

AGENDA
Cascade Charter Township Planning Commission
Monday, May 15, 2023
7:00 pm
2870 Jacksmith Ave

Public may access the meeting via video conference software Zoom
<https://us02web.zoom.us/j/85807187174>

Meeting ID: 879 8058 1366
By Phone: +1 929 205 6099

- ARTICLE 1. Call the meeting to order
Record the attendance**
- ARTICLE 2. Pledge of Allegiance to the Flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Disclose any Conflict of Interest**
- ARTICLE 5. Approve the Minutes of the May 1, 2023 Regular Meeting and Closed Session**
- ARTICLE 6. Acknowledge visitors and those wishing to speak.
(Comments are limited to five minutes per speaker)**
- ARTICLE 7. Case #22-3739/Northpointe Bank
Property Address: 5303 28th St Ct
Public Hearing
Requested Action: Preliminary Plan Review for an amendment to the PUD Ordinance to accommodate an addition to the existing office building.**
- ARTICLE 8. Case #23-3756/Fleet Quest Logistics, LLC
Property Address: 5610 & 5620 Kraft Ave
Public Hearing
Requested Action: Type II Special Use Permit to allow a trucking terminal.**
- ARTICLE 9. Case #23-3765/Redwater Group
Property Address: 1600 Galbraith Ave
Requested Action: Basic Plan Review for an amendment to the PUD Ordinance to allow for a cigar bar as a permitted use.**
- ARTICLE 10. Discussion of Proposed Amendments to Zoning Ordinance**
- ARTICLE 11. Old Business**
- ARTICLE 12. Any Other Business**
- ARTICLE 13. Acknowledge visitors and those wishing to speak.
(Comments are limited to five minutes per speaker)**
- ARTICLE 14. Adjournment**

Meeting format

1. **Staff Presentation** *Staff report and recommendation*
2. **Project presentation-** *Applicant presentation and explanation of project*
 - a. **PUBLIC HEARINGS**
 - i. *Open Public Hearing. Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants*
 - ii. *Close public hearing*
3. **Commission discussion –** *May ask for clarification from applicant, staff or public*
4. **Commission decision - Options**
 - a. *Table the decision*
 - b. *Deny*
 - c. *Approve*
 - d. *Approve with conditions*
 - e. *Recommendation to Township Board*

Minutes

Cascade Charter Township
Planning Commission
Monday, May 1, 2023
7:00 pm
2870 Jacksmith Ave SE

- ARTICLE 1.** Chair Noordyke called the meeting to order at 7:01 P.M.
Members Present: Noordhoek, Rissi, Moxley, Noordyke, Richardson, Engel, Bruneau, Rowland
Members Absent: None
Others Present: Planning Director Brian Hilbrands, Zoning Administrator Madison Smith-Jacoby, and those listed on the sign-in sheet
- ARTICLE 2. Pledge of Allegiance**
- ARTICLE 3. Approve the current Agenda**
Motion was made by Member Rissi to approve the current agenda. Supported by Member Engel. Motion carried 8 to 0.
- ARTICLE 4. Disclose any conflict of interest**
There were no conflicts of interest disclosed.
- ARTICLE 5. Approve the Minutes of the March 20, 2023 Meeting**
Member Engel noticed an error in paragraph 6 of Article 7 the last name “Woods” should be capitalized. He also suggested rewriting paragraph 9 in Article 8 to make more grammatical sense.
Motion was made by Member Engel to approve the March 20, 2023 meeting minutes with the proposed changes. Supported by Member Moxley. Motion carried 8 to 0.
- ARTICLE 6. Acknowledge visitors and those wishing to speak**
There was no one that wished to speak.
- ARTICLE 7. Case #23-3758/Scott Geerlings**
Property Address: 5784 Kraft Ave
Requested Action: Site Plan Review for an addition to an existing parking lot.
Planning Director Hilbrands presented the case and stated the applicant previously had site plan approval for a 100,000sqft building addition as well as 67 parking spaces. As the project nears completion and a tenant has been identified, the applicant has determined there is a need for additional parking spaces. The parking lot expansion will create 132 spaces on the southern end of the site. In order to maintain the 20ft buffer yard, the applicant is proposing to move the property line 20ft to the south which will

need to be approved before construction begins. He also noted that landscaping will need to be added along the south property line.

