

**AGENDA**  
**Cascade Charter Township Planning Commission**  
**Monday, March 20, 2023**  
**7:00 pm**  
**2870 Jacksmith Ave**

*Public may access the meeting via video conference software Zoom*  
<https://us02web.zoom.us/j/85807187174>

**Meeting ID:** 879 8058 1366  
**By Phone:** +1 929 205 6099

- ARTICLE 1. Call the meeting to order  
Record the attendance**
- ARTICLE 2. Pledge of Allegiance to the Flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Disclose any Conflict of Interest**
- ARTICLE 5. Approve the Minutes of the March 6, 2023 Meeting**
- ARTICLE 6. Acknowledge visitors and those wishing to speak.  
(Comments are limited to five minutes per speaker)**
- ARTICLE 7. Case #22-3701/Woods Builders Homes Inc.  
Property Address: 6105 Charlevoix Woods Ct  
Requested Action: Basic Plan Review for an amendment to the PUD Ordinance to allow for a 24-unit multi-family apartment complex.**
- ARTICLE 8. Review of Proposed Amendments to Master Plan**
- ARTICLE 9. Old Business**
- ARTICLE 10. Any Other Business**
- ARTICLE 11. Acknowledge visitors and those wishing to speak.  
(Comments are limited to five minutes per speaker)**
- ARTICLE 12. Adjournment**

**Meeting format**

- 1. **Staff Presentation** *Staff report and recommendation*
- 2. **Project presentation-** *Applicant presentation and explanation of project*
  - a. **PUBLIC HEARINGS**
    - i. *Open Public Hearing. Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants*
    - ii. *Close public hearing*
- 3. **Commission discussion –** *May ask for clarification from applicant, staff or public*
- 4. **Commission decision - Options**
  - a. *Table the decision*
  - b. *Deny*
  - c. *Approve*
  - d. *Approve with conditions*
  - e. *Recommendation to Township Board*

**Minutes**

Cascade Charter Township  
Planning Commission  
Monday, March 6, 2023  
7:00 pm  
2870 Jacksmith Ave SE

- ARTICLE 1.** Chair Noordyke called the meeting to order at 7:00 P.M.  
Members Present: Noordhoek, Richardson, Korstange, Moxley, Noordyke, Engel, Rissi, Bruneau, Rowland  
Members Absent: None  
Others Present: Planning Director Brian Hilbrands, Zoning Administrator Madison Smith-Jacoby, and those listed on the sign-in sheet.
- ARTICLE 2. Pledge of Allegiance**
- ARTICLE 3. Approve the current Agenda**  
**Motion was made by Member Rissi to approve the current agenda. Supported by Member Engel. Motion carried 9 to 0.**
- ARTICLE 4. Disclose any conflict of interest**  
Member Rissi disclosed he had completed work for the applicant in Article 8 but has not been in contact for months. There were no concerns with this conflict.
- ARTICLE 5. Approve the Minutes of the February 6, 2023 Meeting**  
Member Richardson made a grammatical change in the third to last line in Article 7 that “too” should be changed to “to”.  
Member Bruneau suggested removing “of them” from the first sentence in Article 7.  
**Motion was made by Member Rissi to approve the February 6, 2023 Meeting Minutes with the proposed changes. Supported by Member Engel. Motion carried 9 to 0.**
- ARTICLE 6. Acknowledge visitors and those wishing to speak**  
There was no one who wished to speak.
- ARTICLE 7. Case #23-3753/J. Visser Designs**  
**Property Address:** 1550 Thornapple River Drive  
**Requested Action:** Seeking a Type 1 Special Use permit for an accessory building exceeding 832sqft.  
Zoning Administrator Smith-Jacoby presented the case explaining that the applicant is looking to expand their accessory building an additional 825sqft. They currently have an existing 670sqft boathouse that is detached, making the total for the new building 1,495sqft. Upon site evaluation, Staff noted a shed that will need to be removed, but

setbacks and the boathouse proximity to the water meet the requirements. In addition, there were a total of 3 letters of support received for this boathouse.

Staff recommended approval of this Type 1 Special Use Permit with conditions that proper permits are obtained for building a structure close to the water, the accessory building may not be used as a living/dwelling/business space, and the existing shed must be removed.

Member Engel asked if there were any lighting concerns. Zoning Administrator Smith-Jacoby ensured that lights will meet township standards.

Member Bruneau wanted clarification on the addition size since it will be approximately 3,000sqft in total. Planning Director Hilbrands explained when measuring accessory building size, they only use the footprint.

Member Bruneau commented with the accessory drive, decking, and various concrete slabs that the new addition seemed to be a lot added to the property. Zoning Administrator Smith-Jacoby did not see this as an issue because the property is over an acre and the building is not viewable from the road.

The applicant, Robert (1550 Thornapple River Drive), said this will be a beautiful addition and replace the unsightly boat lift.

Member Rowland commented on the importance of letters showing neighbor support.

Member Moxely said that, as an architect, the building design is good-looking.

**Motion was made by Member Rissi to go to public hearing. Supported by Member Engel. Motion carried 9 to 0.**

There was no one who wished to speak.

**Motion was made by Member Rissi to close public hearing. Supported by Member Korstange. Motion carried 9 to 0.**

**Motion was made by Member Rissi to approve the Type 1 Special Use for an accessory building exceeding 832sqft with the conditions listed in the packet with two additional conditions including the lighting meeting Township standards and the shed must be taken down within 30 days of project completion. Supported by Member Moxley. Motion carried 8 to 1.**

**ARTICLE 8. Case #23-3755/Watermark Property LLC**

**Property Address:** 1600 Galbraith Ave

**Requested Action:** Site Plan Review for an approximately 4,000 sq ft addition to the existing clubhouse building.

Planning Director Hilbrands explained that this is a straightforward request for a site plan approval of a building addition. The PUD ordinance limits this clubhouse to 30,000sqft. In a previous addition to this building, mechanical and storage areas were

considered unusable spaces that did not generate additional trips or parking spaces and were not included in the total square footage. Upon using that calculation method, the building has 25,400sqft of usable space allowing for 4,600sqft to be added. The site plan addition will be adding 4,057sqft of usable space. For additions to commercial buildings there is also a review of parking. The site is required to have 346 parking spaces. There are currently 297 spaces on site, with 49 deferred spaces that can be built, as well as an agreement in place to use 50 spaces on an adjacent property.

The Fire Department and township engineer both reviewed the application and approved the plans. A stormwater maintenance agreement will also need to be recorded.

Planning Director Hilbrands also noted that in a previous addition to the building, there was a condition of approval to combine a one-acre parcel to the west of the clubhouse with the larger golf course parcel. This was due to setback issues and will need to be combined before a new building permit is issued.

Staff Recommended site plan approval for the proposed addition with the four conditions listed in the packet.

Member Bruneau asked if this site was identified with a PFAS issue and was concerned about runoff during excavation. Planning Director Hilbrands was unsure but they can ask the applicant.

Member Bruneau asked why there were leniencies with the square footage. Planning Director Hilbrands mentioned that the PUD ordinance is older and has no clearly defined means of configuring square footage. An amendment to a PUD requires public hearings with additional meetings, and then final approval by the Township Board.

Rob Berends, Project Manager at Nederveld, attended the meeting to answer any questions. He explained in greater detail that the main floor will have about a 2,500sqft addition to the restaurant and the lower level will have a 1,500sqft addition to the pro shop. There are surveyors working on the parcel combination and the owner is in accord with the stormwater maintenance agreement requirement. In terms of parking spaces, the agreement with the adjacent property has a recorded document with Kent County ensuring legitimacy.

Member Engel asked if the parking arrangement is an easement on the adjoining property or if there was another method used. Craig Smith, Watermark's COO, clarified that it is a seasonal trade agreement where three months of the year they can use the spaces.

Member Korstange expressed concern with stipulations not being followed through on certain conditions.

Member Bruneau asked why rules and regulations are put into place if the Commission approves buildings and additions larger than the allowable amount of 832sqft. Chair Noordyke explained to avoid putting various rules in place, anything above 832sqft is brought to the Planning Commission for a case by case review.

Member Rowland asked if the new computer software will help organize individual cases. Planning Director Hilbrands said there will be easier tracking of conditions and he ensured that he will not sign off on building permits until all conditions are met.

**Motion was made by Member Rissi to approve the site plan with the conditions listed in the packet. Supported by Member Moxley. Motion carried 8 to 1.**

#### **ARTICLE 9. Old Business**

Member Rissi recently gave a presentation to the Township Board regarding the AC Zoning District Subcommittee. The Board was in full support of the Planning Commission's recent motion to proceed with Option 2. Moving forward there were two concerns: the need to have Planning Director Hilbrands update the master plan and have the subcommittee work on zoning around the airport.

Chair Noordyke clarified that the area around the airport is to revert to an agricultural future land use designation for uses such as parks. He directed anyone with suggestions or opinions on potential updates to the master plan to reach out to Planning Director Hilbrands.

Member Korstange asked if it would be easier to change ARC zoning across the whole township or in just this area. Planning Director Hilbrands thought it would be easier to amend the ARC zoning instead of making changes in only one area.

Member Rissi pointed out another amendment talked about would be to add recreation to agriculturally zoned areas.

Chair Noordyke previously contacted Member Engel inquiring if he would join the AC District Zoning Review Subcommittee, which he did accept.

**Motion was made by Member Rissi to add Member Engel to the AC Zoning District Subcommittee. Supported by Member Korstange. Motion carried 9 to 0.**

Chair Noordyke reiterated actions being taken by Staff and committees. Planning Director Hilbrands will begin drafting an amendment to the master plan to revert future land use to ARC while simultaneously drafting revisions to the ARC zoning as a whole that will reduce the amount of livestock and add additional uses for open space. The subcommittee will also reconvene to look at AC 1 and AC 2 zoning districts.

#### **Planning Commission Rules of Conduct and Bylaws**

Planning Director Hilbrands explained that the review of the bylaws began just over a year ago. The Planning Commission completed its review of the bylaws and then moved onto reviewing the rules of conduct. Specific amendments to the bylaws and code of conduct are listed in the packet.

Member Bruneau asked why these changes were being made when they could be made directly to the zoning ordinance. Member Rissi explained that previously, legal council gave the recommendation to make these changes rather than to modify the zoning

ordinance. Member Bruneau further explained the number of redundancies found and mentioned the code of conduct is defined in three separate documents.

Member Korstange stated one of the primary issues was the contradictions of the same information on various documents. Her understanding was that legal counsel stated they could pull the code of conduct from the zoning ordinance, thus only having two separate documents that are reviewed annually.

Planning Director Hilbrands will work on the documents and be in correspondence with Member Bruneau.

**ARTICLE 10. Any Other Business**

Member Moxley brought up the potential of changing the Roundhill subcommittee name. Planning Director Hilbrands will pass this on for suggestions.

Member Richardson mentioned a few issues such as graffiti by the highways, hotel problems, Hotel Ave needing road redone, homeless people living by Aldi, highway noise by Thornapple River Dr and 36th St, and Buttrick needing road work completed.

Member Moxley brought up a farming operation on the corner of Bolt Dr and Grand River Dr that needs to be cleaned up. Zoning Administrator Smith-Jacoby will be looking into that property.

**ARTICLE 11. Acknowledge visitors and those wishing to speak.**

There was no one that wished to speak.

**ARTICLE 12. Adjournment**

**Motion was made by Member Engel to adjourn the meeting. Supported by Member Moxley. Motion carried 9 to 0. The meeting was adjourned at 8:43 pm.**

Respectfully submitted,

Joe Engel, Secretary

**STAFF REPORT**

STAFF REPORT: Case #22-3701/Woods Builders Homes Inc.  
REPORT DATE: March 15, 2023  
PREPARED FOR: Cascade Charter Township Planning Commission  
MEETING DATE: March 20, 2023  
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT:

Woods Builders Homes Inc.  
2620 Horizon Dr. Suite 125  
Grand Rapids, MI 49546

STATUS

OF APPLICANT: Developer

ADDRESS

OF PROPERTY: 6105 Charlevoix Woods Ct

REQUESTED ACTION: Basic Plan Review for an amendment to the PUD to accommodate a 24-unit apartment project.

EXISTING ZONING OF SUBJECT PARCEL(S):

PUD 58

GENERAL LOCATION:

North side of 28<sup>th</sup> St, northeast of Wal-Mart

PARCEL SIZE:

Approximately 4 acres

EXISTING LAND USE ON THE PROPERTY:

Vacant

ADJACENT AREA

LAND USES:

N – Residential (Single-family)  
W – Residential (Attached residential)  
S – Commercial (Subaru dealership)  
E – Residential (Assisted living facility)

ZONING ON

ADJOINING PARCELS:

N – R-2  
W – PUD 91  
S – PUD 67  
E – PUD 58

## **STAFF COMMENTS:**

1. The applicant is requesting Basic Plan Review to amend the existing Planned Unit Development to allow for the development of a 24-unit apartment complex on an approximately 4-acre parcel. The 24 units would be in three buildings.
2. This application was originally brought before the Planning Commission at the April 18, 2022 meeting. At that time, it was noted that there was some question regarding deeded access to the property over the Wal-Mart parcel. The attorney for the current property owner has been drafting an amendment to the original access easement, which the applicant/buyer has been requesting before closing on the property. Now that progress has been made on the access easement, the applicant has requested that we move forward with the application.
3. Since it has been so long since this application has been in front of the Planning Commission, and because we have a few new members, I required that the application be brought back for another Basic Plan review. My staff report from the 2022 review is attached.
4. There have not been any changes made to the application since the last review. The nine items that were required to be addressed after the initial review are listed at the end of the staff report.
5. After further review of the application, one additional item that should be discussed is the need for a traffic impact analysis. Immediately west of the property there is a sharp curve in Charlevoix Woods Ct. This was created when Wal-Mart constructed an addition in 2012, which moved the drive northward. At the time, there were conditions put on the cross-easement that required the drive to be straightened before the properties to the east could be developed. The applicant has stated that this has created a hardship for them, and they should be able to leave the drive as-is. If the applicant does not want to straighten the drive, it may be appropriate to require a traffic impact analysis that determines how much additional traffic will be generated by the new development, and if this creates a safety issue with the sharp curve in Charlevoix Woods Ct.
6. The applicant has submitted this package as required by Section 16.05 (2) of the Zoning Ordinance for Basic Plan Review.
7. If you find that all the procedural information has been provided, this application should proceed to a public hearing and consideration of a Preliminary Development Plan. It will be at that stage of the review process that the *merits* of the request will be considered, and the detailed site plans will be required and reviewed.

Before proceeding to the Preliminary Development Plan review (Public Hearing), I would recommend that the applicant submit the following information:

1. Plans indicating the private road meet our design standards.

2. Provide a full civil plan set
3. Landscaping plan
4. Approval from the Township Engineer.
5. Approval from the Fire Chief.
6. Have the plans reviewed by the KCDC for their comments on the storm water system.
7. Location and type of street lights
8. Photometric Plan
9. Information regarding maintenance plan or agreements in place for Charlevoix Woods Court.
10. Traffic Impact Analysis

ATTACHMENTS:                   4/18/22 Staff Report  
  Application  
  Site Plan  
  Current PUD Ordinance Thornapple Manor #2 of 1998 and 2002  
  and 2004 amendments

**STAFF REPORT**

STAFF REPORT: Case #22-3701/Woods Builders Homes Inc.  
REPORT DATE: April 13, 2022  
PREPARED FOR: Cascade Charter Township Planning Commission  
MEETING DATE: April 18, 2022  
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT:

Woods Builders Homes Inc.  
2620 Horizon Dr. Suite 125  
Grand Rapids, MI 49546

STATUS

OF APPLICANT: Developer

ADDRESS

OF PROPERTY: 6105 Charlevoix Woods Ct

REQUESTED ACTION: Basic Plan Review for an amendment to the PUD to accommodate a 24-unit apartment project.

