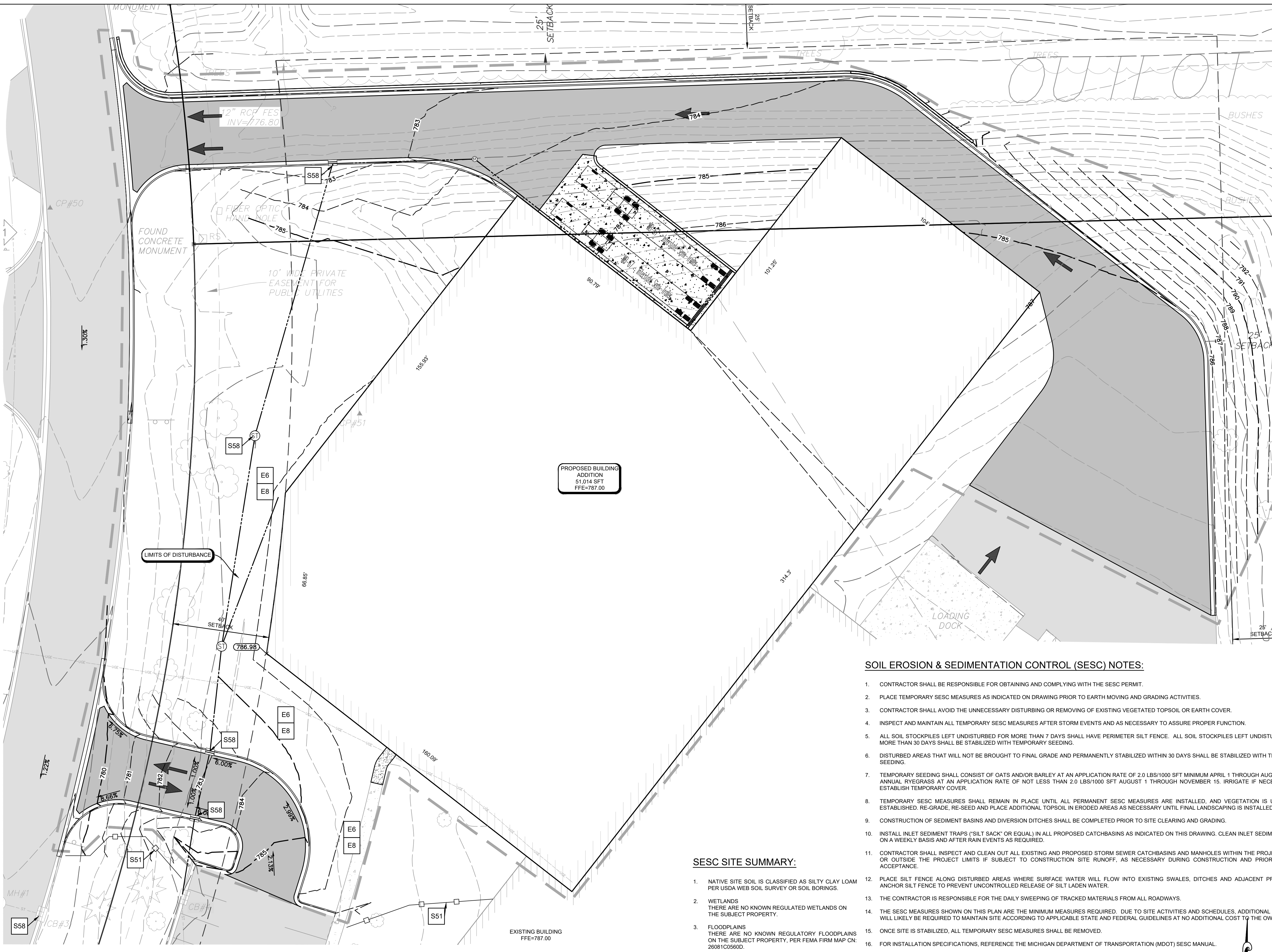
Sheet #
C-102
6 of 10

File Name: C:\Users\jtowns\OneDrive\Projects\2023\2330645.1A.dwg 3:08:20 PM
Last Saved: 2/28/2024 3:08:20 PM
SHEET TITLE



ISSUED FOR APPROVAL

File Name: C:\Users\whent\OneDrive\Projects\2023\2330645\1A.dwg Plot Date: 2/28/2024 3:08:20 PM
 Plot Name: 2/28/2024 3:08:20 PM
 Plot Date: 2/28/2024 3:08:20 PM



- GRADING NOTES:**
- ALL SURFACES SHALL BE GRADED TO PROVIDE SMOOTH CONTOURING AND POSITIVE SLOPE AWAY FROM BUILDINGS, WITH NO PONDING OF WATER.
 - IN ALL AREAS OF NEW CONSTRUCTION, GRADING, OR MATERIAL STOCKPILE AREAS, STRIP AND STOCKPILE EXISTING TOPSOIL PRIOR TO OTHER CONSTRUCTION ACTIVITIES.
 - UNLESS OTHERWISE INDICATED, GRADES AND CONTOURS SHOWN REPRESENT FINISHED GRADE. AFTER PLACEMENT OF PAVEMENT, TOPSOIL, AND OTHER SURFACE IMPROVEMENTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADJUSTMENT OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES, AND CLEAN-OUTS TO MEET FINISHED GRADE.

- RESTORATION NOTES:**
- EXISTING ONSITE TOPSOIL MAY BE USED IF APPROVED BY ENGINEER. IF NOT APPROVED, IMPORTED TOPSOIL MEETING PROJECT SPECIFICATIONS SHALL BE USED.
 - RETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND MULCH ON BASIN BOTTOM. RETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND EROSION CONTROL BLANKET. NORTH AMERICAN GREEN DS150 OR EQUAL. SEED MIX SHALL BE JFWNE STORMWATER SEED MIX OR EQUAL ON BASIN BOTTOM AND 2 FEET VERTICALLY UP SIDESLOPE, AND SUITABLE GRASS SEED MIX ABOVE 2 FOOT LEVEL.
 - DETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH ON BASIN BOTTOM. DETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
 - ALL OTHER SLOPES STEEPER THAN 1 ON 4 SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
 - ALL OTHER DISTURBED AREAS SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH.

- LEGEND**
- XXXXXX FINISH GRADE ELEVATION
 - MG XXXXXX MATCH EXISTING GRADE ELEVATION
 - TO XXXXX FINISH GRADE ELEVATION AT BACK OF CURB
 - FL XXXXX FINISH GRADE ELEVATION AT FLOW LINE
 - TW XXXXXX FINISH GRADE ELEVATION AT TOP OF WALL
 - BW XXXXXX FINISH GRADE ELEVATION AT BOTTOM OF WALL AT GROUND
 - PROPOSED SWALE
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - 627.00 MINIMUM OPENING ELEV. (M.O.E.)
 - 623.60 MINIMUM BASEMENT ELEV. (M.B.E.)

- LEGEND**
- BENCHMARK
 - STORM SEWER MANHOLE
 - CATCH BASIN
 - FLARED END SECTION
 - SANITARY SEWER MANHOLE
 - CLEANOUT
 - WELL HEAD
 - FIRE HYDRANT
 - FIRE DEPARTMENT CONNECTION
 - SPRINKLER CONTROL VALVE
 - SPRINKLER HEAD
 - VALVE (WATER & GAS)
 - GAS METER
 - UTILITY RISERS
 - UTILITY POLE
 - LIGHT POLE
 - GUY ANCHOR
 - TRANSFORMER
 - HAND HOLE (ELECTRIC)
 - ELECTRIC METER
 - GROUND MOUNTED LIGHT
 - SIGN
 - SOIL BORING
 - BOLLARD POST
 - POST
 - GATE
 - FENCE LINE
 - OVERHEAD UTILITIES
 - UNDERGROUND ELECTRIC
 - COMMUNICATIONS
 - TELEPHONE
 - FIBER OPTIC
 - GAS LINE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - BITUMINOUS SURFACE
 - EXISTING CONCRETE SURFACE
 - EXISTING GRAVEL SURFACE
 - PROPOSED BITUMINOUS SURFACE
 - PROPOSED CONCRETE SURFACE
 - PROPOSED GRAVEL SURFACE
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - ORNAMENTAL BUSH