The applicant submitted revised plans eliminating the added curb cut which makes the plan meet township standards regarding the number of allowed driveways.

Planning Director Hilbrands also added that the storm water detention basin to the south will be enlarged to accommodate the increased impervious surface. Fire officials and the township engineer have approved this plan pending the submittal and recording of the revised storm water maintenance plan.

Staff recommended approval of the parking lot expansion with the 6 conditions listed in the staff report.

Jack Barr, the Civil Engineer with Nederveld, represented the applicants at the meeting. He stated at the time of site plan approval, there were no tenants occupying the building. Since then, they have signed an agreement with an HVAC company and they need additional parking for their employees. Barr indicated that a majority of the surface is used as loading docks with some convenience parking for staff. In order to separate truck traffic and employee parking, an additional parking lot was proposed. He added there is a 3ft grade difference between the two parking lots. The applicant also owns the property to the south, making the additional 20ft buffer yard possible.

Member Rissi asked how many tenants will be in the building. Barr clarified that originally, there was a tire distributor in the building but now it will only have the HVAC company occupying the space.

Member Rowland asked if there will be an increase in semi-truck traffic on Kraft Ave and Midwest Drive. Barr said there will be a definite increase in traffic since they have 10 loading docks. When Midwest Drive was created, it was built to the county's industrial road standards.

Motion was made by Member Rissi to approve the parking lot addition with the conditions listed in the staff report. Supported by Member Engel. Motion carried 8 to 0.

ARTICLE 8. Review of Draft Amendment to the ARC Zoning District

Motion was made by Member Rowland to enter closed session pursuant to MCL 15.268 (h) to consider material exempt from discussion or disclosure by state or federal statute. Supported by Member Engel. Motion carried unanimously by roll call vote. Planning Commission entered Closed Session at 7:23 PM.

Motion was made by Member Rowland to reconvene Open Session. Supported by Member Engel. Motion carried 8 to 0. Planning Commission resumed Open Session at 8:12 PM.

The commission directed Staff to follow up with legal counsel regarding the draft amendments and to continue the discussion at a future meeting.

ARTICLE 9. Schedule Public Hearing for Master Plan Amendment

Planning Director Hilbrands said the Master Plan Amendment went to the Township Board and was approved for distribution for the 42-day public review period. Once the review period is done, the Planning Commission will hold a public hearing where the proposed amendment can be adopted and sent to the Board for final approval.

Motion was made by Member Noordhoek to hold the public hearing for the Master Plan Amendment on June 5, 2023. Supported by Member Rissi. Motion carried 8 to 0.

ARTICLE 10. GVMC Airport Access Study

Planning Director Hilbrands provided members with the final results from the Airport Access Study.

Member Bruneau expressed confusion with the document and stated it makes little sense in multiple areas. One of the points brought up discussed how a map showed where traffic primarily comes from, which was to the west and south of the airport, but the conclusion was to create a second entrance from the north and east. He continued and stated that as an engineer and data scientist, the set of data is excellent but has no correlation to the final conclusions.

Member Noordhoek said that the 36th Street access was the only conclusion that the Township Board was in full support of and made the most logical sense.

Member Richardson pointed out that there's an off ramp at 28th Street and another one at Broadmoor both within 3 miles of the entrance. He also mentioned there doesn't appear to be a traffic problem in that area. Member Bruneau said there will be an increase in traffic with the entrance modifications the airport will be constructing.

Member Engel said he was in favor of the 36th Street off ramp since it takes the pressure off of the local roads. This would make navigation to the airport easier.

ARTICLE 11. Old Business

There was no old business to discuss.

ARTICLE 12. Any other business

Planning Director Hilbrands and the Zoning Administrator have been working on a comprehensive review of the zoning ordinance for possible amendments to be made. He directed any of the members to reach out with any potential changes.

Member Bruneau said he did not feel as though accessory building applicants are treated equally and wondered if a solution could be made.

Member Rissi felt as though some private streets are too narrow and wanted road standards more accommodating to larger vehicles.

Member Moxley asked if there have been any changes on a property off of Grand River and said it looks like a junk yard. The property owner will be contacted by the Zoning Administrator.

Member Noordhoek said that the Township Manager has submitted his resignation and his last day will be May 22nd.

Member Noordhoek also mentioned that Windy Korstange, a previous member of the Planning Commission, is Cascade Township's new Treasurer and therefore can no longer serve on the Planning Commission.