EXISTING ZONING OF SUBJECT PARCEL(S):

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North side of 28<sup>th</sup> St, northeast of Wal-Mart

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Approximately 4 acres

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ZONING ON

ADJOINING PARCELS:

N – R-2  
W – PUD 91  
S – PUD 67  
E – PUD 58

**STAFF COMMENTS:**

1. The applicant is requesting Basic Plan Review to amend the existing Planned Unit Development to allow for the development of a 24-unit apartment complex on an approximately 4-acre parcel. The 24 units would be located in three buildings.
2. The site was rezoned to PUD in 1998 to permit an adult assisted living facility campus. It was amended in 2002 to allow for office uses south of Charlevoix Drive Court, but that area was then removed from the PUD in 2004.
3. The site is currently vacant. There is an assisted living facility located on the parcel immediately to the east which is part of the same PUD.
4. The property is Master Planned as Community Residential. This designation allows for multifamily developments and a residential density of 4-6 units per acre. The developer is proposing a 6 unit per acre development.
5. The size of each apartment is approximately 1,545 square feet.
6. We do not have specific landscape buffer requirements between residential uses, but in the past a bufferyard with plantings have been included when a higher density development is created. I would suggest requiring some landscaping and bufferyard along the property lines. The residential development immediately to the east that was approved in 2013 included a robust landscape plan. There is a large number of trees currently along the north property line, but few along the east and west property lines.
7. The developer proposes to use the existing private street, Charlevoix Woods Ct. This road was developed when the assisted living project went in in the late 90's. The initial plans for the area called for there to be office uses on the south side of Charlevoix Woods Ct. However, those parcels were purchased by the adjacent car dealerships and are now used as parking lots, so there is less traffic demand on Charlevoix Woods Ct.
8. The applicant/buyer has mentioned that the question of access across the Wal-mart parcel has been brought up by the seller. It is the belief that the parcels located along Charlevoix Woods Ct have been granted an easement for access across the parcel, but that will have to be confirmed before construction can commence.
9. They have shown a private road system that has two connections out to Charlevoix Woods Ct to address our limit of no more than 19 units on a dead end. They will need to indicate on the plans that the private road meets our design standards. The street name will need to be approved by the Kent County Road Commission.
10. The buildings should meet the setback requirements of the underlying zoning district, which is Office (O). This would include 30' front yard, 25' side yard and 50' rear yard setbacks. Any raised decks should also be located out of the setback areas. It appears that building is located within the front yard setback.

11. The development is proposed to be served by public sewer and water. The developer will need to satisfy the township engineer and the City of GR.
12. The developer will also need to satisfy the township engineer and the KCDC regarding stormwater. The developer will have to provide a stormwater maintenance agreement.
13. The developer will also need to provide a recognition statement regarding the proximity of the airport in their documents, including the PUD Ordinance.
14. The applicant has not indicated the location of any light poles in the development. Our subdivision ordinance requires lights. The applicant should provide details on the type and height of the lights proposed for the project. A lighting photometric plan will also be required.
15. No sidewalks are planned for the project. Although they would not connect to the 28th St sidewalks or any other sidewalks we should discuss whether or not this is something you would want to be included in this project.
16. The Planning Commission can require that a traffic study be provided if desired. I do not believe a traffic study is needed since the office uses that were originally planned for the south side of Charlevoix Woods Ct are now parking areas for the car dealerships, so there is less traffic demand on Charlevoix Woods Ct.
17. The applicant has submitted this package as required by Section 16.05 (2) of the Zoning Ordinance for Basic Plan Review.
18. If you find that all the procedural information has been provided, this application should proceed to a public hearing and consideration of a Preliminary Development Plan. It will be at that stage of the review process that the *merits* of the request will be considered, and the detailed site plans will be required and reviewed.

Before proceeding to the Preliminary Development Plan review (Public Hearing), I would recommend that the applicant submit the following information:

1. Plans indicating the private road meet our design standards.
2. Provide a full civil plan set
3. Landscaping plan
4. Approval from the Township Engineer.
5. Approval from the Fire Chief.
6. Have the plans reviewed by the KCDC for their comments on the storm water system.
7. Location and type of street lights
8. Photometric Plan

ATTACHMENTS:

Application  
Site Plan  
Current PUD Ordinance Thornapple Manor #2 of 1998 and 2002  
and 2004 amendments



TITLE



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TITLE



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# CASCADÉ CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids, Michigan 49546-7140

## PLANNING & ZONING APPLICATION

**APPLICANT:** Name: Woods Builders Homes Inc.  
 Address: 2620 Horizon Dr., Suite 125  
 City & Zip Code Grand Rapids 49546  
 Telephone: 616-690-6996  
 Email Address: admin@woodsbldr.com

**OWNER: \* (If different from Applicant)**  
 Name: Cascade Stewardship Properties LLC  
 Address: 4519 Cascade Rd. SE. Suite 2B  
 City & Zip Code: Grand Rapids MI 49546  
 Telephone: 616-551-3310  
 Email Address: service@timberlineproperty.net

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input checked="" type="checkbox"/> P.U.D. - Rezoning *
<input type="checkbox"/> P.U.D. - Site Condominium *	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance Subdivision
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ *

*\* Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:\*\*

Rezone from assisted living to Multi-family Apartments

(\*\*Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY\*\*:

411908451040 Part of SW 1/4 SE 1/4 COM at S 1/4 COR TH N  
OD 43M 11S W 773.48 FT Along W Line SE 1/4 to BEG of  
this Desc - TH N OD 43M 11S W 552.57 ft. Along SD  
W Line TH S 89D 34M 26S E 435.31 TH S OD  
00M 00S W 313.43 ft TH S 90D 00M 00S W 46.19 ft. TH

(\*\*Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19-08-451-040

ADDRESS OF PROPERTY: 105 Charlevoix Woods SE, Grand Rapids 49546

PRESENT USE OF THE PROPERTY: Vacant

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR  
EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

105 Charlevoix Woods LLC

545 Ada Dr SE, Ada, Mi 49301

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Jeffrey G. Shell, Member

David Woods

Owner - Print or Type Name  
(\*If different from Applicant)

Applicant - Print or Type Name

Owner's Signature & Date  
(\*If different from Applicant)

Applicant's Signature & Date

*[Handwritten Signature]* 3/17/22

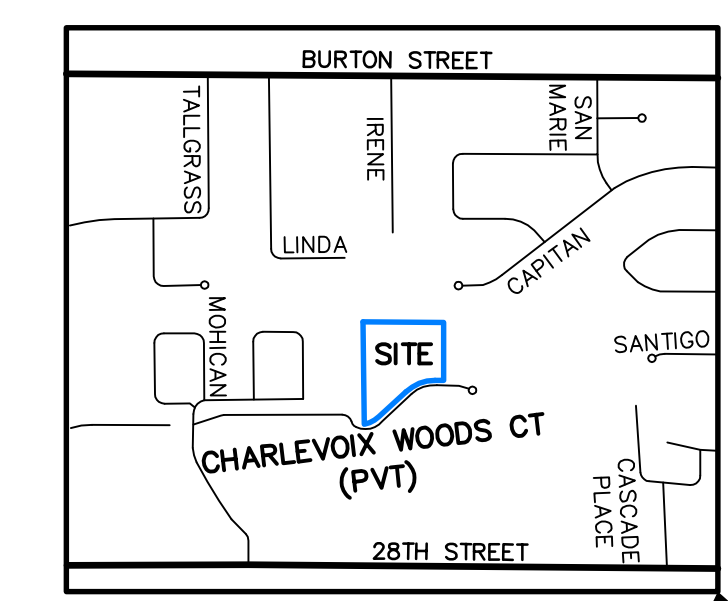
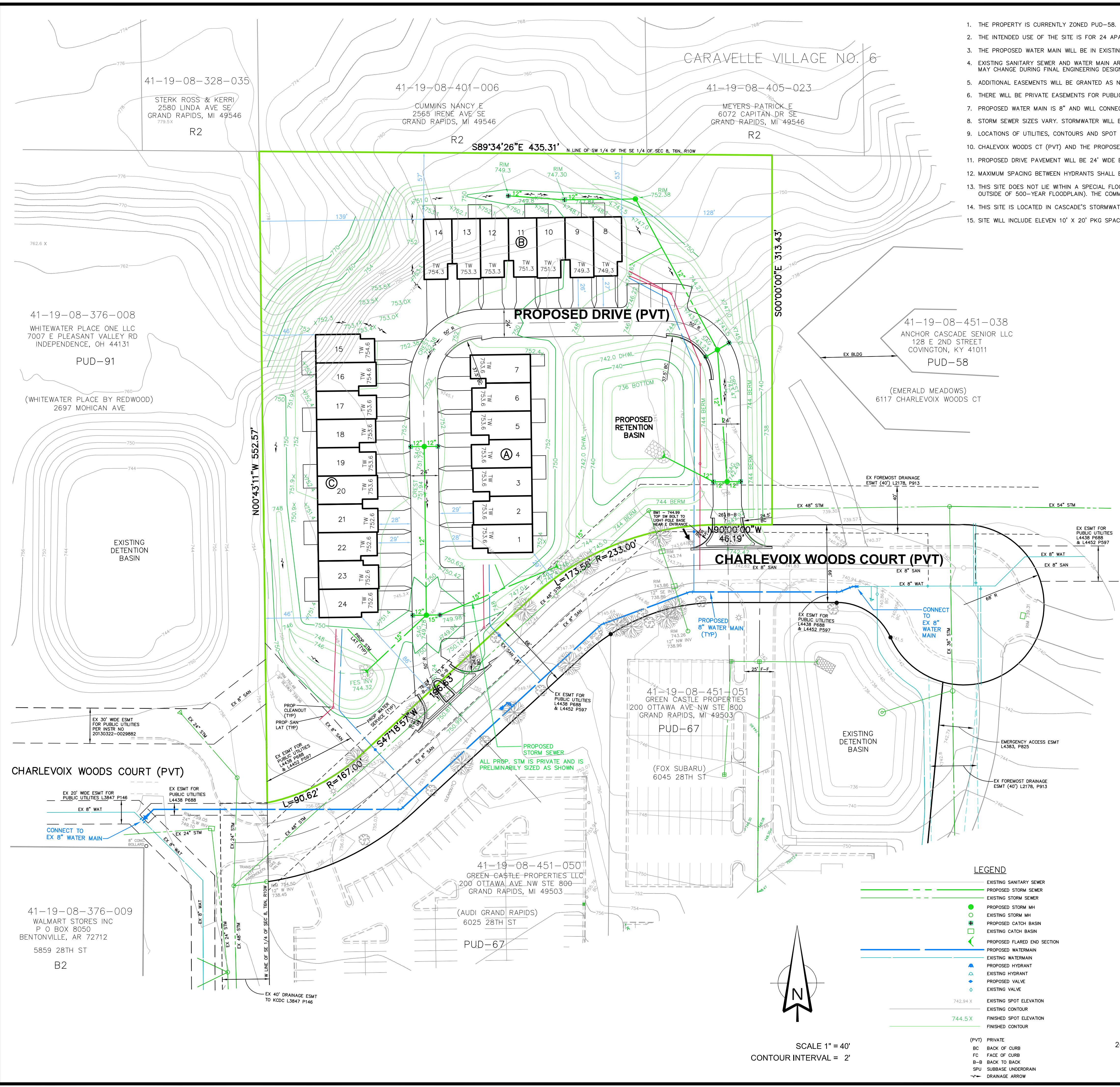
*[Handwritten Signature]* 3/17/22

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET - THANK YOU

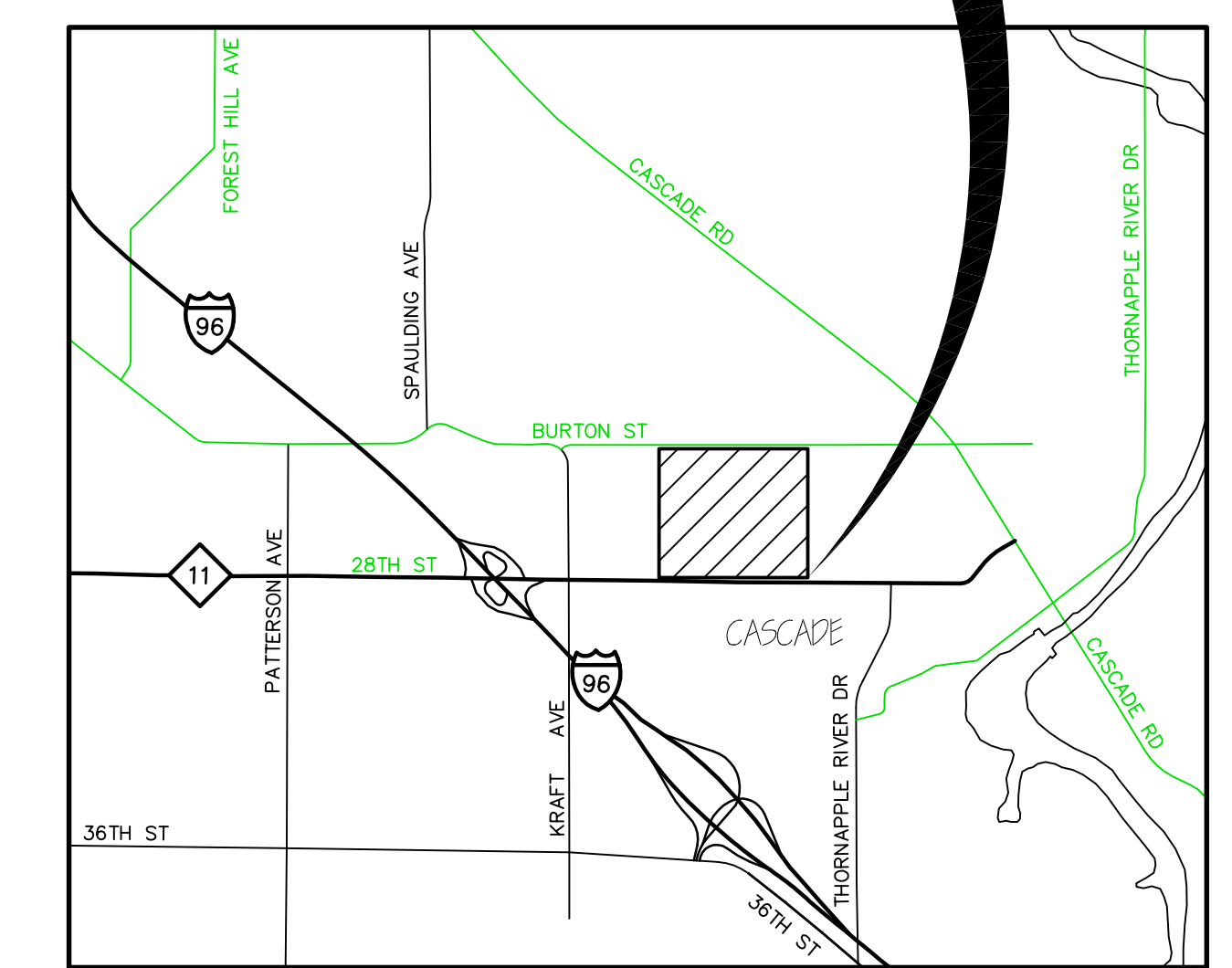
**GENERAL NOTES**

1. THE PROPERTY IS CURRENTLY ZONED PUD-58. ZONING FOR ADJACENT PROPERTIES VARIES AND IS SHOWN ON THIS PLAN.
2. THE INTENDED USE OF THE SITE IS FOR 24 APARTMENTS. THE LAYOUT SHOWN IS PRELIMINARY AND MAY CHANGE DURING FINAL ENGINEERING DESIGN.
3. THE PROPOSED WATER MAIN WILL BE IN EXISTING PRIVATE EASEMENTS FOR INGRESS/EGRESS AND PUBLIC UTILITIES LOCATED APPROXIMATELY AS SHOWN.
4. EXISTING SANITARY SEWER AND WATER MAIN ARE PUBLIC. PROPOSED WATER MAIN IS PRIVATE. PROPOSED STORM SEWER AND RETENTION BASIN ARE PRIVATE. LOCATIONS SHOWN ARE PRELIMINARY ONLY AND MAY CHANGE DURING FINAL ENGINEERING DESIGN.
5. ADDITIONAL EASEMENTS WILL BE GRANTED AS NEEDED FOR SANITARY SEWER, WATER MAIN, STORM SEWER, OTHER PUBLIC UTILITIES AND DRAINAGE AS REQUIRED. (EASEMENTS MAY OR MAY NOT BE SHOWN).
6. THERE WILL BE PRIVATE EASEMENTS FOR PUBLIC UTILITIES WITH LOCATIONS TO BE DETERMINED DURING FINAL ENGINEERING DESIGN.
7. PROPOSED WATER MAIN IS 8" AND WILL CONNECT TO THE EXISTING 8" WATER MAINS AS SHOWN.
8. STORM SEWER SIZES VARY. STORMWATER WILL BE COLLECTED AND ROUTED TO A PROPOSED RETENTION BASIN DESIGNED TO CASCADE STANDARDS.
9. LOCATIONS OF UTILITIES, CONTOURS AND SPOT ELEVATIONS SHOWN ARE PRELIMINARY ONLY AND MAY CHANGE DURING FINAL ENGINEERING DESIGN.
10. CHALEVOIX WOODS CT (PVT) AND THE PROPOSED DRIVE ARE PRIVATE. NOT ALL ACCESS ESMTS ARE SHOWN.
11. PROPOSED DRIVE PAVEMENT WILL BE 24' WIDE BITUMINOUS VALLEY GUTTER PAVEMENT. 24" CONCRETE CURB AND GUTTER AND 36" CONCRETE GUTTER PAN WILL BE PROVIDED WHERE SHOWN.
12. MAXIMUM SPACING BETWEEN HYDRANTS SHALL BE 400'.
13. THIS SITE DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERA EMERGENCY MANAGEMENT AGENCY, THE PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF 500-YEAR FLOODPLAIN). THE COMMUNITY PANEL NUMBER IS 260814 0025 A WITH AN EFFECTIVE DATE OF NOVEMBER 6, 1991.
14. THIS SITE IS LOCATED IN CASCADE'S STORMWATER ZONE A.
15. SITE WILL INCLUDE ELEVEN 10' X 20' PKG SPACES IN ADDITION TO THOSE IN DRIVEWAYS AND GARAGES.