SOIL EROSION & SEDIMENTATION CONTROL (SESC) NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE SESC PERMIT.
- PLACE TEMPORARY SESC MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
- CONTRACTOR SHALL AVOID THE UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER.
- INSPECT AND MAINTAIN ALL TEMPORARY SESC MEASURES AFTER STORM EVENTS AND AS NECESSARY TO ASSURE PROPER FUNCTION.
- ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 7 DAYS SHALL HAVE PERIMETER SILT FENCE. ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED WITHIN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- TEMPORARY SEEDING SHALL CONSIST OF OATS AND/OR BARLEY AT AN APPLICATION RATE OF 2.0 LBS/1000 SFT MINIMUM APRIL 1 THROUGH AUGUST 31, OR ANNUAL RYEGRASS AT AN APPLICATION RATE OF NOT LESS THAN 2.0 LBS/1000 SFT AUGUST 1 THROUGH NOVEMBER 15. IRRIGATE IF NECESSARY TO ESTABLISH TEMPORARY COVER.
- TEMPORARY SESC MEASURES SHALL REMAIN IN PLACE UNTIL ALL PERMANENT SESC MEASURES ARE INSTALLED, AND VEGETATION IS UNIFORMLY ESTABLISHED. RE-GRADE, RE-SEED AND PLACE ADDITIONAL TOPSOIL IN ERODED AREAS AS NECESSARY UNTIL FINAL LANDSCAPING IS INSTALLED.
- CONSTRUCTION OF SEDIMENT BASINS AND DIVERSION DITCHES SHALL BE COMPLETED PRIOR TO SITE CLEARING AND GRADING.
- INSTALL INLET SEDIMENT TRAPS ("SILT SACK" OR EQUAL) IN ALL PROPOSED CATCHBASINS AS INDICATED ON THIS DRAWING. CLEAN INLET SEDIMENT TRAPS ON A WEEKLY BASIS AND AFTER RAIN EVENTS AS REQUIRED.
- CONTRACTOR SHALL INSPECT AND CLEAN OUT ALL EXISTING AND PROPOSED STORM SEWER CATCHBASINS AND MANHOLES WITHIN THE PROJECT LIMITS, OR OUTSIDE THE PROJECT LIMITS IF SUBJECT TO CONSTRUCTION SITE RUNOFF, AS NECESSARY DURING CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE.
- PLACE SILT FENCE ALONG DISTURBED AREAS WHERE SURFACE WATER WILL FLOW INTO EXISTING SWALES, DITCHES AND ADJACENT PROPERTIES. ANCHOR SILT FENCE TO PREVENT UNCONTROLLED RELEASE OF SILT LADEN WATER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY SWEEPING OF TRACKED MATERIALS FROM ALL ROADWAYS.
- THE SESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM MEASURES REQUIRED. DUE TO SITE ACTIVITIES AND SCHEDULES, ADDITIONAL MEASURES WILL LIKELY BE REQUIRED TO MAINTAIN SITE ACCORDING TO APPLICABLE STATE AND FEDERAL GUIDELINES AT NO ADDITIONAL COST TO THE OWNER.
- ONCE SITE IS STABILIZED, ALL TEMPORARY SESC MEASURES SHALL BE REMOVED.
- FOR INSTALLATION SPECIFICATIONS, REFERENCE THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SESC MANUAL.

CONTINUED MAINTENANCE OF PERMANENT SESC MEASURES:

PROPERTY OWNER SHALL BE RESPONSIBLE TO MAINTAIN PERMANENT SESC MEASURES.

PAVING:
REPAIR CRACKED OR DAMAGE PAVEMENT AS NEEDED.

SEEDING:
INSPECT NEWLY SEEDED AREAS SUBSEQUENT TO ANTICIPATED GERMINATION DATE AND AFTER EACH SIGNIFICANT RAINFALL EVENT THAT PRODUCES RUNOFF UNTIL AREAS ARE STABILIZED.

REPAIR ERODED AREAS, APPLYING SUPPLEMENTAL SEED, MULCH AND WATER AS NEEDED.

IF SEED DOES NOT ESTABLISH, CONDUCT SOIL TESTS, AMEND SOILS AS NEEDED, AND REAPPLY SEED AND/OR MULCH DURING THE RECOMMENDED GROWING SEASON.

TO ASSIST IN THE ESTABLISHMENT OF NATIVE SPECIES REMOVE UNWANTED COMPETING VEGETATION IN THE FIRST YEAR. MOWING CAN BE USED PERIODICALLY TO DISCOURAGE WEEDS.

SESC SITE SUMMARY:

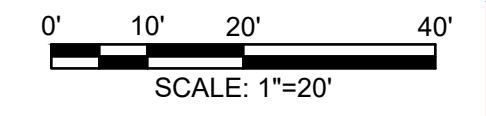
- NATIVE SITE SOIL IS CLASSIFIED AS SILTY CLAY LOAM PER USDA WEB SOIL SURVEY OR SOIL BORINGS.
- WETLANDS: THERE ARE NO KNOWN REGULATED WETLANDS ON THE SUBJECT PROPERTY.
- FLOODPLAINS: THERE ARE NO KNOWN REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY, PER FEMA FIRM MAP CN: 26081C0560D.
- AREA OF DISTURBANCE: 2.80 ACRES

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE - 2024											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SITE CLEARING AND INSTALL CONTROLS												
ROUGH GRADE SITE												
INSTALL UTILITIES												
BUILDING CONSTRUCTION												
FINAL GRADING												
PAVING												
SEEDING & STABILIZATION												

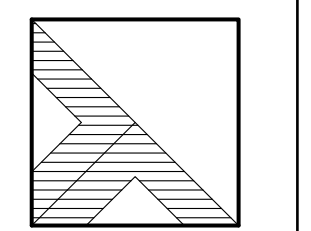
E6	MULCH		FOR USE IN AREAS SUBJECT TO EROSION SURFACE FLOWS OR SEVERE WIND OR ON NEWLY SEEDED AREAS.
E8	PERMANENT SEEDING		STABILIZATION METHOD UTILIZED ON SITES WHERE EARTH CHANGE HAS BEEN COMPLETED (FINAL GRADING ATTAINED).
S51	SILT FENCE		USE ADJACENT TO CRITICAL AREAS, TO PREVENT SEDIMENT LOAD SHEET FLOW FROM ENTERING THESE AREAS.
S58	INLET PROTECTION FABRIC DROP		USE AT STORMWATER INLETS, ESPECIALLY AT CONSTRUCTION SITES.



Know what's below.
Call before you dig.



ISSUED FOR APPROVAL



DRIESENKA & ASSOCIATES, INC.
Engineering
Surveying
Testing

www.driesenga.com
Holland, MI 616-396-0255
Grand Rapids, MI 616-249-3800
Kalamazoo, MI 269-544-1455
Lansing, MI 517-889-6210
Ypsilanti, MI 734-368-9483

SKYTRON ADDITION
5085 CORPORATE EXCHANGE BLVD.
SECTION 31, T06N, R10W, CASCADE TWP., KENT CO.
FOR VENEKLASSEN CONSTRUCTION
5000 KENDRICK SE, GRAND RAPIDS, MI 49512

ISSUED FOR:

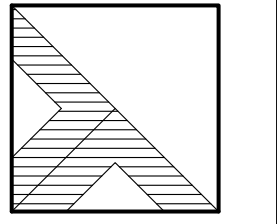
- ISSUED FOR REVIEW 02-14-2024 D. JTC C. JT
- SITE PLAN REVIEW 02-28-2024 D. AVV C. JT

Project Manager:
JULIE TOWNSEND
Project #
2330645.1A

Sheet Title:
GRADING AND SOIL EROSION CONTROL PLAN

Sheet #

C-103
7 of 10



DRISENGA & ASSOCIATES, INC.

**Engineering
Surveying
Testing**

www.driesenga.com

Holland, MI
616-396-0255
Grand Rapids, MI
616-249-3800
Kalamazoo, MI
269-544-1455
Lansing, MI
517-889-6210
Ypsilanti, MI
734-368-9483

SKYTRON ADDITION
5085 CORPORATE EXCHANGE BLVD.
SECTION 31, T06N, R10W, CASCADE TWP., KENT CO.
**FOR-
-VENEKLASSEN CONSTRUCTION**
5000 KENDRICK SE, GRAND RAPIDS, MI 49512

ISSUED FOR:

1 ISSUED FOR REVIEW
02-14-2024 D. JTC C. JT
2 SITE PLAN REVIEW
02-28-2024 D. AVV C. JT

Project Manager:

JULIE TOWNSEND

Project #

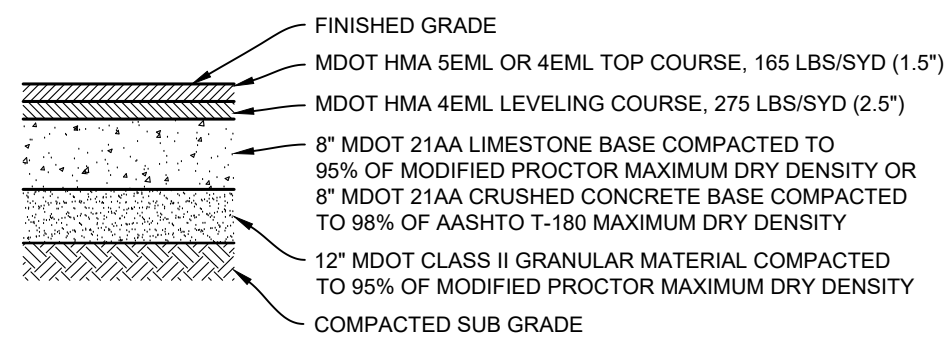
2330645.1A

Sheet Title:

DETAILS

Sheet #

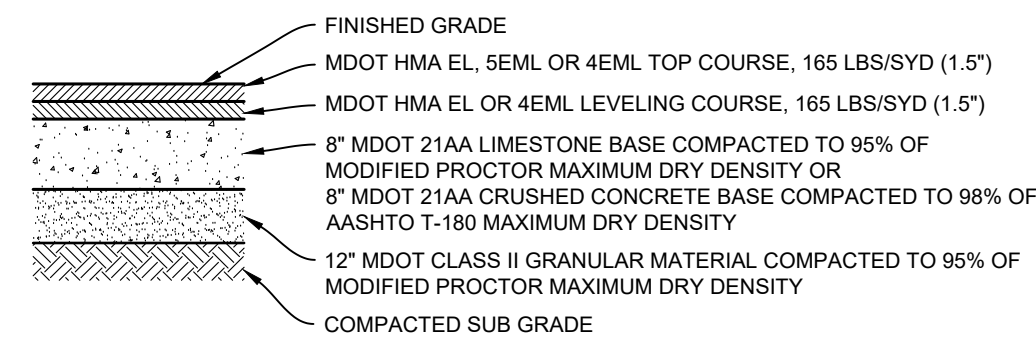
C-501
8 of 10



*NOTE: HMA SHALL MEET CURRENT MDOT STANDARDS AND SPECIFICATIONS, AND BE COMPACTED TO 92-96% OF THEORETICAL MAXIMUM DENSITY (TMD)

HMA PAVEMENT SECTION (HEAVY DUTY)

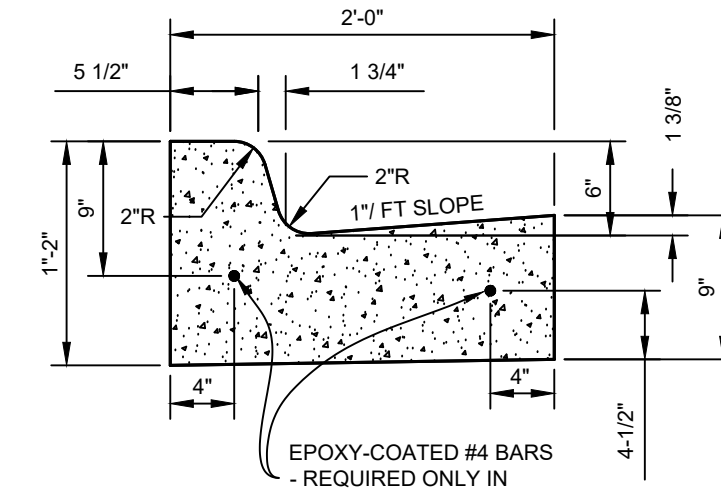
NO SCALE



*NOTE: HMA SHALL MEET CURRENT MDOT STANDARDS AND SPECIFICATIONS, AND BE COMPACTED TO 92-96% OF THEORETICAL MAXIMUM DENSITY (TMD)

HMA PAVEMENT SECTION (STANDARD DUTY)

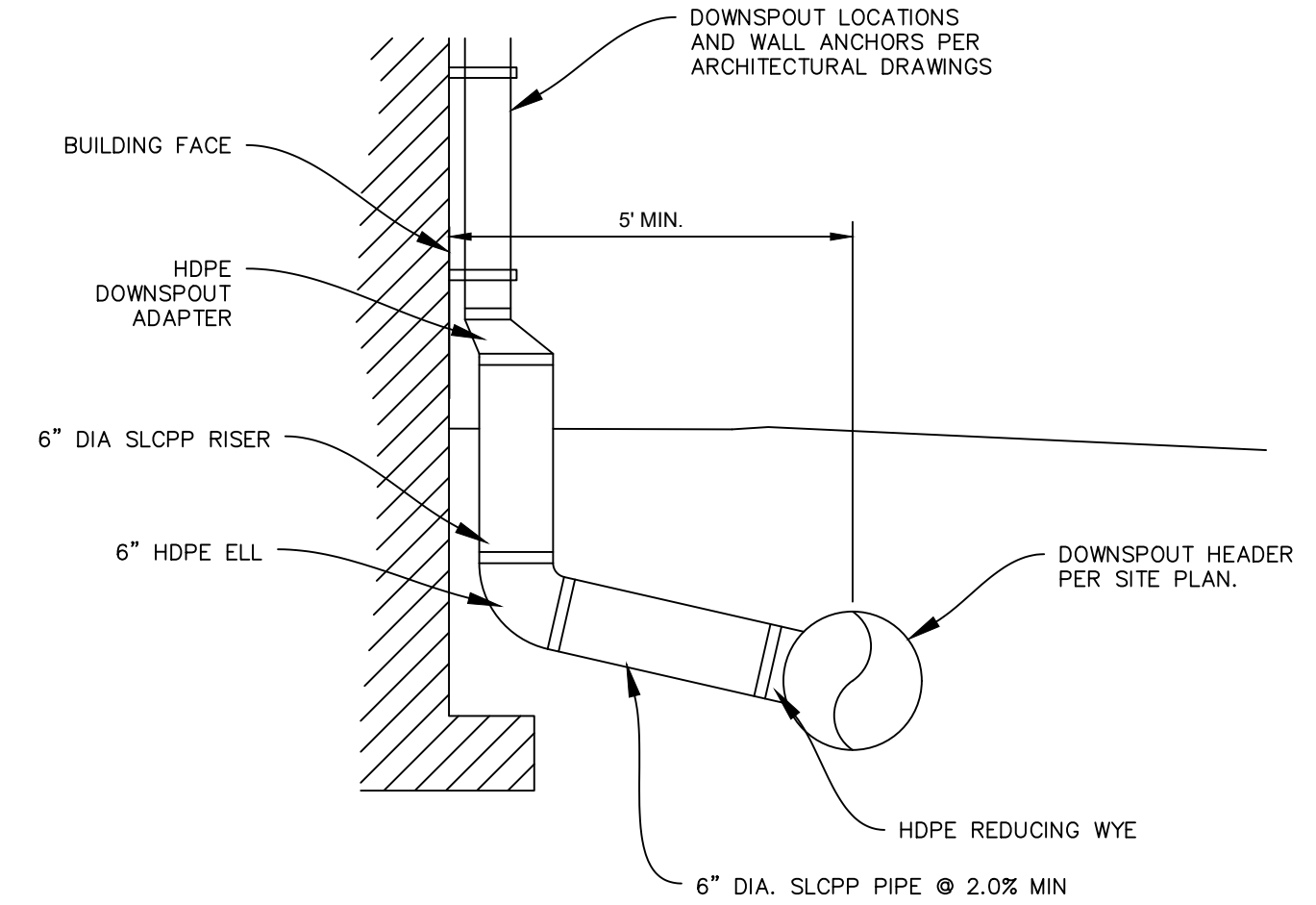
NO SCALE



NOTES:
1. CONTRACTION JOINTS SHALL BE PLACED EVERY 10'.
2. PLACE EXPANSION JOINTS AT 350' MIN. AND ALL RADIUS POINTS.
3. CONCRETE SHALL CONFORM TO MDOT SPEC. 802.