ARTICLE 13. Acknowledge visitors and those wishing to speak

There was no one that wished to speak.

ARTICLE 14. Adjournment

Motion was made by Member Engel to adjourn the meeting. Supported by Member Rissi. Motion carried 8 to 0. The meeting was adjourned at 8:43 P.M.

Respectfully submitted,

Joe Engel, Secretary

STAFF REPORT

STAFF REPORT: Case #22-3739/Northpointe Bank
REPORT DATE: May 8, 2023
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: May 15, 2023
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT:
Progressive AE, Ken Brandsen
1811 4 Mile Rd
Grand Rapids, MI 49525

STATUS
OF APPLICANT: Engineer for Owner

REQUESTED ACTION: Preliminary Plan Review for an amendment to the PUD Ordinance to accommodate an addition to the existing office building.

EXISTING ZONING OF
SUBJECT PARCEL(S): PUD 25

PROPERTY ADDRESS: 5303 28th Street Ct

GENERAL LOCATION: West of Meijer at the end of 28th Street Ct

PARCEL SIZE: Approximately 8.5 acres

EXISTING LAND USE
ON THE PROPERTY: Office – Northpointe Bank

ADJACENT AREA
LAND USES: N – YMCA
W – Consumers Energy Easement, Highridge Condos
E – Holiday Inn Hotel
S – I-96 ROW

ZONING ON
ADJOINING PARCELS: N – PUD 81
W – R1
E – ES (Expressway Service)
S – I-96 ROW

STAFF COMMENTS:

- 1. The applicant is requesting Preliminary Plan Review to amend the existing Planned Unit Development to allow for two additions to the existing office building. The additions

would total approximately 6,438 square feet, bringing the total building size to approximately 97,495 square feet.

2. This was brought in front of the Planning Commission for a Basic Plan Review at the September 14, 2022 meeting. The applicant has provided the required information to proceed to the preliminary plan review.
3. The site was rezoned to PUD in 1988. It was originally rezoned to allow for a multi-tenant retail center. It appears that support for the retail center declined, and in 1993 the PUD was amended to allow for additional uses, including executive, administrative, and business offices.
4. The PUD ordinance limits the size of the building to 90,000 square feet. Since the additions would be exceeding this size, an amendment to the PUD is required.
5. It appears that the size limit was simply what was being requested at the time for the original retail center. With the use changing from a retail center to an office which would be less intense of a use, I do not have a concern with the slight increase in building size.
6. The building would still meet the setback and height requirements of the PUD ordinance.
7. The Township Engineer has reviewed and approved the plans, and their comments are included in your packet. A stormwater maintenance agreement will be required.
8. The Fire Department has reviewed the plans and did not have any concerns.
9. A photometric plan has been submitted that meets Township regulations.
10. If Preliminary Plan Approval is given, then a PUD amendment will be written and brought back before the Planning Commission for a recommendation to the Township Board.

11. Standards

Section 16.03 of the Zoning Ordinance requires that a Planned Unit Development must demonstrate that:

Standard	Staff Comment
Granting of the Planned Unit Development rezoning will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved.	The property is already zoned PUD.
In relation to underlying zoning, the proposed type and density of use shall not	The proposed use would not result in an increase in the need of public services.

result in a material increase in the need for public services, facilities and utilities, and shall not place a material burden upon the subject or surrounding land or property owners and occupants or the natural environment.	
The proposed development shall be compatible with the General Development Plan of the Township and shall be consistent with the intent and spirit of this Chapter.	The proposed use is consistent with what has been permitted on the site.
In relation to the underlying zoning, the proposed development shall not result in an unreasonable negative economic impact upon surrounding properties.	The proposed use should not result in an unreasonable economic impact.
The proposed development shall contain at least as much green area and usable open space as would otherwise be required by this Ordinance with respect to the most dominant use in the development.	Met
The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. This provision shall not prohibit a transfer of ownership or control, upon due notice to the Planning Director of the Township.	Met