BENCH MARK ELEVATION  
BM1 = 744.99  
TOP SW BOLT  
TO LIGHT POLE BASE  
NEAR E ENTRANCE



**JOB SITE**



**PROJECT LOCATION**

THE WATER MAIN WILL BE CONSTRUCTED IN A SINGLE PHASE, WITH ANTICIPATED COMPLETION IN FALL 2022.

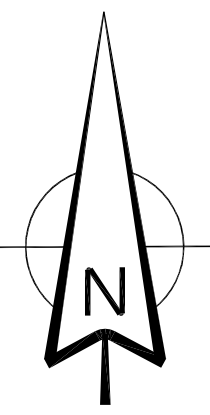
**LEGAL DESCRIPTION (FROM TAX DESCRIPTION)**

That part of the Southwest 1/4 Southeast 1/4 of Section 8, T6N, R10W described as: Commencing at the South 1/4 corner of said section; thence N0°43'11" W 773.48 feet along the West line of the Southeast 1/4 to the point of beginning of this description; thence N0°43'11" W 552.57 feet along said West line; thence S89°34'26" E 435.31; thence S0°00'00" W 313.43 feet; thence S90°00'00" W 46.19 feet; thence Westerly 173.58 feet along a 233 foot radius curve to the left, the long chord of which bears S68°39'29" W 169.59 feet; thence S47°18'57" W 196.63 feet; thence Westerly 90.62 feet along a 167 foot radius curve to the right, the long chord of which bears S62°51'43" W 89.51 feet to the point of beginning

THE KENT COUNTY PERMANENT PARCEL # IS 41-19-08-451-040.  
THE CURRENT ADDRESS IS 6105 CHARLEVOIX WOODS COURT, SE 176.00 SF (4.04 AC)

**LEGEND**

- EXISTING SANITARY SEWER
  - PROPOSED STORM SEWER
  - EXISTING STORM SEWER
  - PROPOSED STORM MH
  - EXISTING STORM MH
  - PROPOSED CATCH BASIN
  - EXISTING CATCH BASIN
  - PROPOSED FLARED END SECTION
  - PROPOSED WATERMAIN
  - EXISTING WATERMAIN
  - PROPOSED HYDRANT
  - EXISTING HYDRANT
  - PROPOSED VALVE
  - EXISTING VALVE
  - EXISTING SPOT ELEVATION
  - EXISTING CONTOUR
  - FINISHED SPOT ELEVATION
  - FINISHED CONTOUR
- (PVT) PRIVATE  
BC BACK OF CURB  
FC FACE OF CURB  
B-B BACK TO BACK  
SPU SUBBASE UNDERDRAIN  
DRAINAGE ARROW



SCALE 1" = 40'  
CONTOUR INTERVAL = 2'



For:  
Dave Woods  
2620 Horizon DR SE, Suite 125  
Grand Rapids, MI 49546  
(616) 272-3468

PART OF THE SW 1/4 AND THE SE 1/4 OF SECTION 8, T6N, R10W, CITY OF GRAND RAPIDS

**CHARLEVOIX APARTMENTS**

**PRELIMINARY SITE PLAN**

Sheet No. 1 of 1

**MEDEMA, VAN KOOTEN & ASSOCIATES**  
CONSULTING ENGINEERS & SURVEYORS SINCE 1955

PHONE (616) 451-0639  
FAX (616) 451-9225  
www.mvkengineering.com

252 STATE ST., S.E.  
GRAND RAPIDS, MI 49503

**MVK**

# WOODS BUILDERS

## Hawthorn SOG

### GENERAL NOTES --- RESIDENTIAL

1. CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, ORDINANCES, AND REGULATIONS.
2. ALL MATERIALS AND WORKMANSHIP TO MEET OR EXCEED INDUSTRY STANDARDS.
3. ANY DISCREPANCIES BETWEEN THE SCOPE OF WORK AND THE CONSTRUCTION DOCUMENTS ARE TO BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. IN THE EVENT OF DISCREPANCIES THAT WERE NOT BROUGHT TO THE PROJECT MANAGER'S ATTENTION FOR A RESPONSE IN WRITING, THE CONTRACTOR WILL BE HELD TO THE HIGHER STANDARD.
4. ALL GYPSUM BOARD TO BE 1/2" ON WALLS, 5/8" ON CEILINGS GYPSUM BOARD.
6. TRUSS FABRICATOR TO SUBMIT TRUSS DRAWINGS TO WOODS BUILDER'S FOR REVIEW & APPROVAL PRIOR TO FABRICATION.

### GENERAL STRUCTURAL NOTES

1. ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE MICHIGAN RESIDENTIAL BUILDING CODE 2015
2. DESIGN LOADS:  
LIVE LOAD: PER BUILDING DISTRICT REQUIREMENTS  
WIND: 90 MPH EXPOSURE "B"  
SEISMIC: SITE CLASS "A"  
DESIGN SOIL BEARING: 2,000 PSF  
SOILS:

### WOOD FRAMING NOTES --- RESIDENTIAL

1. FOLLOW ALL REQUIREMENTS AND RECOMMENDATIONS OF MANUFACTURER.
  - a. PSL= 2.0E PARLALLAM, Fb=2,900 PSI
  - b. LVL=1.9E MICROLAM, Fb=2,600 PSI
  - c. LSL= 1.7E TIMBERSTRAND, Fb=2,600 PSI
2. LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL WOOD LEDGERS, PLATES, SILLS AND NAILERS IN CONTACT WITH EARTH OR WITHIN 6 INCHES OF EARTH SHALL BE P.T. ALL NAILS, BOLTS, HANGERS, ETC. SHALL BE G-185 OR STAINLESS STEEL IN CONTACT WITH ACQ. LUMBER.

### MECHANICAL, ELECTRICAL & PLUMBING NOTES

1. ALL WIRING TO COMPLY WITH THE LATEST ENFORCEABLE N.E.C., STATE, AND LOCAL CODE REQUIREMENTS.
2. ALL DUCTWORK SHALL COMPLY WITH ASHRAE STANDARDS, ALL MECHANICAL WORK SHALL COMPLY WITH THE STATE OF MICHIGAN MECHANICAL CODE AND LOCAL REQUIREMENTS.
3. ALL PLUMBING SHALL COMPLY WITH THE STATE OF MICHIGAN PLUMBING CODE AND LOCAL REQUIREMENTS. PROVIDE CLEANOUTS AS REQUIRED AND AT BASE OF ALL STACKS.

### CODE INFORMATION --- RESIDENTIAL

DESIGN PARAMETERS:  
 2015 MRC BUILDING CODE  
 2015 MRC MECHANICAL CODE  
 2015 MRC PLUMBING CODE  
 2015 MRC ELECTRIC CODE  
 ICC/ANSI 117.1-2003  
 OCCUPANCY: R-3  
 CONSTRUCTION: TYPE 5-B UNPROTECTED, NON-SPRINKLERED  
 EXTERIOR BEARING WALLS - #2 & BTR SPF  
 ROOFING MATERIAL - WOOD TRUSS / SHINGLE  
 SEPARATION: NONE

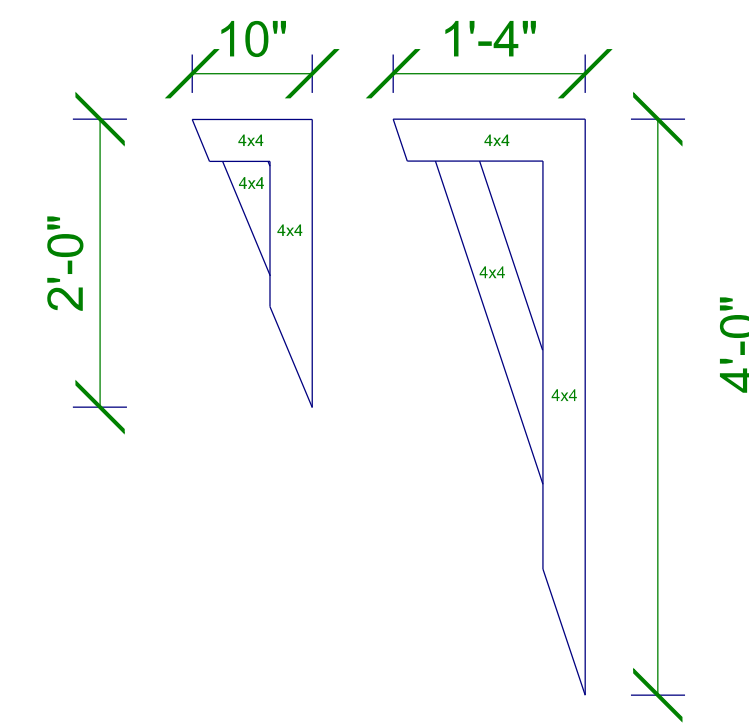
### DRAWING INDEX

DRAWING INDEX	PAGE #
TITLE	PAGE #1
ELEVATIONS & SIDING	PAGE #2
ELEVATIONS	PAGE #3
LOWER LEVEL	PAGE #4
MAIN FLOOR	PAGE #5
UPPER FLOOR	PAGE #6
ROOF PLAN	PAGE #7
DETAILS - SECTIONS	PAGE #8
NONCOMB. DETAILS	PAGE #9
LOWER LEVEL ELECTRICAL	PAGE #10
MAIN FLOOR ELECTRICAL	PAGE #11
UPPER FLOOR ELECTRICAL	PAGE #12





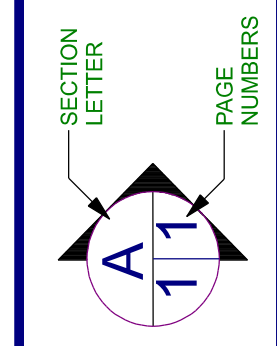
**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