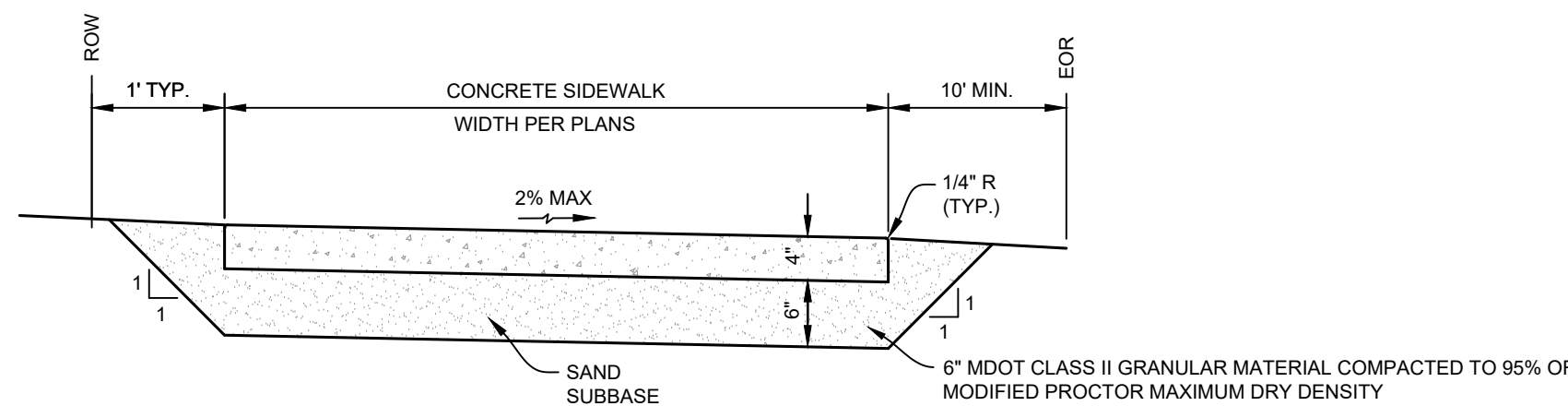
24\"/>

NO SCALE



EXTERIOR DOWNSPOUT CONNECTION

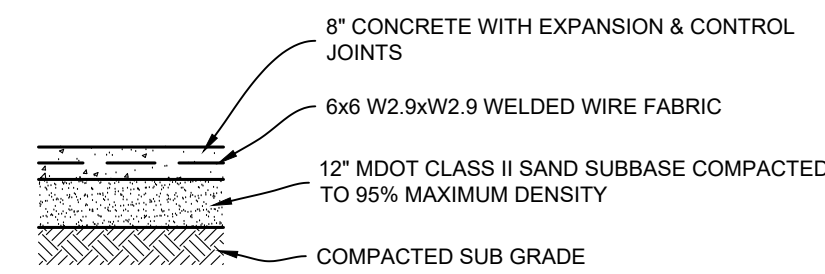
NO SCALE



NOTES:
1. CONTROL JOINTS SHALL BE PLACED AT SPACING NO GREATER THAN 8 FEET IN ANY DIRECTION
2. INDIVIDUAL FLAGS SHALL HAVE LENGTH:WIDTH RATIO NO GREATER THAN 1.5 : 1