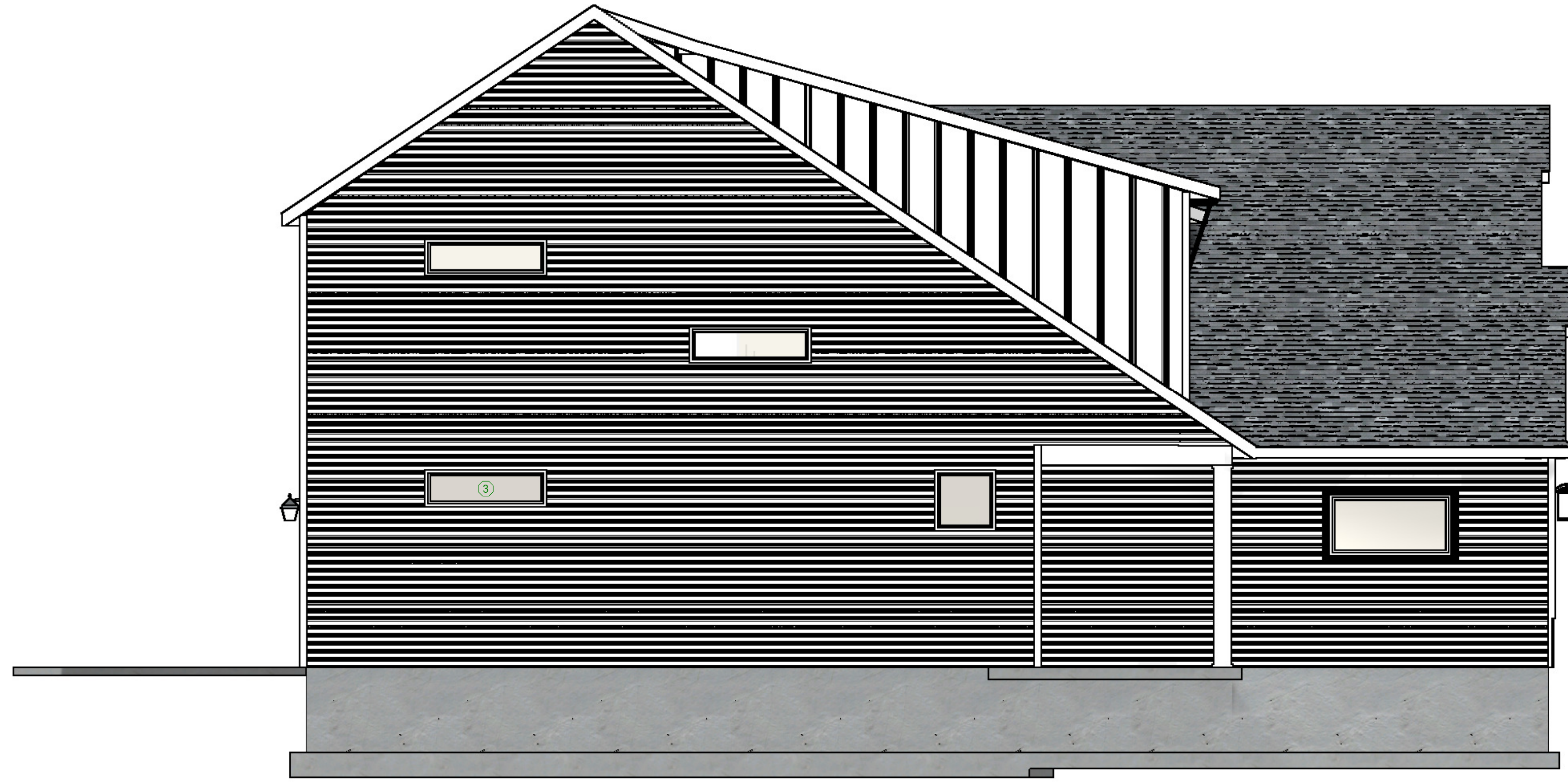


**BRACKETS**  
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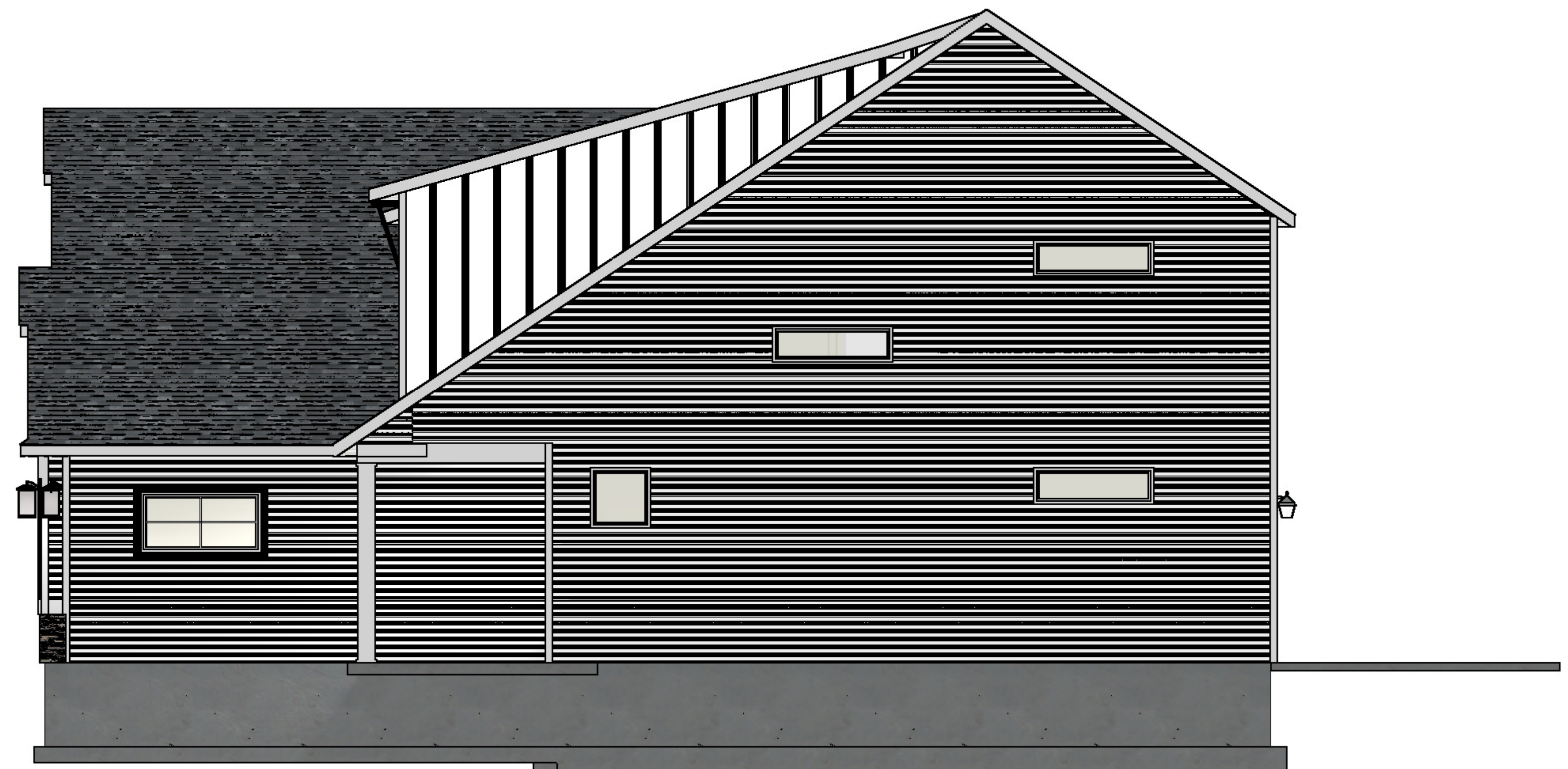


**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

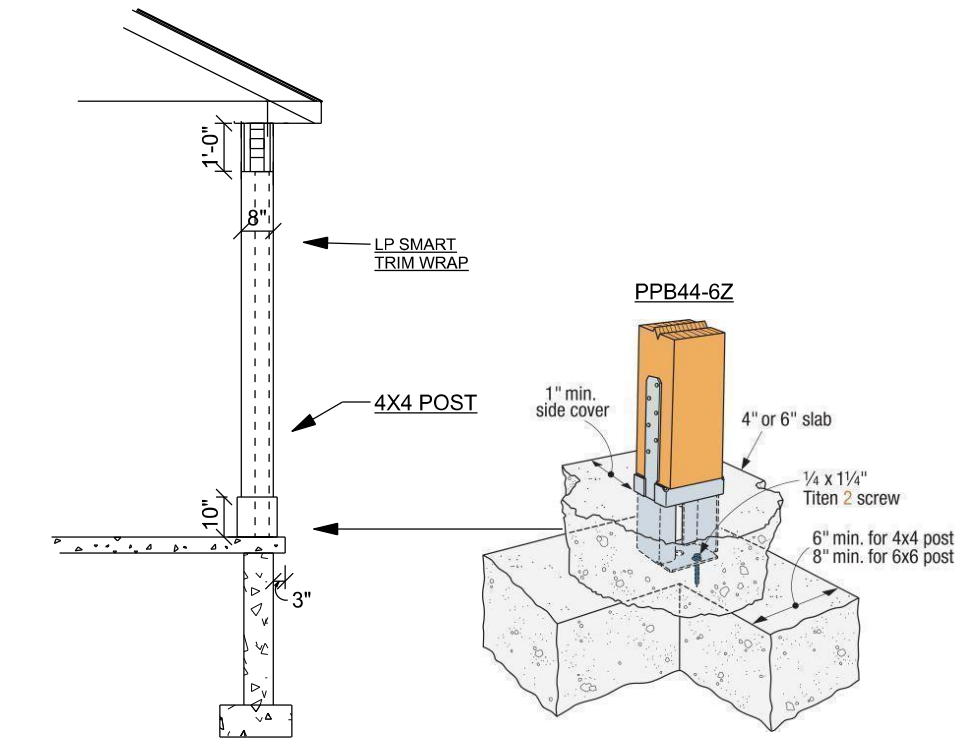




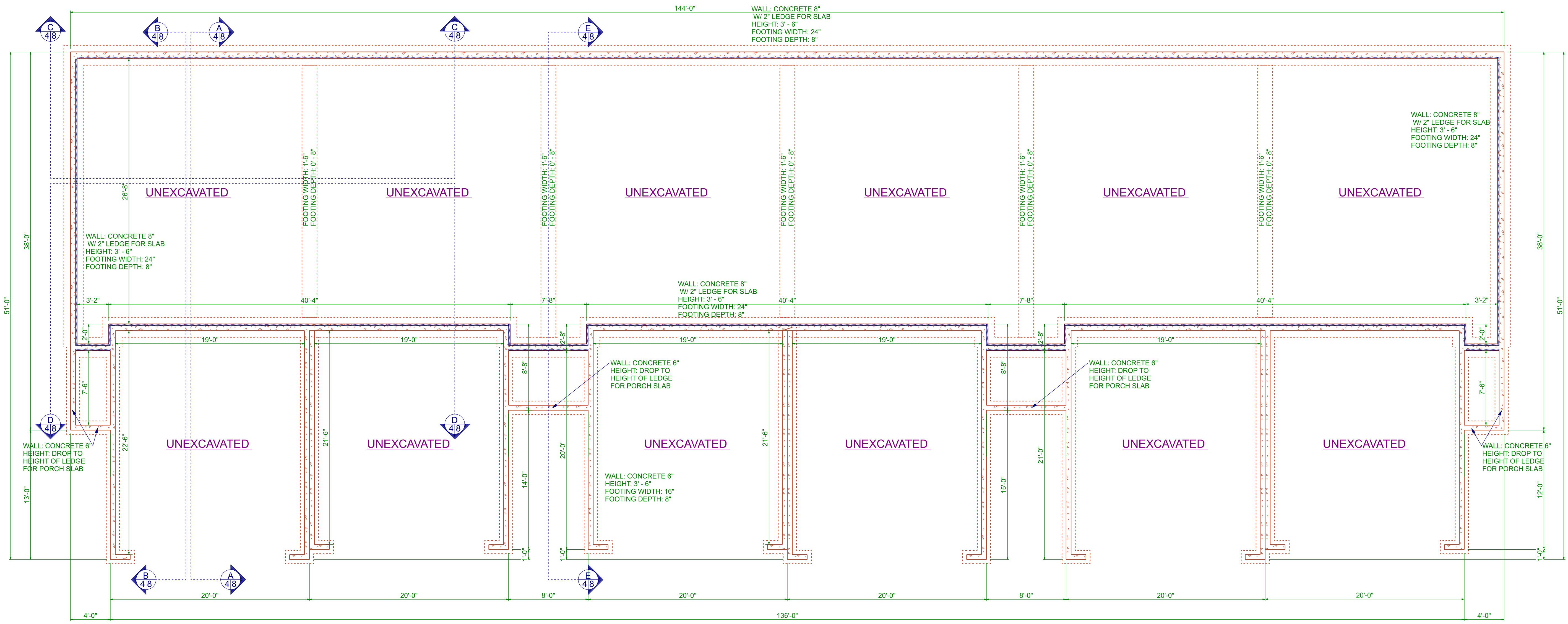
**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**PORCH COLUMN**  
SCALE: 1/4" = 1'-0"



FOUNDATION  
SCALE: 3/16" = 1'-0"

Foundation and Concrete Notes:

- Concrete Strength for Garage Slabs: 3,500 psi  
Concrete Strength for Patios, Porches and Exterior walks and drives: 4,000 psi and 6-inch slump.  
In Winter: Concrete Air Entrainment 6% + 1% in areas exposed to freezing and follow approved winter installation & proper curing.
- Concrete Strength for Footings: 3,000 psi min. (3,000 where required), Max. slump 5" + 1". Concrete should not be dropped more than 40'. Reinforcing Steel: Horizontal rebar size: 1/2", typically 2 pieces in the bottom 1/3 of the footing with 3" min. concrete coverage and 15" min. laps, continuous through cold joints. Install as per requirements of local building department.
- Place 1" deep expansion or control joints not to exceed 12' intervals on large slabs and 5' intervals on walks.
- Form outdoor walks, stoops, steps and patios to slope for drain off. Hold driveway slab 1/2" below garage slab to prevent water from entering garage. The following min. fall/slopes apply: Porches/patios/stoops - 1/4" slope per 1 foot to the outside min. Walks/Drives at least 1/4" slope per 1 foot Garage slab lip to slope off 1/2" at garage door but level at garage door landing.
- Slabs for all flatwork including but not limited to, garage floors, patios, porches, stoops, lower level floor slabs, shall be 4" min. thick (never less than 3-1/2").
- Flatwork finished surfaces to be brushed lightly to a nonslip broom-finish, except garage slab and interior slab to be smooth trowel finish.
- Where floor drains are indicated for slabs in garage or around water heater, slope slab around drains with 1/8" - 1/4" slope per foot.
- Foundation straps/bolts to be placed at 4' intervals and approved hold downs or anchors/standoffs at all corners, posts and columns.
- Hold final finished grade to a min. of 8" below top of foundation, including at foundation steps. (unless a brick ledge is provided).
- Apply waterproofing to foundation per site/soil conditions and specifications to top of finished grade level.

**Framing Notes:**

- Dimensions are wood frame to frame, sheathing figured flush with the foundation, unless otherwise noted and all stud walls are 3-1/2" with 1/2" drywall unless noted otherwise.
- Solid Blocking: Provide horizontal solid blocking for kitchen cabinets, laundry cabinets and closets for shelves/rods.
- Frame inside lower level openings for windows and doors with 1-1/2" framing.
- Any framing in contact with concrete to be treated lumber.

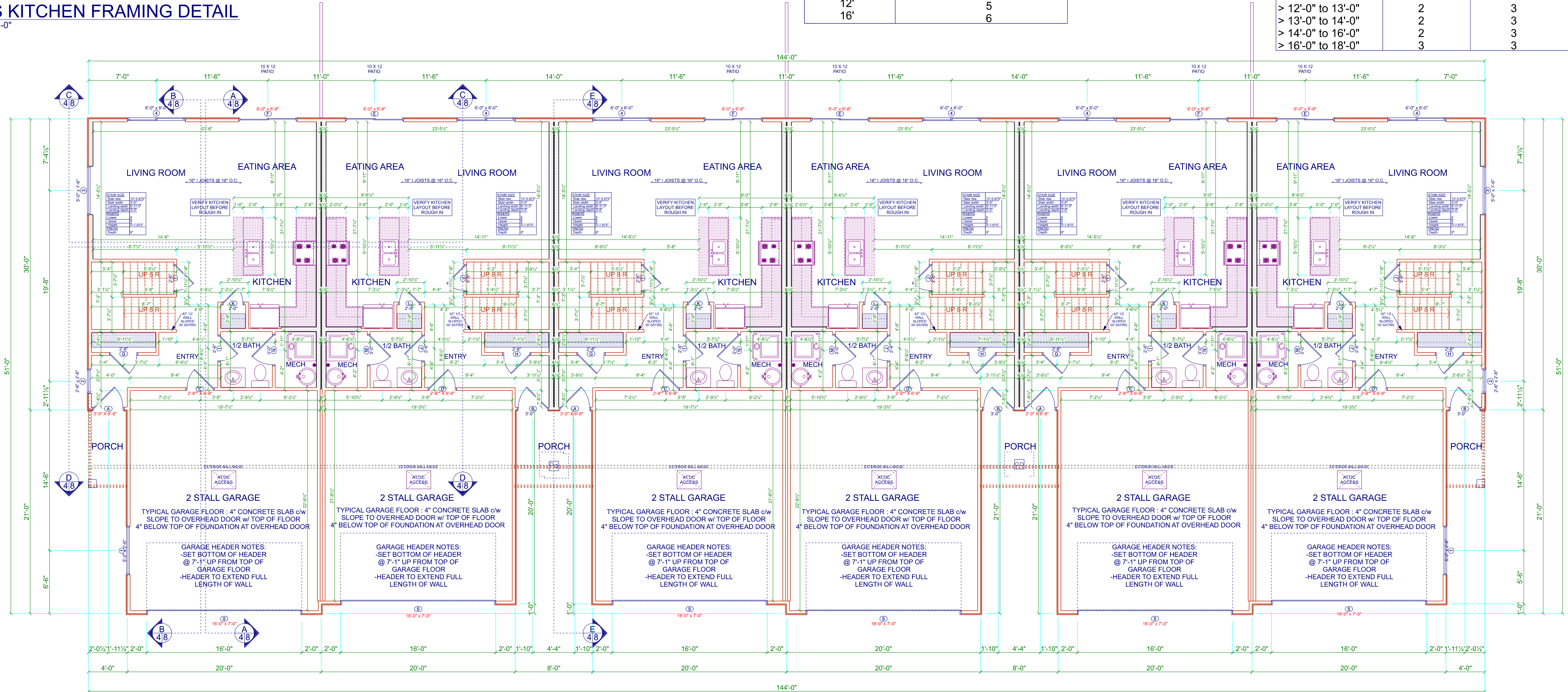
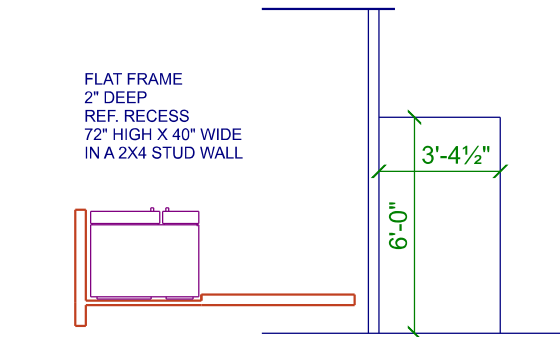
**MIN. NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS**

HEADER SPAN (feet)	MAX. STUD SPACING (inches)
< OR = 3'	16
4'	1
8'	2
12'	3
16'	5
	6

**TOTAL NUMBER OF JACK AND KING STUDS REQUIRED AT EACH END OF AN OPENING**

SIZE OF OPENING (feet-inches)	16-inch O.C. STUD SPACING	No. of Jack Studs	No. of King Studs
Up to 3'-6"		1	1
> 3'-6" to 5'-0"		1	2
> 5'-0" to 5'-6"		1	2
> 5'-6" to 8'-0"		1	2
> 8'-0" to 10'-6"		2	2
> 10'-6" to 12'-0"		2	2
> 12'-0" to 13'-0"		2	3
> 13'-0" to 14'-0"		2	3
> 14'-0" to 16'-0"		2	3
> 16'-0" to 18'-0"		3	3

**RECESS KITCHEN FRAMING DETAIL**  
SCALE: 3/16" = 1'-0"



**MAIN FLOOR 9'**  
SCALE: 3/16" = 1'-0"

MAIN FLOOR BUILDING  
MAIN FLOOR UNIT  
PORCH  
4086 SQ. FT.  
680 SQ. FT.  
32 SQ. FT.

ALL UNITS ARE NOT SYMMETRICAL -  
CHECK DIMENSIONS OF EACH UNIT

TOP OF ALL WINDOWS ARE  
TO BE SET AT 97" EXCEPT  
FRONT ELEVATION WINDOWS  
ARE TO BE SET AT SAME AS  
FRONT DOOR

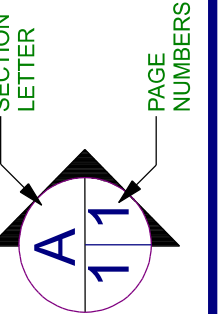
MAIN FLOOR OPENING SCHEDULE									
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID	HINGE	GRILLE	PRODUCT CODE
1	WINDOW	5'-0"	2'-6"	12.5 sq. ft.		1	N	No	60X30 TRANSOM
2	WINDOW	2'-6"	2'-6"	6.3 sq. ft.		2	N	No	30X30 FIXED
2	WINDOW	5'-0"	1'-6"	7.5 sq. ft.		3	N	No	60X18 TRANSOM
6	SLIDING WINDOW	6'-0"	6'-0"	36.0 sq. ft.		4	NL	No	72X72 SLIDER

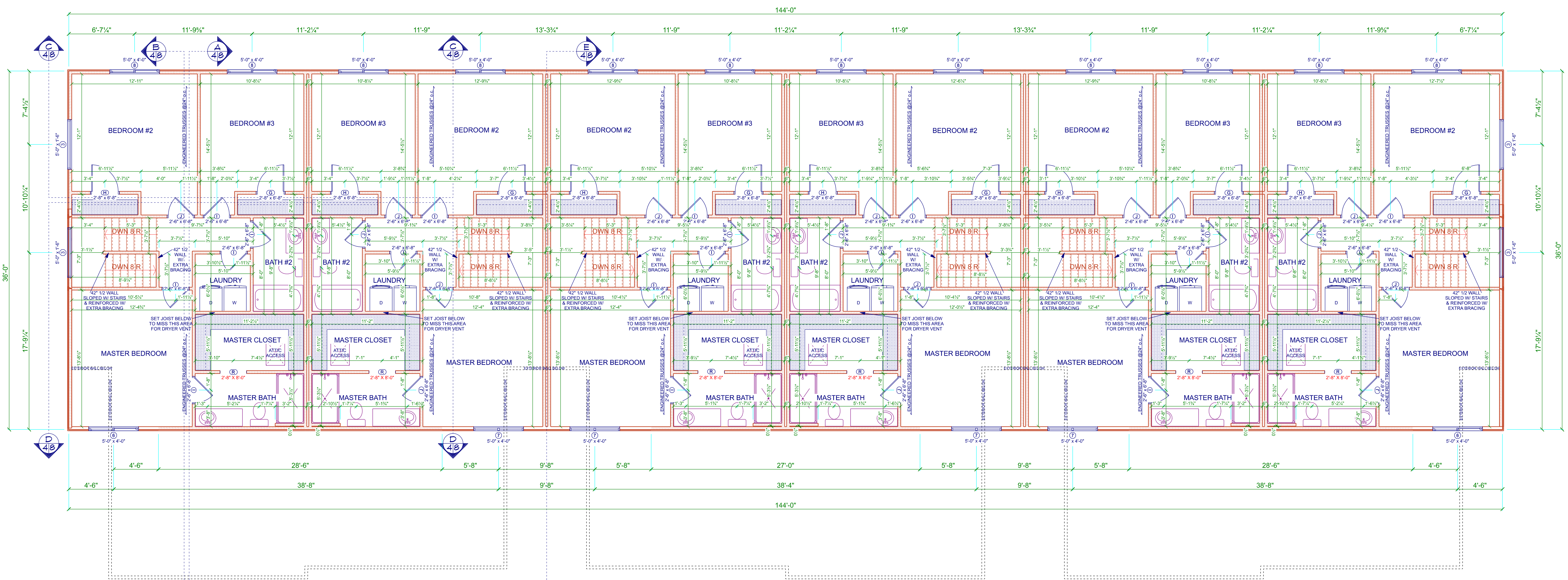
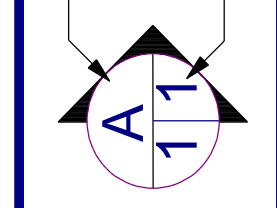
MAIN FLOOR OPENING SCHEDULE									
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID	HINGE	GRILLE	PRODUCT CODE
3	DOOR	3'-0"	6'-8"	22.1 sq. ft.		A	L	No	36X80 FRONT ENTRY
3	DOOR	3'-0"	6'-8"	22.1 sq. ft.		B	R	No	36X80 FRONT ENTRY R
3	DOOR	2'-6"	6'-8"	19.8 sq. ft.		C	R	No	32X80 FAMILY ENTRY
3	DOOR	2'-6"	6'-8"	19.8 sq. ft.		D	L	No	32X80 FAMILY ENTRY

MAIN FLOOR OPENING SCHEDULE									
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID	HINGE	GRILLE	PRODUCT CODE
3	SLIDING DOOR	6'-0"	6'-8"	40.0 sq. ft.		E	RL	No	72X90 SLIDING GLASS 1
3	SLIDING DOOR	6'-0"	6'-8"	40.0 sq. ft.		F	NL	No	72X90 SLIDING GLASS 2
3	DOOR	2'-6"	6'-8"	19.8 sq. ft.		G	R	No	32X80 2 PANEL 1
3	DOOR	2'-6"	6'-8"	19.8 sq. ft.		H	L	No	32X80 2 PANEL 1

MAIN FLOOR OPENING SCHEDULE									
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID	HINGE	GRILLE	PRODUCT CODE
6	DOOR	2'-6"	6'-8"	18.7 sq. ft.		I	L	No	30X80 2 PANEL 1
6	DOOR	2'-6"	6'-8"	18.7 sq. ft.		J	R	No	30X80 2 PANEL 1
3	DOOR	2'-0"	6'-8"	15.3 sq. ft.		K	L	No	24X80 2 PANEL 1
3	DOOR	2'-0"	6'-8"	15.3 sq. ft.		L	R	No	24X80 2 PANEL 1

MAIN FLOOR OPENING SCHEDULE									
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID	HINGE	GRILLE	PRODUCT CODE
3	DOOR	3'-0"	6'-8"	22.1 sq. ft.		M	L	No	36X80 2 PANEL 1
3	DOOR	3'-0"	6'-8"	22.1 sq. ft.		N	R	No	36X80 2 PANEL 1
6	GARAGE	16'-0"	7'-0"	112.0 sq. ft.		S	U	No	192X84 - 8 PANEL - 4 WINDOW
1	WINDOW	5'-0"	2'-6"	12.5 sq. ft.		1	N	Yes	60X30 TRANSOM





UPPER FLOOR BUILDING  
UPPER FLOOR UNIT  
5184 SQ. FT.  
865 SQ. FT.

ALL UNITS ARE NOT SYMMETRICAL -  
CHECK DIMENSIONS OF EACH UNIT

TOP OF ALL UPPER LEVEL  
WINDOWS ARE TO BE SET AT 85"

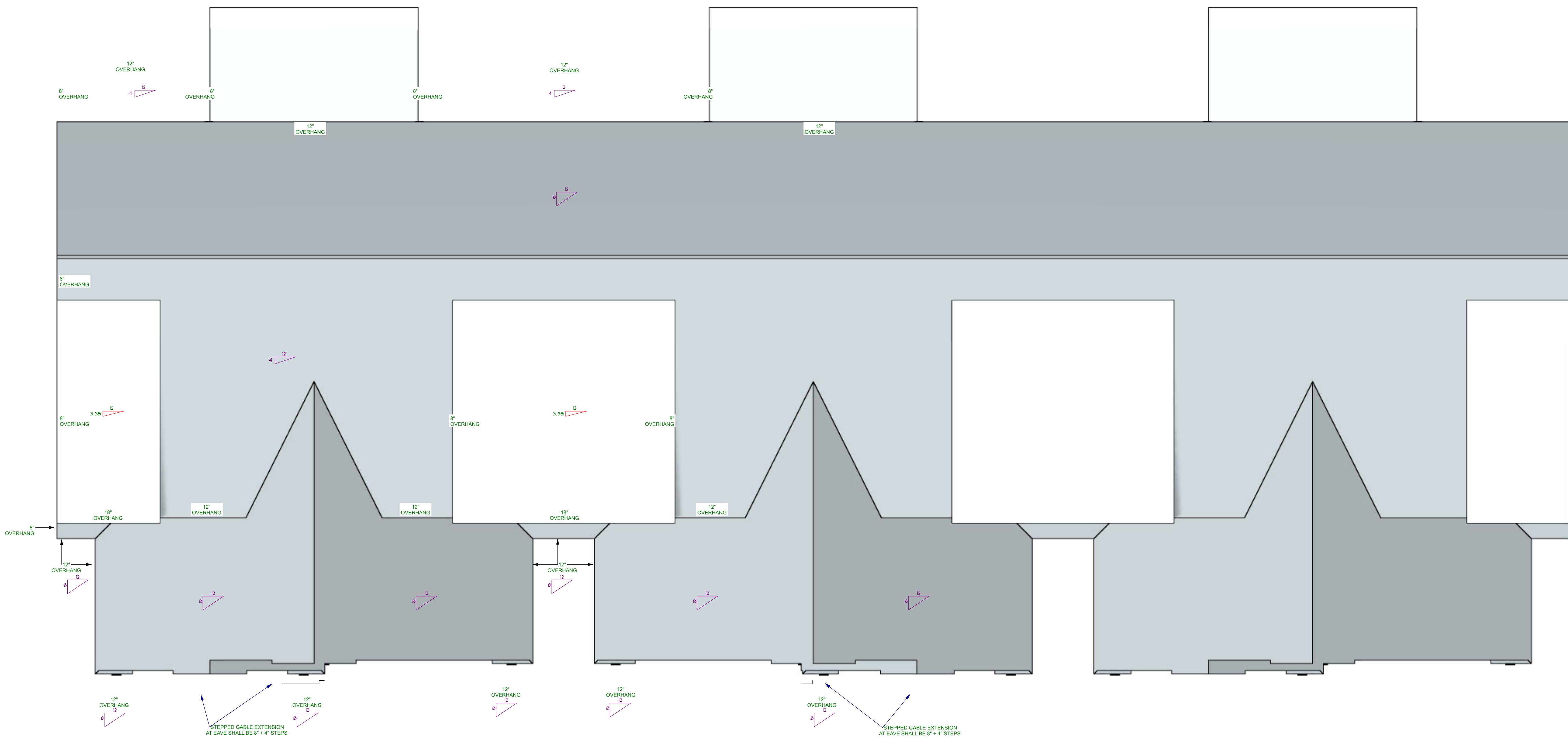
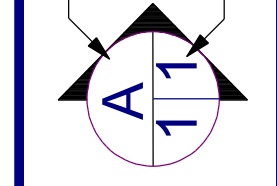
UPPER FLOOR 8'  
SCALE: 3/16" = 1'-0"

UPPER FLOOR OPENING SCHEDULE									
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID	HINGE	GRILLE	PRODUCT CODE
4	WINDOW	5'-0"	1'-0"	7.5 sq ft.		3	N	No	60X18 TRANSOM
3	COMBINED UNIT	6'-0"	3'-0"	21.0 sq ft.		5	NN	Yes	60X42 MULLED FIXED
2	SLIDING WINDOW	5'-0"	4'-0"	20.0 sq ft.		6	NL	Yes	60X48 SLIDER

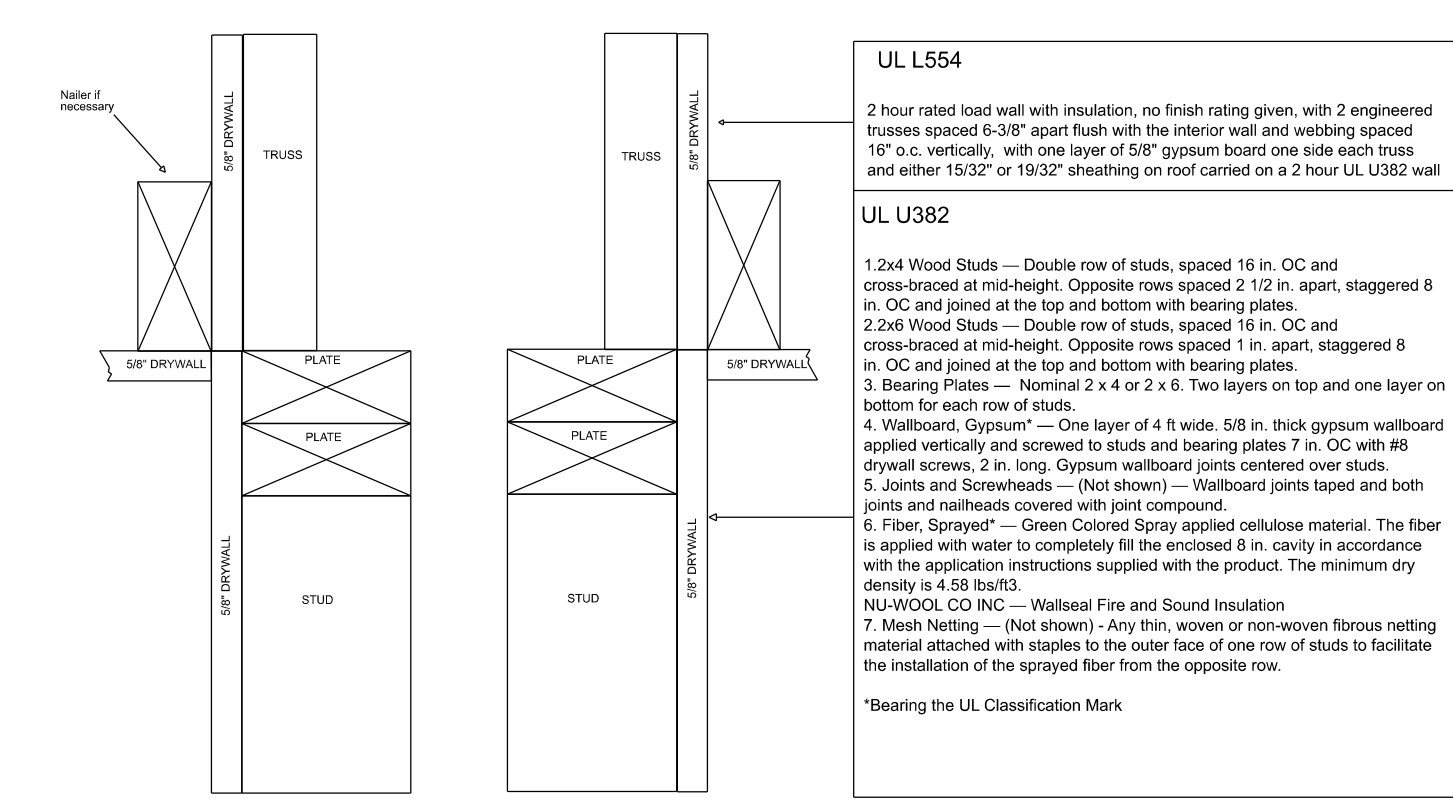
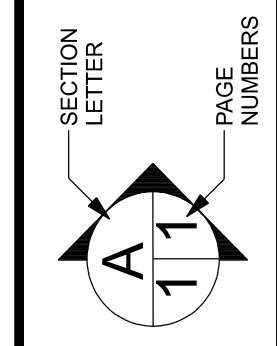
UPPER FLOOR OPENING SCHEDULE									
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID	HINGE	GRILLE	PRODUCT CODE
4	WINDOW	5'-0"	4'-0"	20.0 sq ft.		7	NN	Yes	60X48 CASEMENT 2
12	SLIDING WINDOW	5'-0"	4'-0"	20.0 sq ft.		8	NL	No	60X48 SLIDER
6	DOOR	2'-8"	6'-8"	19.5 sq ft.		G	R	No	32x80 2 PANEL 1

UPPER FLOOR OPENING SCHEDULE									
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID	HINGE	GRILLE	PRODUCT CODE
6	DOOR	2'-8"	6'-8"	19.5 sq ft.		H	L	No	32x80 2 PANEL 1
21	DOOR	2'-8"	6'-8"	18.7 sq ft.		I	L	No	32x80 2 PANEL 1
15	DOOR	2'-8"	6'-8"	18.7 sq ft.		J	R	No	32x80 2 PANEL 1