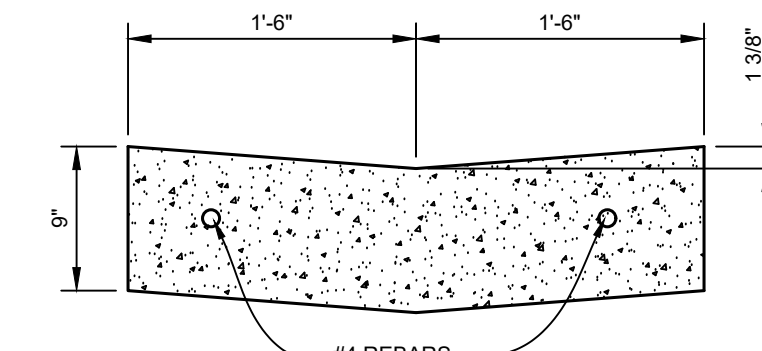
CONCRETE SIDEWALK

NO SCALE



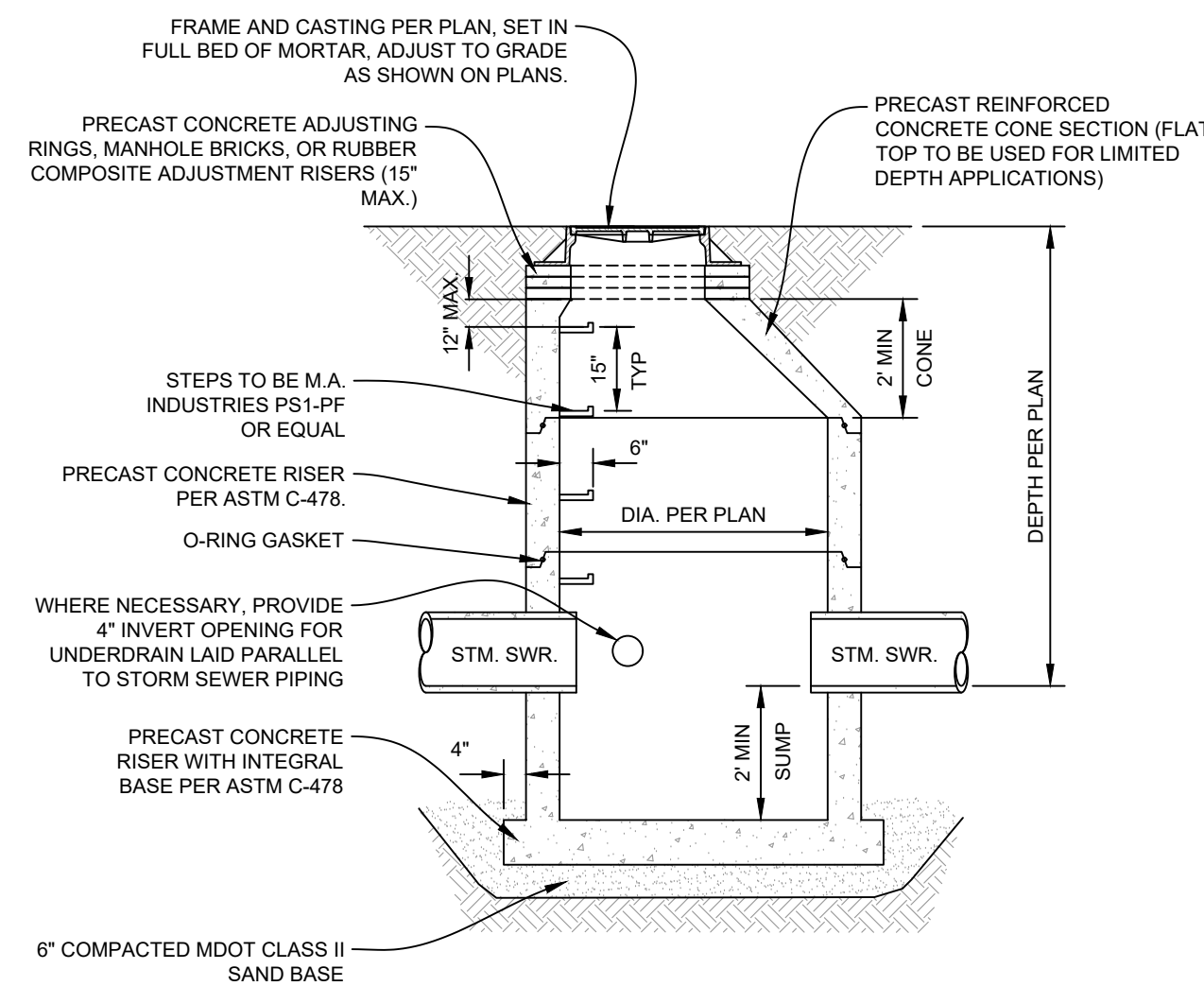
8\"/>

NO SCALE



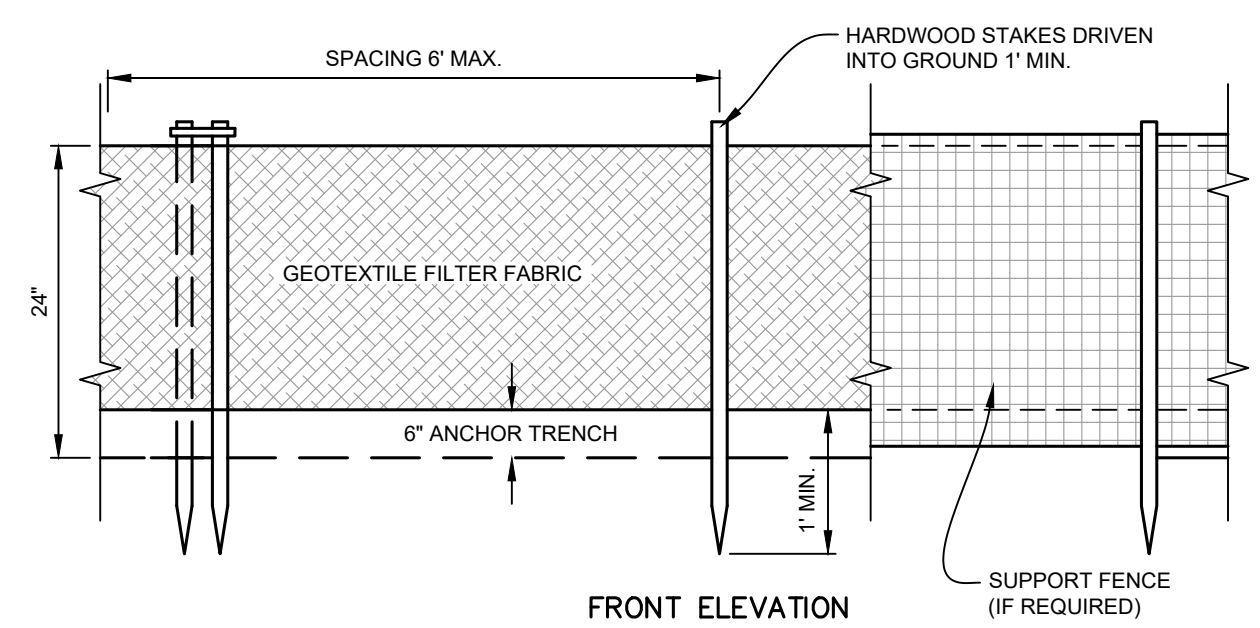
36\"/>

NO SCALE



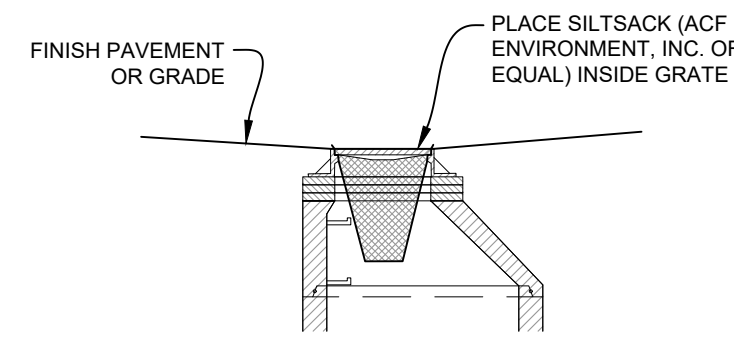
CATCH BASIN

NO SCALE



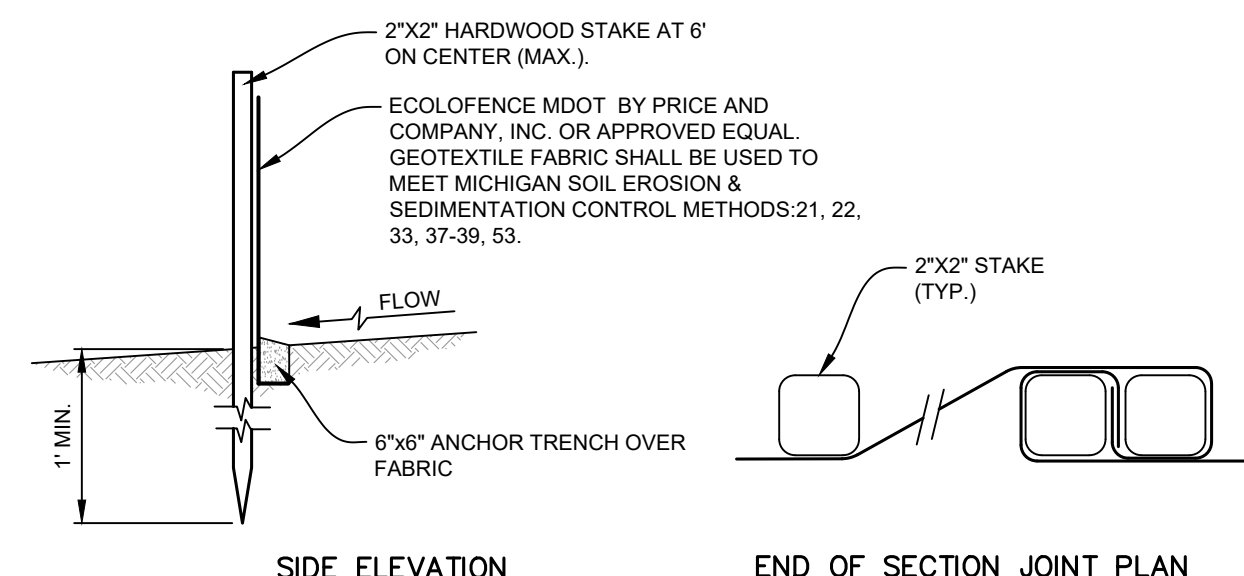