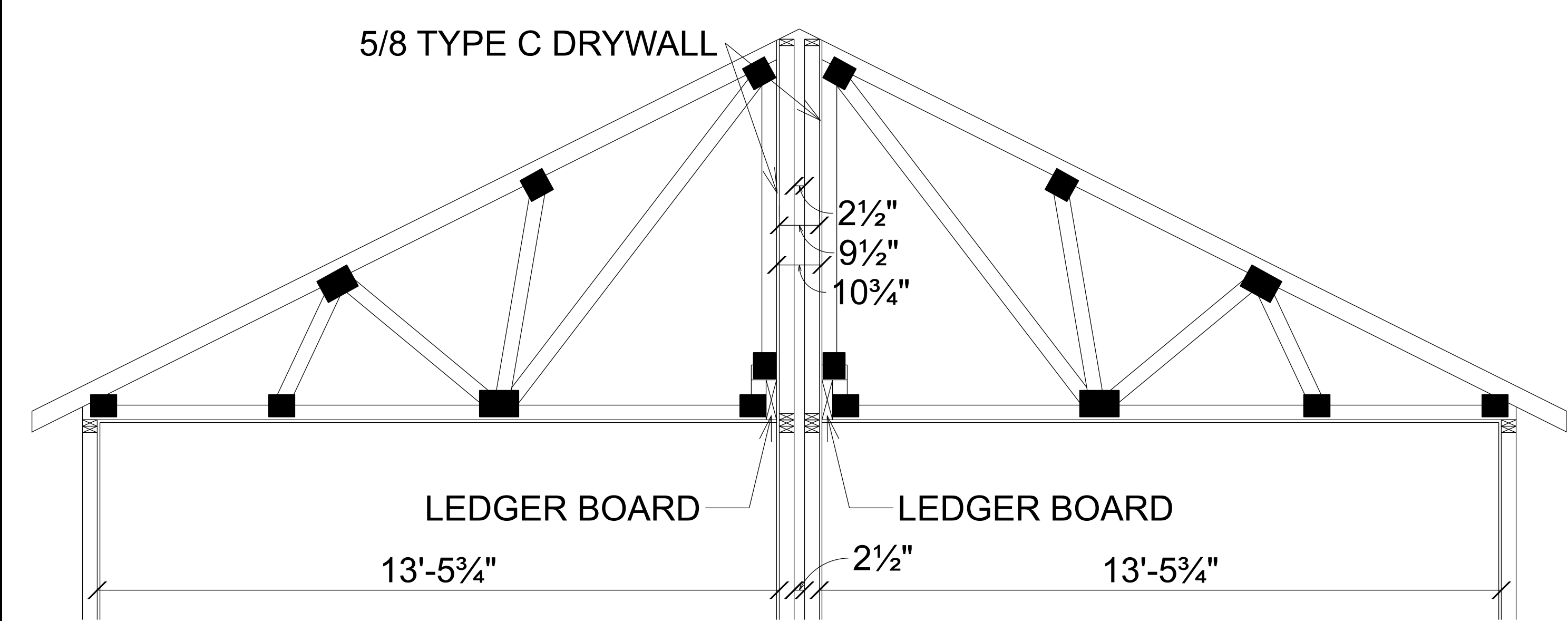
UPPER FLOOR OPENING SCHEDULE									
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID	HINGE	GRILLE	PRODUCT CODE
6	BLANK	2'-8"	8'-0"	21.3 sq ft.		R	N	No	32X80 CASED OPENING



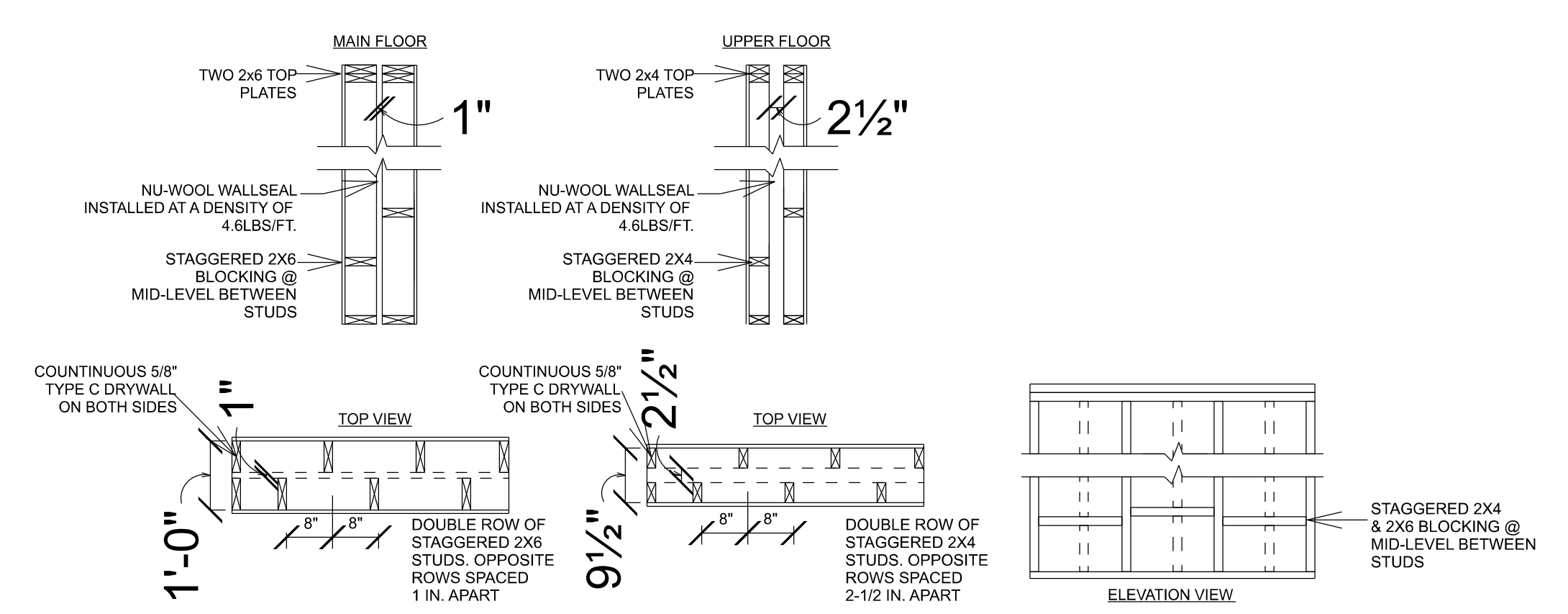
**ROOF**  
SCALE: 3/16" = 1'-0"



Detail 3  
2 Hr. Separation Wall/  
Truss Assembly



Garage Shared Wall Detail



Separation Wall Detail U382 Approved Design w/ Staggered Stud Construction



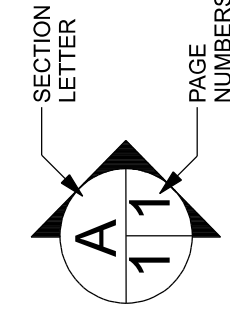
**WOODS BUILDERS HOMES**

2620 Horizon Dr SE, Suite 125  
Grand Rapids, Michigan, 49546  
PHONE: 616-272-3488

SCALE: 1/8" = 1'-0"

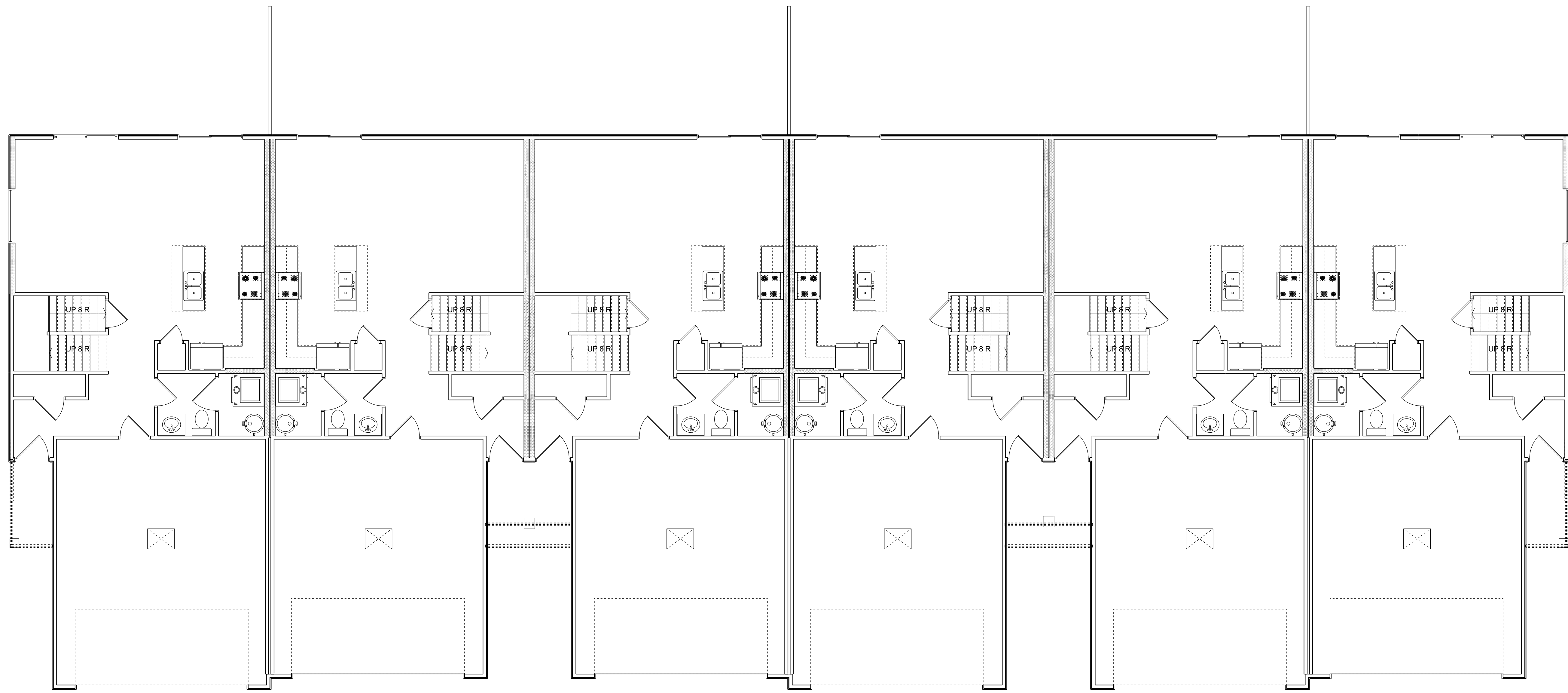
DRAWN BY: Woods Builders

DATE: Tuesday, December 21, 2021

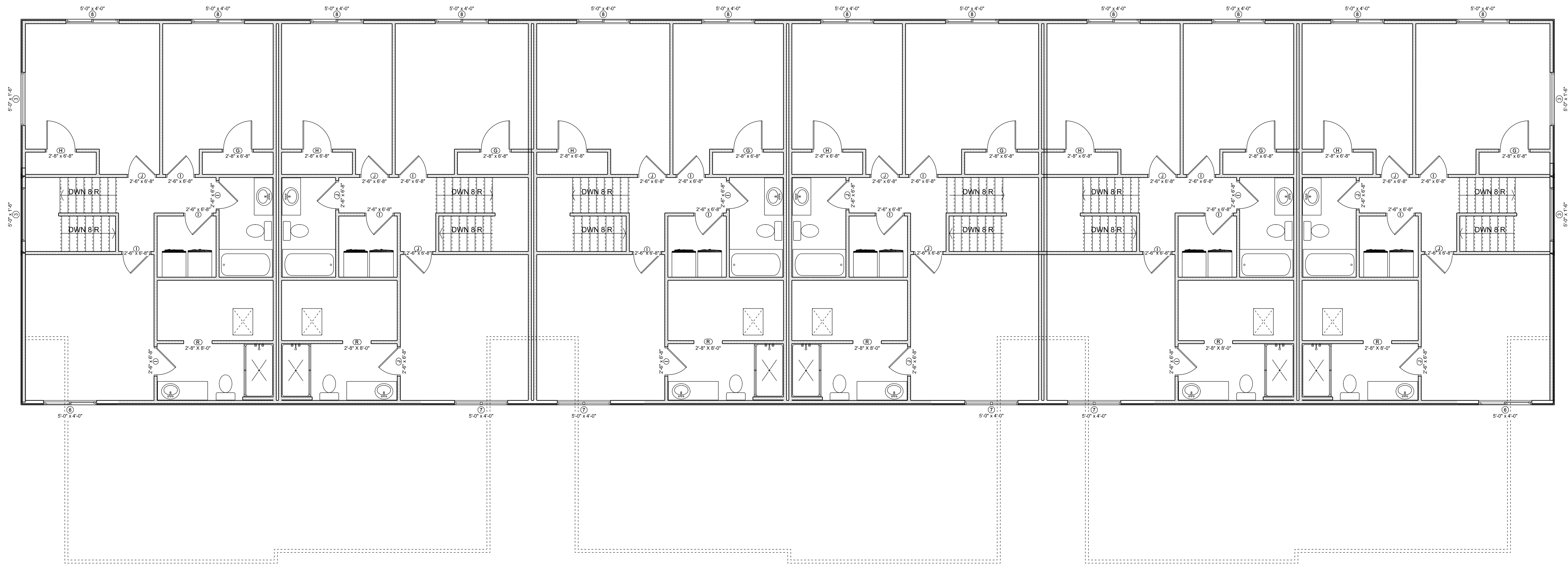


PAGE #:

9  
NONCOMB. DETAILS



**MAIN FLOOR - ELECTRICAL**  
SCALE: 3/16" = 1'-0"



UPPER FLOOR BUILDING 5184 SQ. FT.  
UPPER FLOOR UNIT 865 SQ. FT.

**UPPER FLOOR - ELECTRICAL**

SCALE: 3/16" = 1'-0"

UPPER FLOOR OPENING SCHEDULE						
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID   HINGE   GRILLE   PRODUCT CODE
4	WINDOW	5'-0"	1'-6"	7.5 sq. ft.		3   N   No   60X18 TRANSOM
3	COMBINED UNIT	6'-0"	3'-6"	21.0 sq. ft.		5   NN   Yes   60X42 MULLED FIXED
2	SLIDING WINDOW	5'-0"	4'-0"	20.0 sq. ft.		6   NL   No   60X48 SLIDER

**ALL UNITS ARE NOT SYMETRICAL - CHECK DIMENSIONS OF EACH UNIT**

UPPER FLOOR OPENING SCHEDULE						
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID   HINGE   GRILLE   PRODUCT CODE
4	WINDOW	5'-0"	4'-0"	20.0 sq. ft.		7   NN   Yes   60X48 CASEMENT 2
12	SLIDING WINDOW	5'-0"	4'-0"	20.0 sq. ft.		8   NL   No   60X48 SLIDER
6	DOOR	2'-8"	6'-8"	19.8 sq. ft.		G   R   No   32x80 2 PANEL 1

UPPER FLOOR OPENING SCHEDULE						
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID   HINGE   GRILLE   PRODUCT CODE
6	DOOR	2'-8"	6'-8"	19.8 sq. ft.		H   L   No   32x80 2 PANEL 1
21	DOOR	2'-8"	6'-8"	18.7 sq. ft.		I   L   No   30x80 2 PANEL 1
15	DOOR	2'-8"	6'-8"	18.7 sq. ft.		J   R   No   30x80 2 PANEL 1

UPPER FLOOR OPENING SCHEDULE						
COUNT	TYPE	WIDTH	HEIGHT	OPENING AREA	ELEVATION	OPENING ID   HINGE   GRILLE   PRODUCT CODE
6	BLANK	2'-8"	8'-0"	21.3 sq. ft.		R   N   No   32X96 CASED OPENING

## **PUD Ordinance - Thornapple Manor #2 of 1998**

### **CASCADE CHARTER TOWNSHIP**

#### **Ordinance #2 of 1998**

#### **AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE AND ZONING MAP TO ESTABLISH THORNAPPLE MANOR ADULT ASSISTED LIVING FACILITY PLANNED UNIT DEVELOPMENT**

#### **Cascade Charter Township Ordains:**

##### **Section I. An Amendment to The Cascade Charter Township Zoning Ordinance**

The application received from Ivan Marsman (DBA Thornapple Land Company) or its assigns (hereinafter referred to as the "Developer"), for Planned Unit Development designation for the proposed adult assisted living facility project (hereinafter referred to as the "Project") was recommended by the Cascade Charter Township Planning Commission for approval on January 20, 1998. The Project is recommended for rezoning from B2, General Business and O, Office to PUD, Planned Unit Development permitting an adult assisted living facility campus. This action requires an amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission's recommendation and the Cascade Charter Township Board of Trustees' action on February 25, 1998 thereby creating the Thornapple Manor Adult Assisted Living Facility Planned Unit Development Ordinance (hereinafter referred to as the "Ordinance").

##### **Section II. Legal Description**

The legal description of the Project is as follows: That part of the SW 1/4 of Section 8, T6N, R10W, Cascade Township, Kent County, Michigan, described as: Commencing at the South 1/4 corner of said Section; thence N 0 degrees 43' 11" West 500 feet along the West line of said SE 1/4 to the PLACE OF BEGINNING; thence North 0 degrees 43' 11" West 826.08 feet along said West line; thence south 89 degrees 34' 26" East 776.0 feet along the North line of said SW 1/4; thence South 0 degrees 40' 18" East 70.0 feet; thence South 58 degrees 25' 44" East 637.94 feet; thence South 0 degrees 37' 25" East 163.46 feet along the East line of said SW 1/4, SE 1/4; thence North 89 degrees 33' 15" West 438.77 feet; thence South 0 degrees 38' 51" East 232.94 feet; thence North 89 degrees 32' 03" West 330.00 feet; South 0 degrees 43' 11" East 141.99 feet; thence North 89 degrees 32' 03" West 273.00 feet to the Point of Beginning.

##### **Section III. General Provisions**

The following provisions shall hereby apply to the Project, in addition to those Provisions outlined in Chapter 16 of the Cascade Charter Township Zoning Ordinance (Ordinance No. 11 of 1988, as amended).

##### **Section IV. Purpose**

The Project occupies approximately 18.12 acres of land that is vacant. The Project is proposed to be developed into an adult assisted living facility, including buildings, parking and associated uses necessary to create an adult assisted living facility campus. The Planned Unit Development rezoning technique has been chosen by the Developer to provide flexibility in the associated uses, design of the facility and control over the Project's aesthetics and appearance. This development technique provides the Developer with the ability to develop the Project in a manner to meet market expectations where more traditional mechanisms may not.

The regulations contained herein are established to define the procedures necessary to insure high quality development in the Project. Additionally, they are designed to achieve integration of this development with adjacent land uses.

#### Section V. Approval Limitations

The provisions of the Ordinance are not intended as a substitute for the Cascade Charter Township Zoning Ordinance and General Development Plan, nor do they in any way relieve the Developer from obtaining all approvals and permits required by the Township, except as otherwise expressly provided herein. In the event that a development issue or site plan element is not addressed by this Ordinance, the specifications and requirements of the Cascade Charter Township Zoning Ordinance or any other Ordinance shall be enforced.

Except as otherwise provided herein, the Developer and his assigns must meet all applicable provisions and regulations of Cascade Charter Township, as well as federal and state law, and must obtain all necessary approvals from state and county governmental agencies that are required for operation or use.

This PUD approval is expressly contingent upon all conditions of approval herein remaining fully effective and valid. If any condition imposed herein is determined to be illegal or contrary to a law as a result of a successful legal challenge by the Developer or its assigns, or any other party, the Township reserves the right to review the entire Project under the PUD provisions of the Cascade Charter Township Zoning Ordinance, and further, to withdraw its approval of this PUD if it finds that, absent the effect of any condition imposed herein, the PUD no longer meets the standards for PUD approval contained in the Zoning Ordinance.

All conditions contained herein shall be binding upon the Developer, as well as its successors, tenants and assigns. The conditions may be modified or amended only pursuant to a formal amendment of the PUD approval and ordinance amendment.

This approval document shall be recorded with the Kent County Register of Deeds by the Developer prior to construction occurring on site and shall run with and bind the lands involved. Copies of this recorded document shall be supplied by the Developer to the Cascade Charter Township Clerk.

Failure to comply with the site plans or any condition of approval herein shall be deemed to be both a nuisance per se and a violation of the Cascade Charter Township Zoning Ordinance.

Prior to recording a copy of this document as specified in Section V(E) hereof, the Developer shall type the following statement onto the end of this document (or add an additional page to the document) as follows:

1. I, Ivan Marsman, (d/b/a Thornapple Land Company) have fully read the above PUD Ordinance amendment, understand its provisions and fully agree with all requirements and conditions contained in the same, on behalf of myself and my assigns, successors and

transferees in and to the property involved.

Wherever this document calls for the granting or recording of an easement or right-of-way for access or utility purposes, the Developer shall submit the same to the Township for its prior review and approval, which approval shall not be unreasonably withheld.

#### Section VI. Permitted Uses

The permitted uses for the Thornapple Manor PUD are as follows:

Adult assisted living buildings, as the market warrants, not to exceed 28,933 square feet in area each and in compliance with the setback requirements as set forth in this Ordinance.

Other buildings that are associated with and have a demonstrable relationship to the adult assisted living facility concept are allowed provided they comply with the setback requirements set forth in this Ordinance.

#### Section VII. Design Guidelines, Requirements and Limitations

The Project shall conform in as much as reasonably possible to the master development concept approved by the Township Board and signed by the Township Supervisor on February 25, 1998. The Developer may develop the Project in separate phases, and will be required to submit site plans for each phase, building or site improvement. The Planning Commission shall review and approve these plans prior to the construction of the intended phase to insure consistency with the master development concept.

All phases of the Project shall comply with the Permitted Uses listed in Section VI of this Ordinance. Site plan approval for each phase, building, or site improvement shall only be granted in accordance with this ordinance and Chapters 16 and 21 of the Zoning Ordinance, as may be amended.

#### Section VIII. Specific Development Regulations

The Project shall be developed in accordance with the site plans approved and signed by the township. The site plans shall indicate where each building will be located and provide appropriate measurements demonstrating compliance with this ordinance. Engineering plans and documents relating to utilities, topography, drainage and the survey of the Project shall be reviewed and approved by the Township Engineer. Approval of these documents shall be based upon their meeting recognized, acceptable engineering standards and practices. No alterations, expansions, or additions may take place to the Project without an amendment to this Ordinance, unless authorized otherwise herein.

#### Phase One

Two (2) buildings will be constructed for phase one. Neither building may exceed an area of 28,933 square feet.

#### Future Phases

As the market warrants, the Developer is entitled to seek site plan approval for additional buildings to increase the space available for adult assisted living and/or to further develop the adult assisted living campus.

Other uses, either within the existing buildings or new buildings, may be permitted if determined to be part of the adult assisted living concept and upon receiving site plan approval from the Planning Commission.

#### All Phases

Maximum building height – no building in the Project shall exceed a height of 25 feet as determined by the Zoning Ordinance.

Setback requirements – no building or parking area shall extend closer than 40 feet to the Project's northern property line, a common property line with the Caravelle Village neighborhood. Setbacks from the property line along the detention basin shall not be less than 15 feet. The setback from every other property line for parking, access drives or buildings shall not be less than 25 feet.

Parking – parking for the various buildings within the Project shall be required as set forth in the standards published by the Institute of Transportation Engineers' report, titled Parking Generation, as may be updated.

Lighting – site lighting shall be consistent with Chapter 19 of the Zoning Ordinance. Light fixtures shall not be more than 15 feet above the ground and shall be designed so as not to emit light from the Project onto adjacent residential properties or upward. The level of illumination shall be between 0.5 foot candles and five (5) foot candles, with one (1) foot candle be the desired level of illumination.

Landscaping – landscaping shall be provided within the phases consistent with the approved landscape plans for each building as the individual site plans are considered for approval. As deemed necessary for aesthetic purposes, additional landscaping may be required by the Planning Commission at the time of site plan review. A 20 foot wide bufferyard shall be installed along the Project's northern property line with evergreens being the preferred planting. The existing tee line along the northern property line shall not be disturbed.

Architecture – all buildings within the Project shall have a brick exterior and be constructed with an actual sloped or pitched roof on all sides of the building. Canopies on the proposed buildings shall not be lower than 12 feet in height at the lowest projection.

Dumpsters and Loading Docks – dumpsters and loading docks shall be screened with landscaping and/or a privacy fence so as to not be visible from adjacent properties.

Signs – the Project shall be permitted one (1) freestanding sign. The freestanding sign shall be a ground mounted development identification sign and shall not exceed 50 square feet in sign area and a height of five (5) feet. The sign is subject further to the provisions of the Cascade Charter Township Sign Ordinance (Ordinance #14 of 1997), as it may be amended. Directional signs of up to two square feet in sign area will be permitted.

Construction time limits – no building may be under construction for a period of time exceeding seven (7) months which will begin upon issuance of a building permit.

Fencing – if the Project is required to be fenced by the State of Michigan, the Developer shall place a gate along the fence to allow neighboring property owners walking access to the Project site.

## Section IX. Private Street Development and Emergency Vehicle Secondary Access Easement

A. Before any construction commences on the Project, the Developer shall provide the Township with copies of the recorded Charlevoix Court access easement from the Wal-Mart site and the recorded emergency vehicle secondary access easement from the commercial development south of the Project.

B. The secondary access for emergency vehicles shall be paved and it shall also be the responsibility of the Developer and its successors or the individual property owners to fully maintain and keep the easement in good repair at all times and to ensure that snow and ice are removed in a timely fashion during the winter.

C. The Developer shall submit a construction, maintenance and pavement plan consistent with Section 16.11(4)(f) of the Zoning Ordinance for Charlevoix Court.

1. The road shall not exceed an eight (8) percent grade. All grades within the Project shall be sufficient to allow safe ingress/egress of emergency vehicles.

D. In accordance with Section G of the "Cascade Charter Township Engineering Design requirements and Standards for Private Streets", the Developer of the Project shall provide a disclosure statement on all property deeds to all owners of the private street, all those who utilize the private street and all persons securing a building permit to construct a building or structure served by the private street, stating that all such persons shall use the private street at their own risk and the Township shall not be responsible for any aspect of the private street.

E. In accordance with Section I of the "Cascade Charter Township Engineering Design Requirements and Standards for Private Streets", it shall also be the responsibility of the Developer and its successors or the individual property owners to fully maintain and keep the private street in good repair at all times and to ensure that snow and ice are removed in a timely fashion during the winter.

F. No combustible materials may be erected on the Project until a temporary access road is constructed to within 100 feet of the furthest point of a structure. Such road shall be a minimum 18 feet wide and be able to support 20 tons on a single axle with dual wheels and standard road tires.

## Section X. Temporary Buildings

No structure of a temporary nature, trailer, tent or construction shack shall be constructed, placed or maintained within the Project except accessory to and during construction of building expansions or infrastructure improvements.

#### Section XI. Utilities

A. Municipal Sewer and Water Service – All buildings within the Project shall be served by municipal sewer and water prior to occupancy at the Developer's expense. No building permits will be issued for any construction within the Project until final approval of the public utility system is approved by the City of Grand Rapids and Cascade Township.

B. Stormwater Drainage – All proposed stormwater drainage facilities shall be reviewed and approved by the Township Engineer and the Kent County Drain Commissioner's Office prior to development of the Project. The Developer shall provide the Township Planning Department with copies of all correspondence and permits received from the Kent County Drain Commissioner and Michigan Department of Natural Resources or Department of Environmental Quality regarding stormwater disposal.

C. The Developer shall provide all necessary easements within the Project for telephone, electricity, gas and cable television to the appropriate utility provider without cost. Said easements shall be recorded with the Kent County Register of Deeds and provided to each utility provider for their records.

#### Section XII. Soil Erosion Control Requirements

Prior to each phase of construction, the Developer shall submit a soil erosion control plan showing all temporary and permanent soil erosion control measures to be taken before, during and after construction of each new building or building expansion within the Project. These plans shall be reviewed and approved by the Township Engineer prior to commencing any earth moving activities on the site for the proposed building or addition.

A soil erosion control permit must be obtained for each new building as a building permit is sought. A site plan indicating control measures to be put in place before and during construction and until the building site is stabilized with landscaping or other measures shall be submitted with the building permit application.

#### Section XIII. Performance Guarantee

To insure compliance with this Ordinance and any conditions herein, Cascade Township may require reasonable performance guarantees, as authorized under the Township Rural Zoning Enabling Act to insure completion of improvements such as, but not limited to, drainage, lighting, roads and utilities. The Township Board, Engineer or Planning Department may require such guarantee at any time they deem necessary to insure completion of the improvements.

#### Section XIV. Reimbursement of Review Fees

The Developer shall reimburse the Township for all fees associated with the review of the Project. These fees may include, but are not limited to, legal, engineering, publishing, and planning review fees.

#### Section XV. Consistency with Planned Unit Development (PUD) Standards

The rezoning to Planned Unit Development will result in a recognizable benefit to the ultimate users of the Project and to the community. Current and future residents will recognize the benefits of an adult assisted living facility within the community.

In relation to the underlying zoning (B2, General Business and O, Office), the Township finds the Project will not result in a material increase in the need for public services, facilities and utilities and will not place a material burden upon the subject property and the surrounding properties. The Project will be served by municipal water and sewer. The Project is not anticipated to cause undo impact to the stormwater drainage of the surrounding area. All stormwater plans have been approved by the Township Engineer and the appropriate County and State agencies.

The Project has been determined by the Township to be compatible with the General Development plan of the Township and with the spirit and intent of the Planned Unit Development Chapter of the Zoning Ordinance.

The Township finds the Project to have at least as much green and usable open space as would be required by the Township Zoning Ordinance.

Finally, the Township recognizes the Project will be under single ownership or control. The Township recognizes that the Developer or its assigns will retain ownership and control of the Premises until a majority of the adult assisted living campus is developed.

#### Section XVI. Effective Date

This Ordinance shall become effective seven days after the publication of the Ordinance, or a summary thereof, in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

The foregoing Ordinance was offered by Board Member Kleinheksel, supported by Board Member Johnson. The roll call vote being as follows:

YEAS: Carpenter, Goodyke, Johnson, Julien, Kleinheksel

NAYS: None

ABSTAIN: None

ABSENT: Timmons, Van Strien

Marlene K. Kleinheksel

Cascade Charter Township Clerk

#### CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 25<sup>th</sup> day of February, 1998.

Marlene K. Kleinheksel

Cascade Charter Township Clerk

## PUD Ordinance - Thornapple Manor #15 of 2002

CASCADE CHARTER TOWNSHIP

Ordinance #15 of 2002

AN ORDINANCE TO AMEND ORDINANCE #2 OF 1998, **THE THORNAPPLE MANOR ADULT ASSISTED LIVING FACILITY** PLANNED UNIT DEVELOPMENT PROJECT

CASCADE CHARTER TOWNSHIP ORDAINS:

Section 1. Amendments to the Thornapple Manor PUD Ordinance

Section VI of the Ordinance shall be amended in its entirety to read as follows:

The permitted uses in Area 1 of the PUD, generally described as the area North of Charlevoix Ct. shall be as follows:

Adult assisted living buildings, as the market warrants, not to exceed 28,933 square feet in area each in compliance with the setback requirements as set forth in the PUD Ordinance.

Other buildings that are associated with and have a demonstrable relationship to the adult assisted living facility concept provided they comply with the setback requirements as set forth in the PUD Ordinance.

The permitted uses in Area 2 of the PUD, generally described as the area south of Charlevoix Ct. shall be as follows:

The uses allowed in Area 1 of the PUD

Office uses as allowed in the Office "O" zoning district per the current Zoning Ordinance.

Section VIII of the Ordinance shall be amended to **delete the Phase One and Future Phases** paragraphs and replace it with the following:

Area 1 (see map attached to original PUD Ordinance)

The developer is required to construct at least Two (2) Assisted living buildings. Neither building may exceed 28,933 square feet.

Area 2 (see map attached to original PUD Ordinance)

The developer shall be permitted to seek site plan approval for additional buildings to increase the space available for adult assisted living, or any other general office use allowed by the Township Zoning Ordinance.

Section 2. Effective Date

This PUD Ordinance amendment shall become effective upon publication in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

Section 3. Effect

The Cascade Charter Township Zoning Ordinance, as amended, and the remainder of Ordinance #2 of 1998, except as otherwise expressly amended herein, shall remain in full force and effect.

The foregoing Ordinance amendment was offered by Board Member Goodyke, supported by Board Member Jones. The roll call vote being as follows:

YEAS: Goodyke, Carpenter, Julien, Parrish, Jones

NAYS: None

ABSENT: Kleinheksel, Timmons

Jeanie Neve

Cascade Charter Township Deputy Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a regular meeting of the Cascade Charter Township Board on the 9<sup>th</sup> day of October 2002.

Jeanie Neve

Cascade Charter Township Deputy Clerk

## PUD Ordinance - Thornapple Manor #2 of 2004

CASCADE CHARTER TOWNSHIP

Ordinance #2 of 2004

AN ORDINANCE TO AMEND ORDINANCE #2 OF 1998, THE Thornapple Manor PLANNED UNIT DEVELOPMENT PROJECT

CASCADE CHARTER TOWNSHIP ORDAINS:

### Section 1. Amendment to the Thornapple Manor PUD Ordinance

The following described property shall be deleted from the Thornapple Manor Planned Unit Development.