FRONT ELEVATION

24\"/>



SILT SACK

NO SCALE

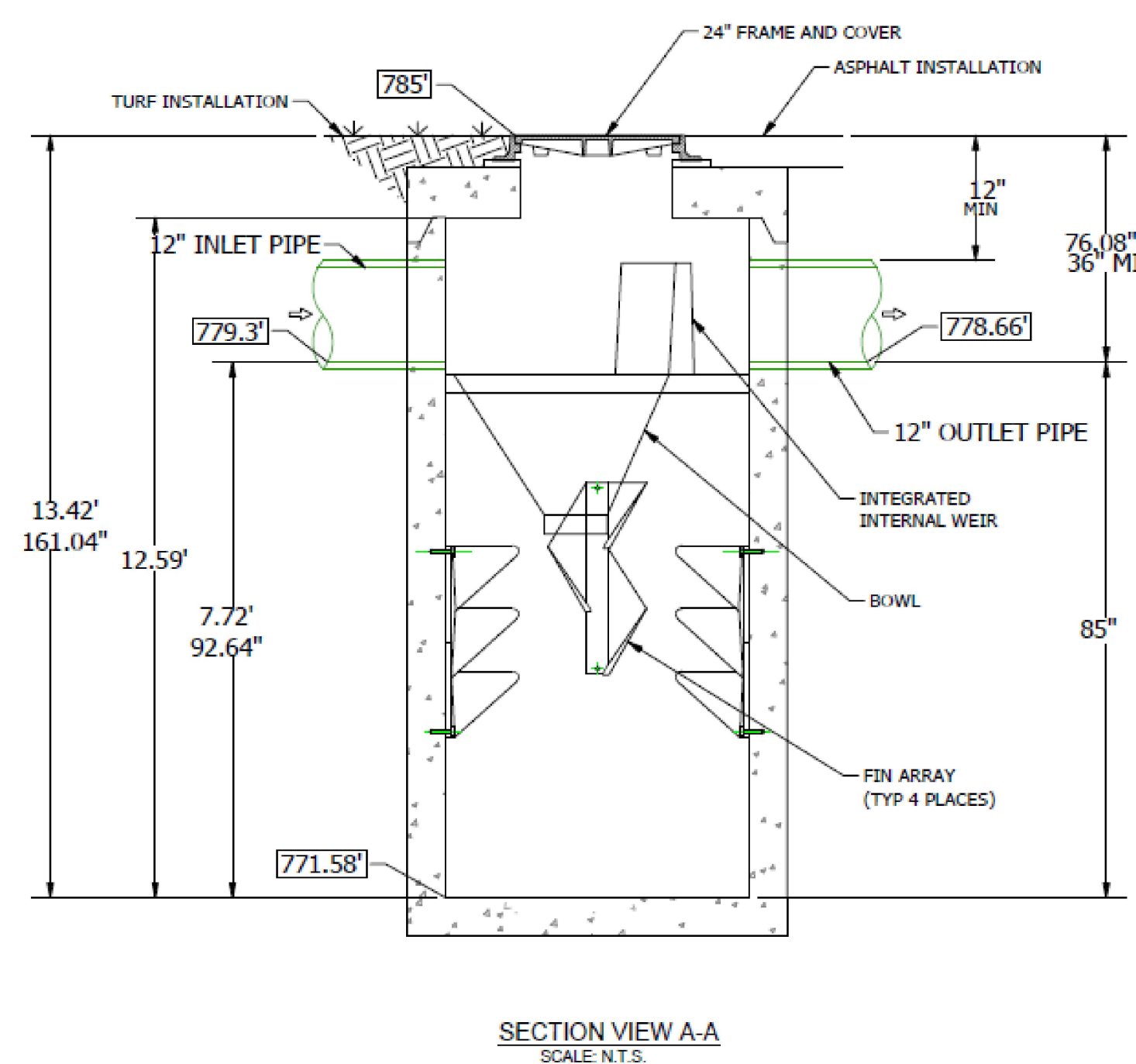


SIDE ELEVATION

END OF SECTION JOINT PLAN

SILT FENCE

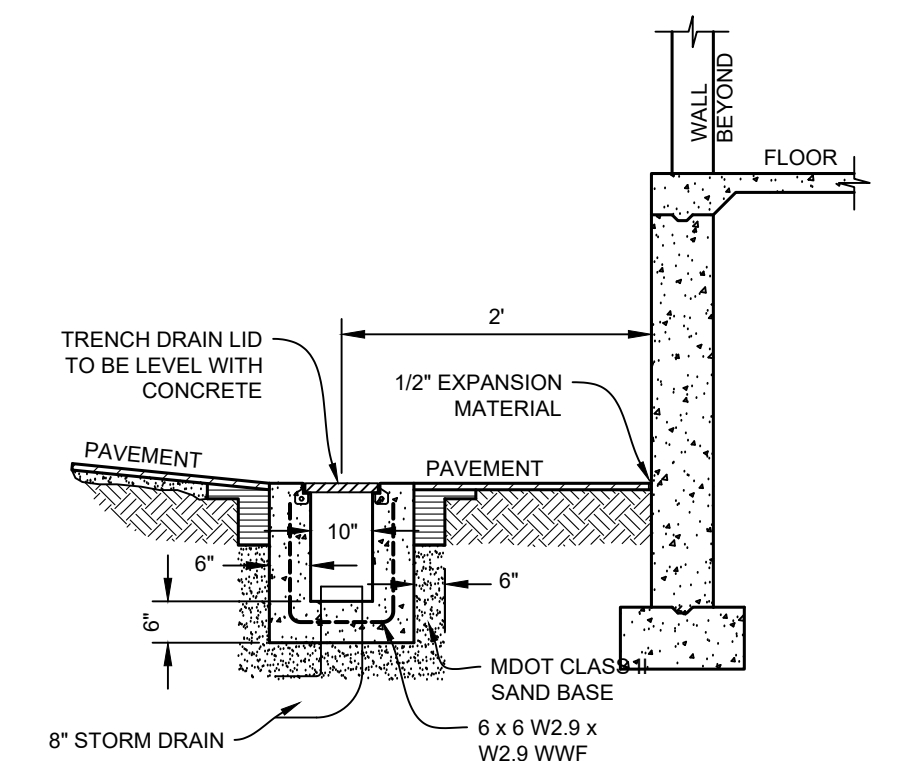
NO SCALE



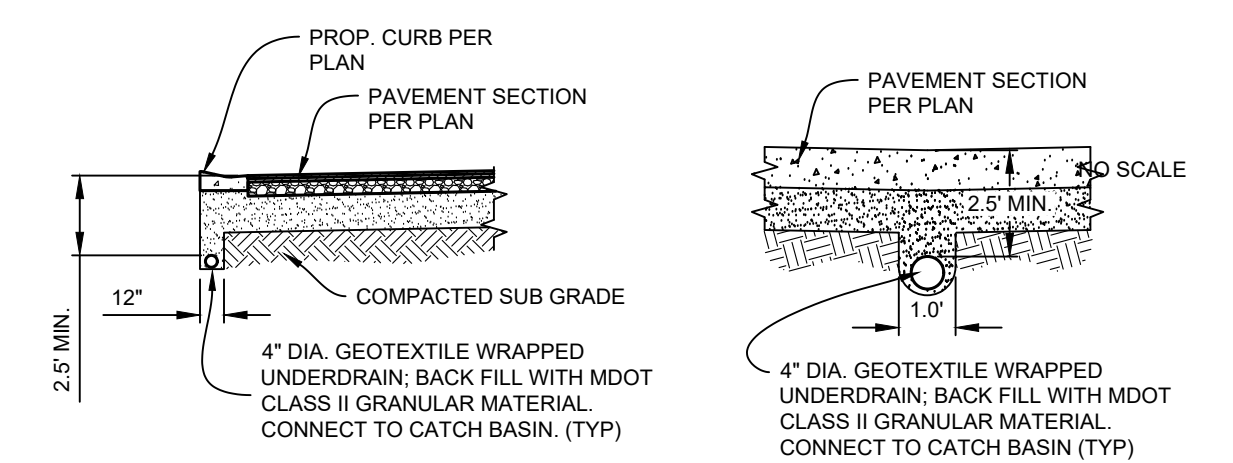
SECTION VIEW A-A
SCALE: N.T.S.

STORMWATER QUALITY UNIT

NO SCALE



TRENCH DRAIN AT TRUCK DOCK



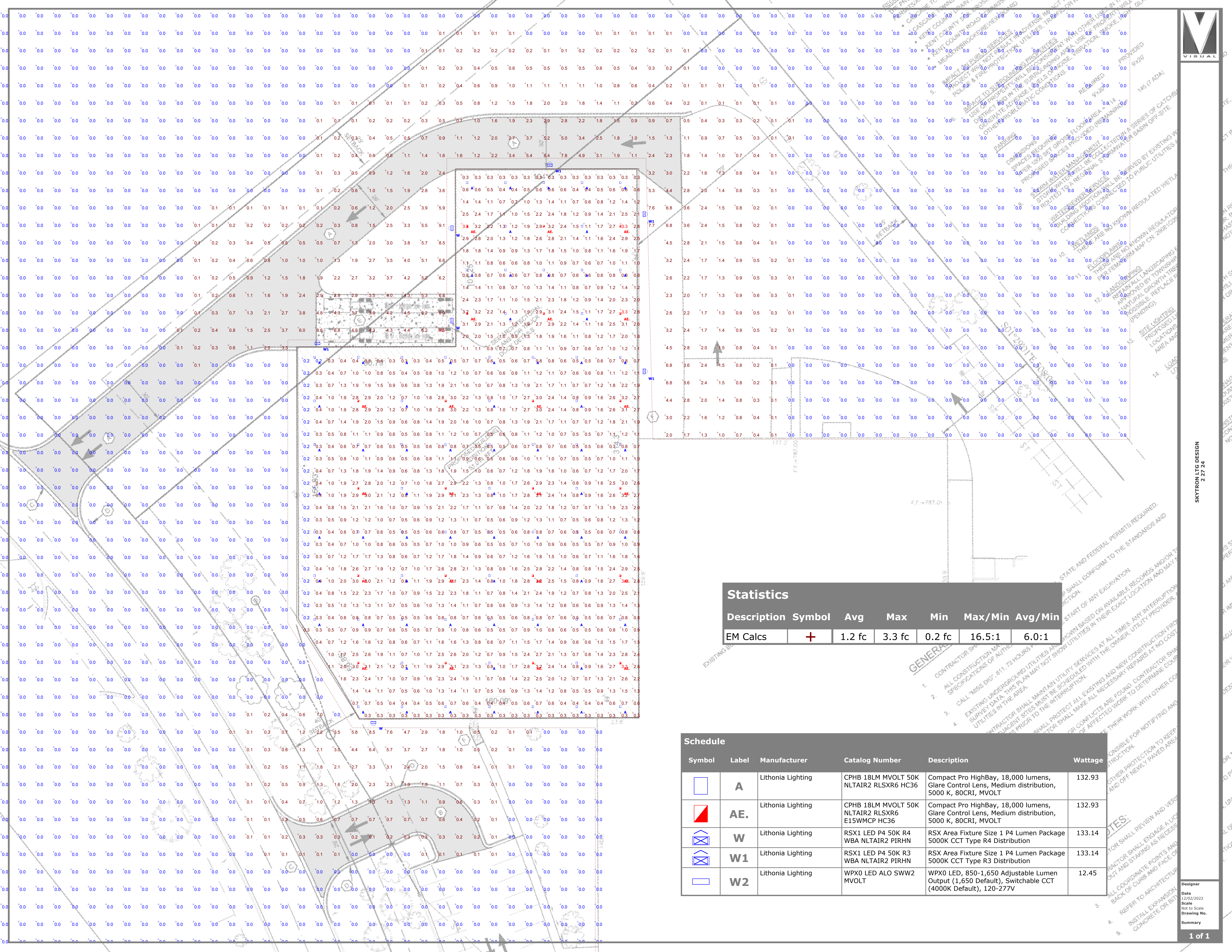
4\"/>

NO SCALE



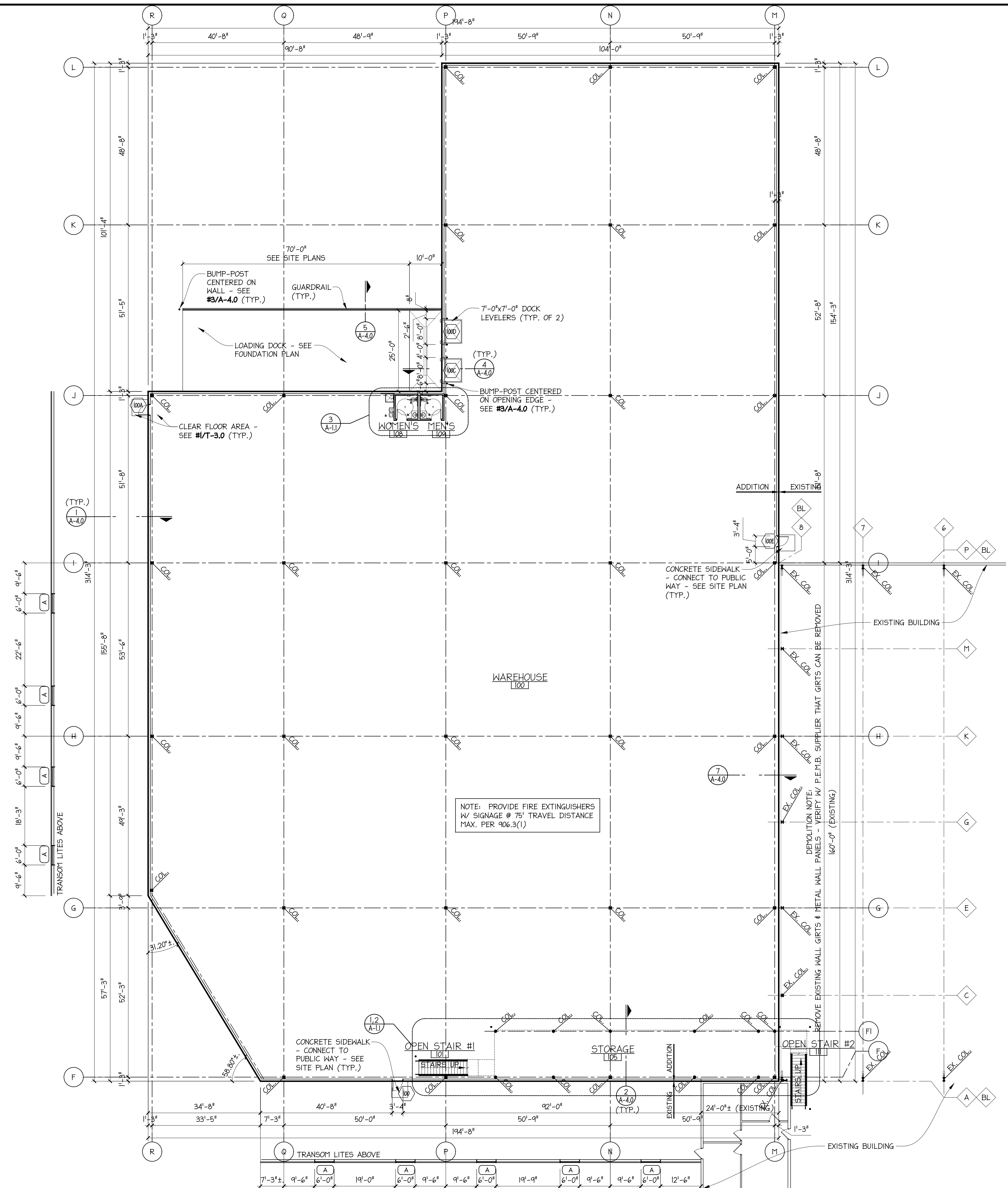
Know what's below.
Call before you dig.

ISSUED FOR
APPROVAL



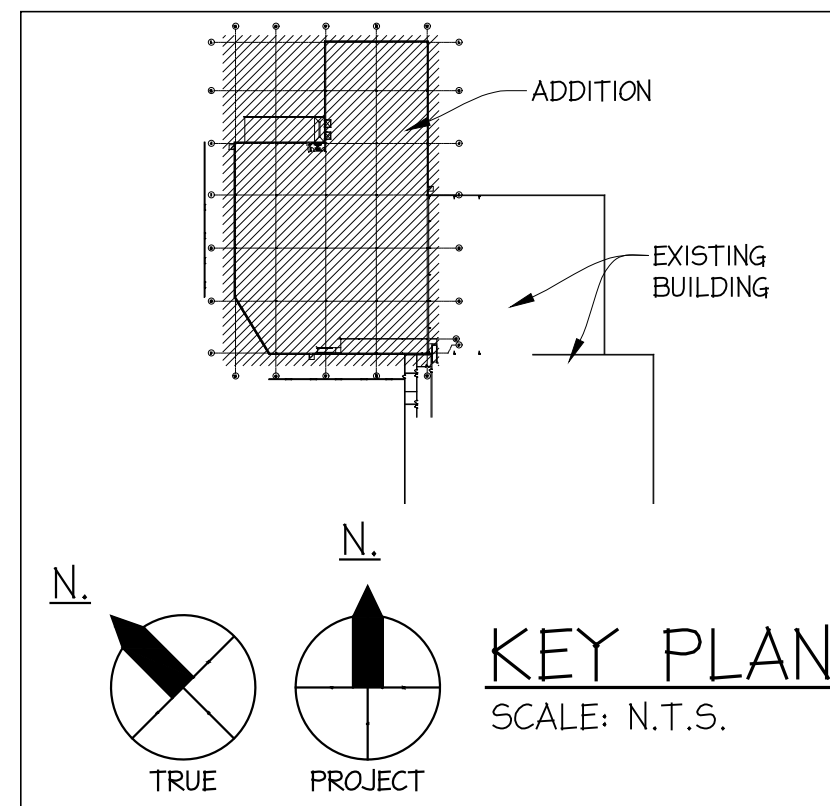
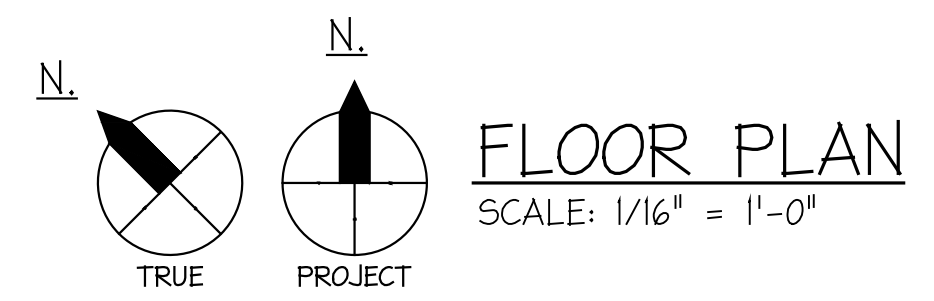
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EM Calcs	+	1.2 fc	3.3 fc	0.2 fc	16.5:1	6.0:1

Schedule						
Symbol	Label	Manufacturer	Catalog Number	Description	Wattage	
	A	Lithonia Lighting	CPHB 18LM MVOLT 50K NLTAR2 RLSXR6 HC36	Compact Pro HighBay, 18,000 lumens, Glare Control Lens, Medium distribution, 5000 K, 80CRI, MVOLT	132.93	
	AE.	Lithonia Lighting	CPHB 18LM MVOLT 50K NLTAR2 RLSXR6 E15W MCP HC36	Compact Pro HighBay, 18,000 lumens, Glare Control Lens, Medium distribution, 5000 K, 80CRI, MVOLT	132.93	
	W	Lithonia Lighting	RSX1 LED P4 50K R4 WBA NLTAR2 PIRHN	RSX Area Fixture Size 1 P4 Lumen Package 5000K CCT Type R4 Distribution	133.14	
	W1	Lithonia Lighting	RSX1 LED P4 50K R3 WBA NLTAR2 PIRHN	RSX Area Fixture Size 1 P4 Lumen Package 5000K CCT Type R3 Distribution	133.14	
	W2	Lithonia Lighting	WPX0 LED ALO SWW2 MVOLT	WPX0 LED, 850-1,650 Adjustable Lumen Output (1,650 Default), Switchable CCT (4000K Default), 120-277V	12.45	



NOTE: PROVIDE FIRE EXTINGUISHERS W/ SIGNAGE @ 75' TRAVEL DISTANCE MAX. PER 906.3(1)

DESTRUCTION NOTE: REMOVE EXISTING WALL GIRTS & METAL WALL PANELS - VERIFY W/ P.E.M.B. SUPPLIER THAT GIRTS CAN BE REMOVED



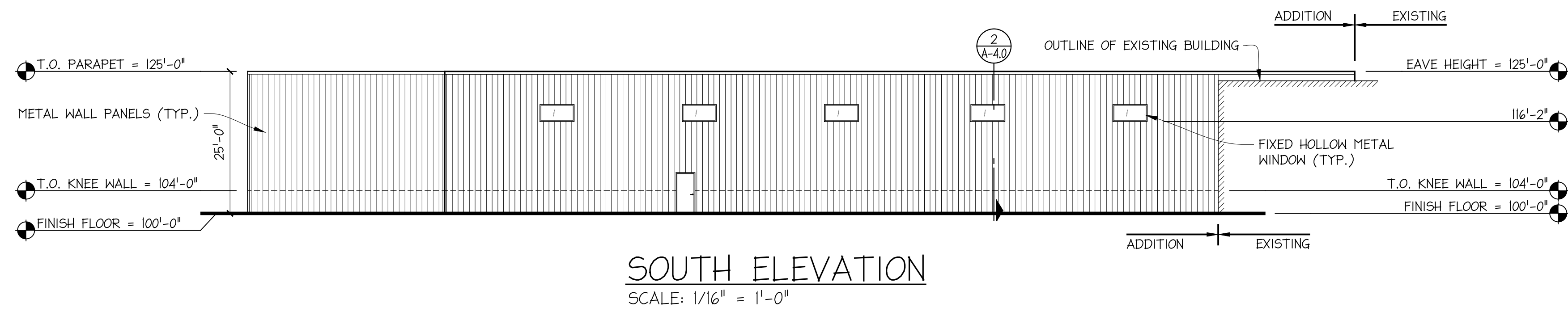
ANDRUS ARCHITECTURE
 1629 NORTHLAND DRIVE - SUITE 200
 ROCKFORD, IL 49341
 PHONE: 616.863.8850
 WWW.ANDRUSARCHITECTURE.COM