Part of the SE 1/4 of Section 8, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan described as: COMMENCING at the S 1/4 corner of said Section 8; thence N 00°43'11" W, 500.00 feet along the North and South 1/4 line to the POINT OF BEGINNING of this description; thence continuing N 00°43'11" W, 206.63 feet along the North and South 1/4 line to the South line of Charlevoix Woods Court (66 wide private); thence 139.06 feet on a 233.00 foot radius curve to left, the long chord which bears N 64°24'45" E, 137.00 feet along said South line of Charlevoix Woods Court; thence continuing along said South line of Charlevoix Woods Court N 47°18'57" E, 196.63 feet; thence 28.52 feet on a 167.00 foot radius curve to the right, the long chord bears N 52°12'31" E, 28.48 feet; thence S 00°29'57" W, 418.87 feet; thence N 89°32'03" W 284.38 feet to the POINT OF BEGINNING. This parcel contains 1.95 acres more or less. Subject to easements, restrictions and rights-of-way of record.

### Section 2. Effective Date

This PUD Ordinance amendment shall become effective upon publication in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

### Section 3. Effect

The Cascade Charter Township Zoning Ordinance, as amended, and the remainder of Ordinance #2 of 1998, except as otherwise expressly amended herein, shall remain in full force and effect.

The foregoing Ordinance amendment was offered by Board Member Timmons, supported by Board Member Parrish. The roll call vote being as follows:

YEAS: Carpenter, Googyke, Julien, Kleinheksel, Parrish, Timmons

NAYS: None

ABSENT: Jones

ORDINANCE DECLARED ADOPTED.

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Marlene Kleinheksel  
Cascade Charter Township Clerk

### CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a regular meeting of the Cascade Charter Township Board on the 14th day of January, 2004.

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Marlene Kleinheksel  
Cascade Charter Township Clerk

## MEMORANDUM

**Meeting Date:** March 20, 2023  
**To:** Cascade Charter Township Planning Commission  
**From:** Brian Hilbrands, Planning Director  
**Subject:** Proposed Amendments to Master Plan

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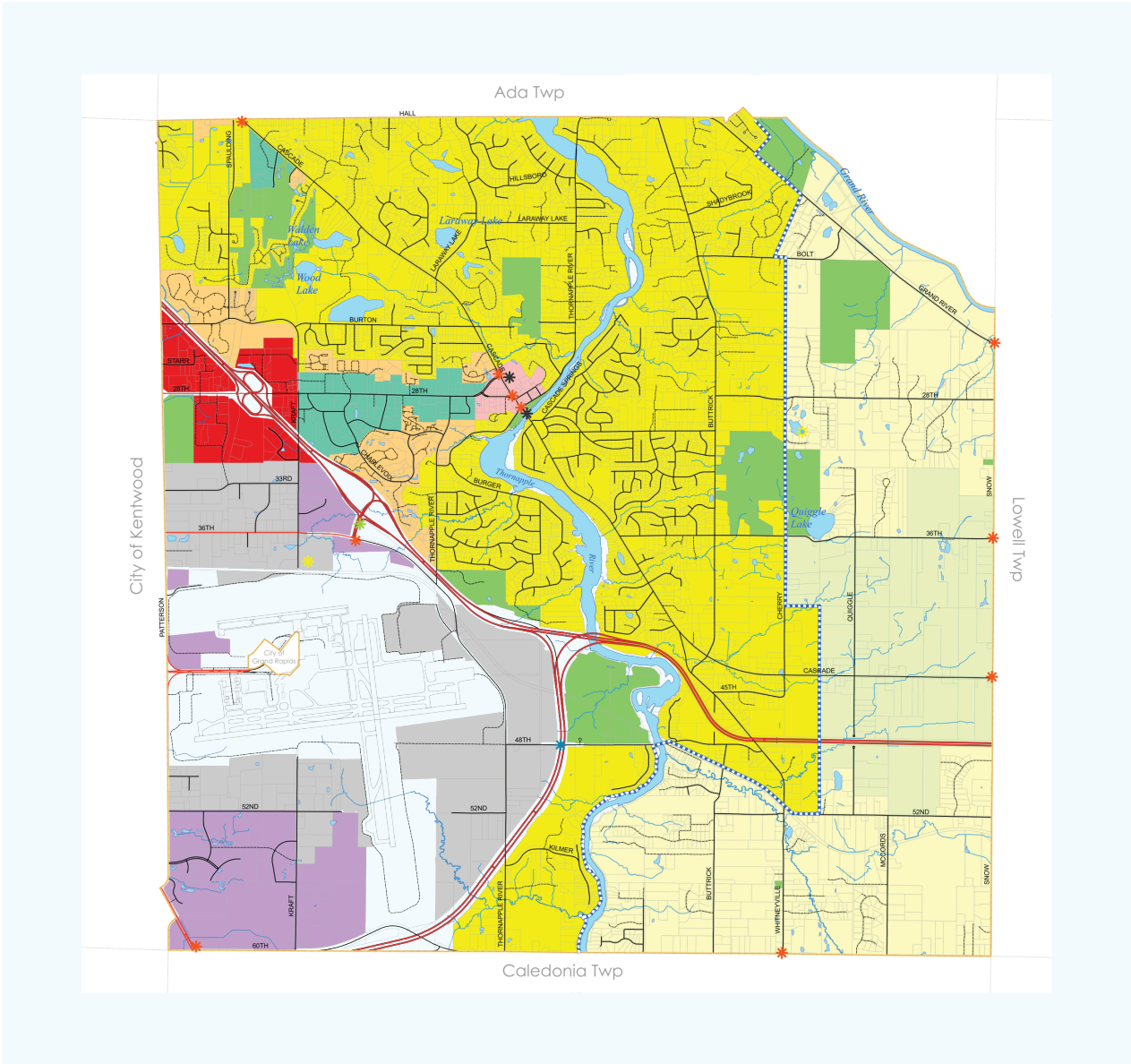
Included in your packet are drawings showing the proposed changes to the Future Land Use map. These changes are in response to the direction given by the Planning Commission and Township Board. The changes follow the boundary of the majority of the current ARC zoned properties located between the airport and M-6, and would change the Future Land Use designation from Industrial to Rural Residential. The Rural Residential designation is described as follows:

The rural residential land use designation is intended to address the need for single-family development in rural and low-density patterns and provide opportunity for agricultural activity.

If the Planning Commission approves of the proposed amendments then you may forward them to the Township Board for review and comment. The Township Board then has the ability to approve the distribution of the proposed amendments, which would then begin the 42-day comment period.

**Attachments:** Current Future Land Use Map  
Proposed Amendments to Future Land Use Map  
Description of Rural Residential and Industrial designations

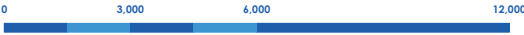
# Cascade Charter Township Future Land Use



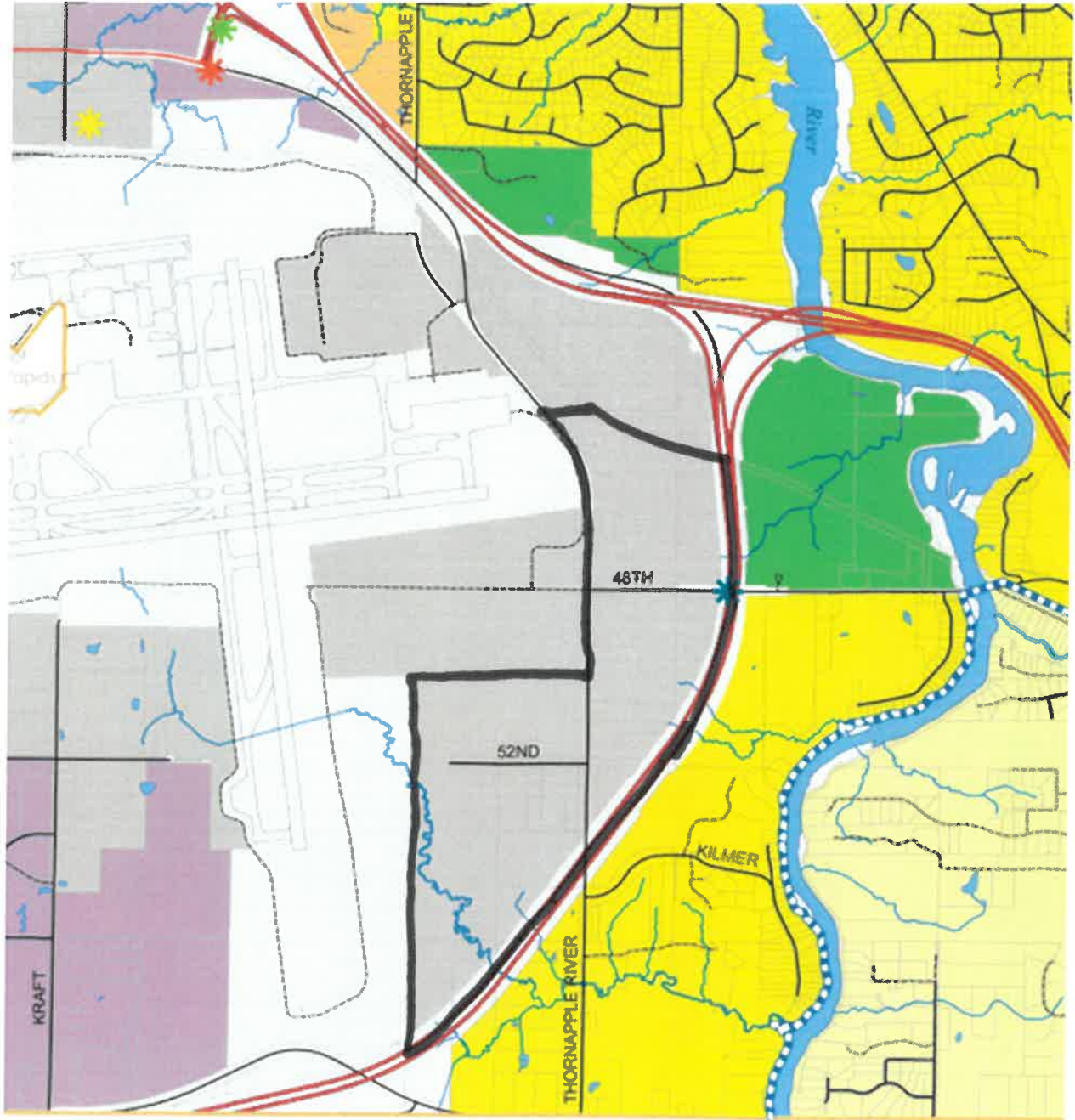
## Future Land Use Key

- GATEWAY FEATURE
- FARMLAND PRESERVATION
- COMMUNITY MIXED USE
- EXPRESSWAY INTERCHANGE
- RURAL RESIDENTIAL
- HIGHWAY COMMERCIAL
- PARK 'N' RIDE
- SUBURBAN RESIDENTIAL
- TRANSITIONAL MIXED USE
- RAIL STATION
- COMMUNITY RESIDENTIAL
- INDUSTRIAL
- REDEVELOPMENT READY
- CASCADE VILLAGE
- COMMUNITY FACILITY / GOLF COURSE
- UTILITY SERVICE AREA

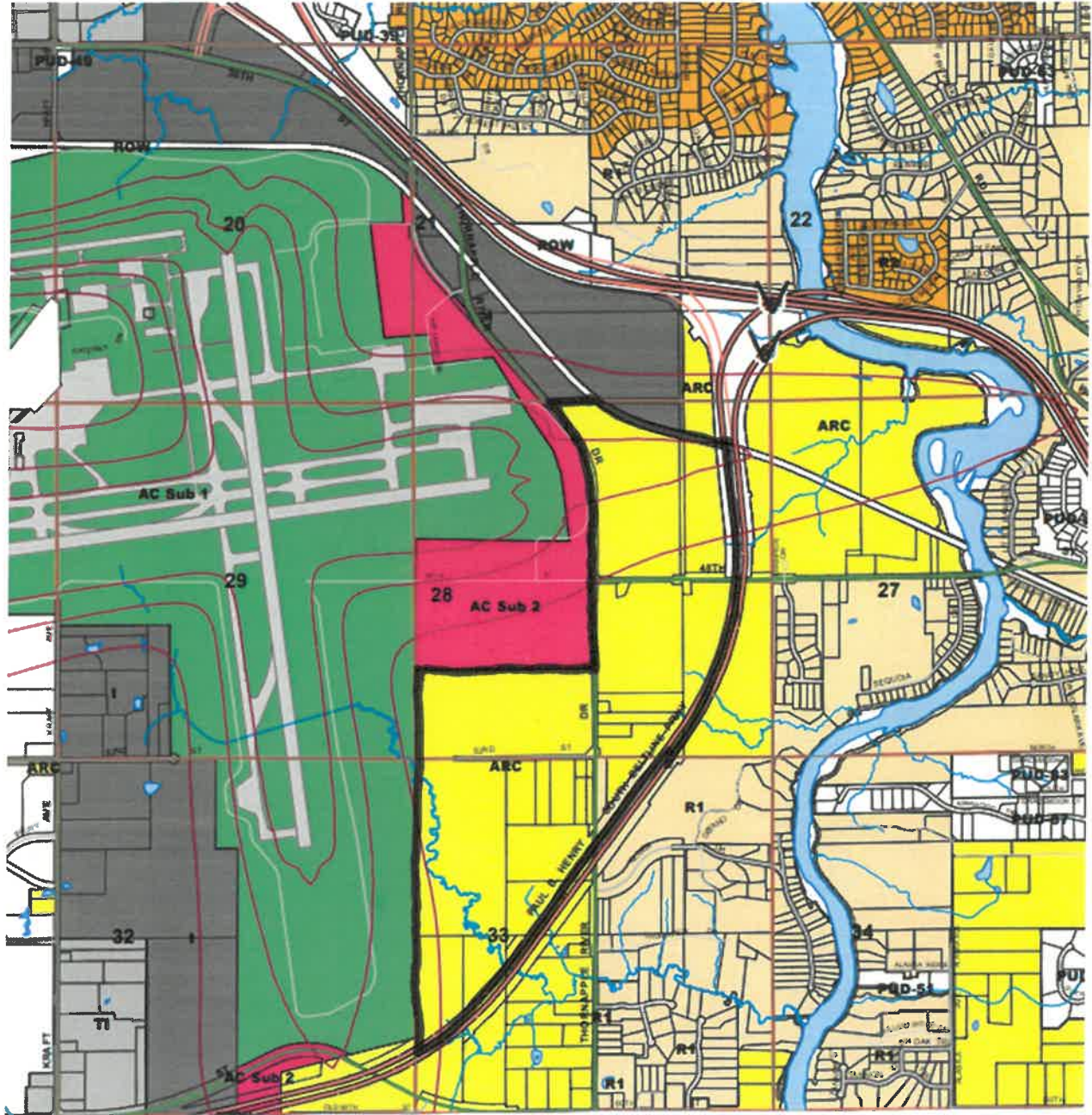
1 IN = 1,500 FEET



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Proposed area of Future Land Use map to be redesignated from Industrial to Rural Residential



Proposed area of Future Land Use map to be redesignated from Industrial to Rural Residential superimposed on current zoning map

## Rural Residential

The rural residential land use designation is intended to address the need for single-family development in rural and low-density patterns and provide opportunity for agricultural activity.

### **Desired Uses**

Single-family residential dwellings, farms and agricultural operations, landscape operations, public parks, natural land conservancies, subdivisions and site condominiums as special land use.

### **Corresponding Zoning Districts**

Agricultural Rural Conservation.

### **Residential Density**

One dwelling unit per 2.3 acres or more; conservation clusters of 0.4 units per acre.

### **Public Water & Sanitary Sewer**

None.

### **Features**

Buffering, preservation of open space, deep setbacks, preservation of natural features.



## Industrial

The industrial land use designation is intended to provide employment for area residents, manufacture goods and provide services to meet the needs of the larger West Michigan Region while strategically leveraging locations nearby the airport.

### Desired Uses

Warehousing, manufacturing and assembly, mini-storage, contractor's offices and yards, fulfillment and shipping facilities, research and development.

### Corresponding Zoning Districts

Industrial, Airport Commerce Sub Zone 2.

### Residential Density

N/A.

### Public Water & Sanitary Sewer

Yes.

### Features

Arterial connections, direct access to airport property, crosswalk demarcations, landscaping between incompatible uses, street trees, street lights, served by transit.