SKYTRON - MEADOWBROOKE ADDITION
 5085 CORPORATE EXCHANGE BLVD SE
 GRAND RAPIDS, MI 49512
 FLOOR PLAN

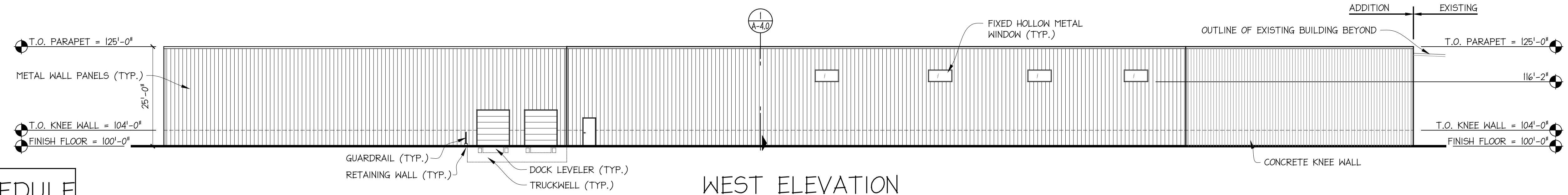
DATE	DESCRIPTION
08/27/23	REVISED
10/17/23	REVISED
11/07/23	PERMIT & CONSTRUCTION
01/17/24	OWNER REVIEW
01/22/24	OWNER REVIEW
02/06/24	REVISED
02/08/24	REVISED DRG
02/19/24	SITE PLAN APPROVAL

PROJECT NO: 22-168
 SHEET: **A-1.0**

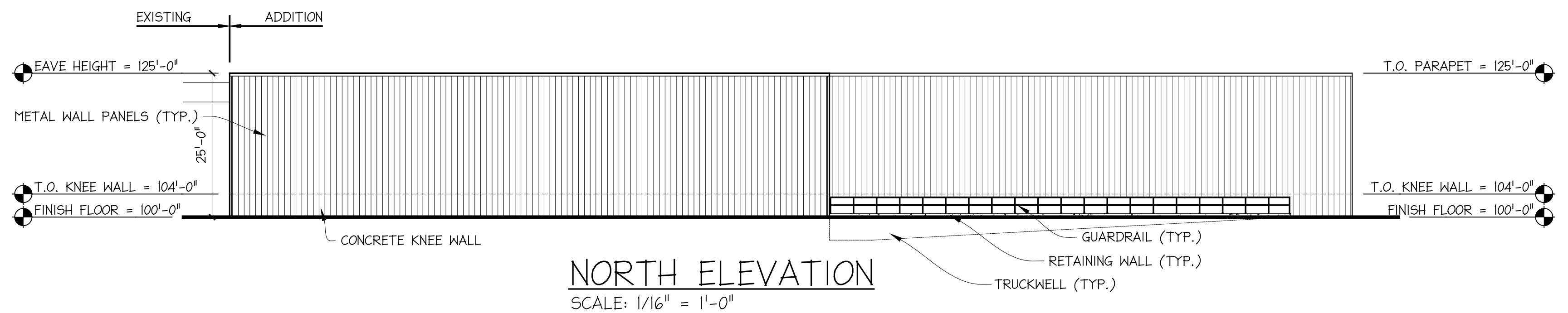
THIS DRAWING IS THE SOLE COPYRIGHT PROPERTY OF ANDRUS ARCHITECTURE AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.



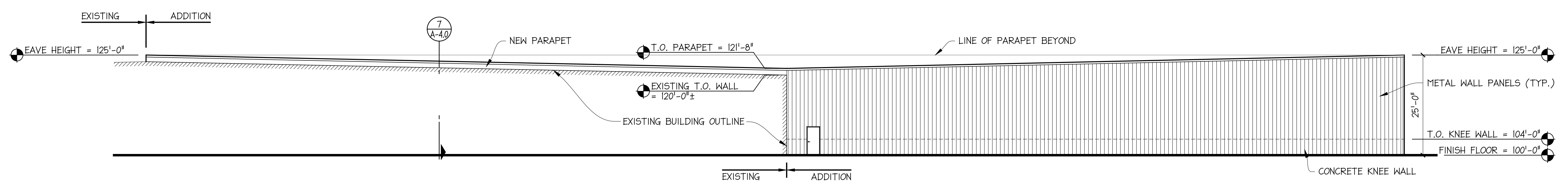
SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



WEST ELEVATION
SCALE: 1/16" = 1'-0"



NORTH ELEVATION
SCALE: 1/16" = 1'-0"



EAST ELEVATION
SCALE: 1/16" = 1'-0"

DOOR FRAME /WINDOW SCHEDULE

SIZE		
TAG	(A)	
TYPE	HOLLOW METAL	
OPERATION	FIXED	
GLAZING	1" INSULATED, TEMPERED, LOW-E, TINTED - COLOR T.B.D.	
RATING	----	
FILM	----	
QUANTITY (G.C. TO VERIFY)	9	
MANUFACTURER /MODEL	----	
FRAME COLOR	T.B.D.	
NOTES	----	



SKYTRON - MEADOWBROOKE ADDITION
5085 CORPORATE EXCHANGE BLVD SE
GRAND RAPIDS, MI 49512
ELEVATIONS

DATE	DESCRIPTION
06/27/23	REVISED
07/17/23	REVISED
07/27/23	PERMIT & CONSTRUCTION
07/27/24	OWNER REVIEW
02/06/24	REVISED
02/12/24	REVISED
02/19/24	SITE PLAN APPROVAL

PROJECT NO: 22-168
SHEET: **A-3.0**
THIS DRAWING IS THE SOLE COPYRIGHT PROPERTY OF ANDRUS ARCHITECTURE AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. ©

**CASCADE CHARTER TOWNSHIP
PLANNING COMMISSION**

**MONDAY, March 4, 2024
7:00 PM**

ARTICLE 10.

Planning Commission
Training Schedule 2024



CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE • Grand Rapids, MI 49546

PLANNING STAFF MEMORANDUM

TO: Cascade Charter Township Planning Commission
FROM: Andrea Hendrick, Planning Director
SUBJECT: Planning Commission/Zoning Board of Appeals Training
MEETING DATE: February 26, 2024

Planning Commissioners,

The Cascade Charter Township Board has allocated funds for both training and membership dues for the Planning Department. It is our goal to ensure that all Planning Commissioners and ZBA Board Members have access to the training and information they need to effectively function in their respective roles.

The Michigan Association of Planning (MAP) offers many resources for both professional planners, zoning administrators, and appointed officials. Group memberships are available for municipalities that would provide training opportunity at discounted rates. We are planning on bringing forth an annual training schedule, with Board approval as necessary. In addition, we will be applying for a training grant for a spring onsite training session with MAP.

We will be asking the PC/ZBA to review and confirm your availability for the following dates:

- Friday April 19, 2024, @5:00pm
- Thursday April 25, 2024, @5:00pm
- Monday May 13, 2024, @5:00pm
- Thursday May 23, 2024, @5:00pm

We will attempt to find a date that is available for all members.

Additionally, we have compiled a list of training opportunities offered by Michigan Association of Planning and Michigan Township Association. Staff will be working with the Chair to gauge interest and enroll members in a timely matter. Please look over the provided documents and provide feedback to the Chair. If you are not able to make any of the provided dates, there will be additional training in the fall.

Thank you,

Andrea Hendrick, Cascade Charter Township Planning Director

Planning Commission / Zoning Board of Appeals Training Opportunities:

Name of Training	Host	Date	Time	Location	Details
The ABCs of ZBAs	MTA	May		Gaylord, Frankenmuth, and Battle Creek	Explores the unique function of the ZBA. Review of authority, duties, and roles.
Hot Topics in Planing and Zoning	MTA			Gaylord, Frankenmuth, and Lawrence	Identifies emerging issues in planning and zoning (class is aimed for Planning Commissioners, Township Board Members, and Zoning Administrators)
Zoning Board of Appeals	MAP	3/6/2024	6:00pm-8:00pm	Via Zoom	Interactive case study-based workshop. Issues of practical difficulty and hardships, a summary of voting and membership requirements, and other procedural requirements unique to ZBA operations.
Zoning Ordinance: A-Z	MAP	3/19/2024	12:30pm-4:30pm	Kalamazoo Valley Community College	History of zoning, alternate ways to zone, a tour of a typical zoning ordinance, zoning approval processes, and enforcement
Advanced ZBA: Beyond Fundamentals	MAP	3/19/2024	5:30pm-8:00pm	Kalamazoo Valley Community College	High-level interactive session for ZBA members. There will be recent court cases to review, study, and discuss findings.
Planning and Zoning Essentials Part 1 & 2	MAP	March 26-27	6:00pm-8:00pm	Via Zoom	Sharpening skills, examining roles and responsibilities, identifying conflicts of interest, and understanding legal foundations. (Great for new PC and ZBA members)