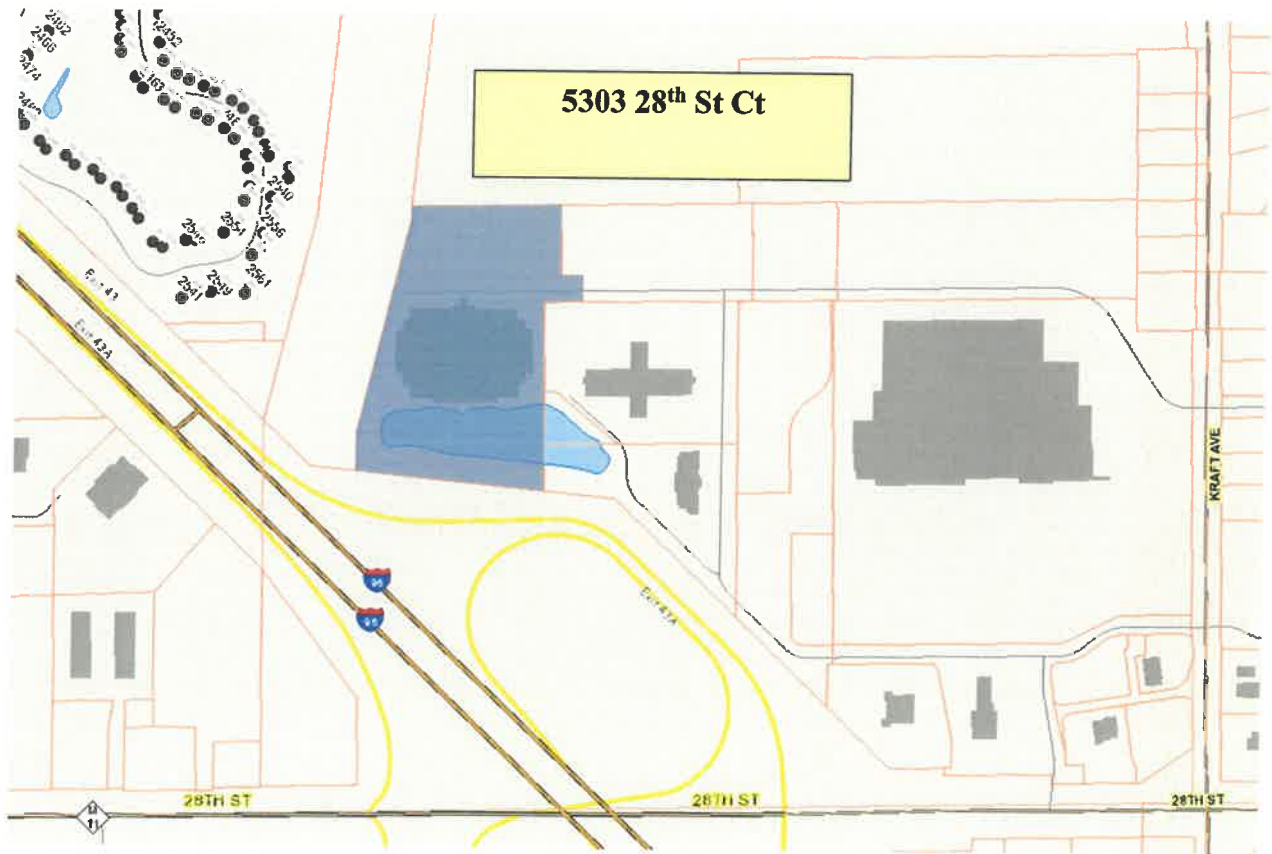
Staff Recommendation

Staff recommends approval of the preliminary plan with the following conditions:

1. The applicant complies with the Township Engineer’s letter dated November 18, 2022, and all necessary permits are obtained before construction begins.
2. Record the stormwater maintenance agreement.

ATTACHMENTS:

Application
Site Plan
Township Engineer Letter
PUD Ordinance – Home Design Center, #6 of 1988 and #3 of 1993





CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids,
Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Progressive AE - Ken Brandson
Address: 1811 4 Mile Rd NE
City & Zip Code: Grand Rapids, MI 49525
Telephone: 616-447-9329
Email Address: brandsonk@progressiveae.com

OWNER: * (If different from Applicant)
Name: Northpointe Bank - Ashley Moser
Address: 5303 28th St. CT SE
City & Zip Code: Grand Rapids, MI 49512
Telephone: 616-974-8427
Email Address: ashley.moser@northpointe.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | | | |
|-------------------------------------|-----------------------------|--------------------------|---------------------------------|
| <input type="checkbox"/> | Administrative Appeal | <input type="checkbox"/> | Administrative Site Plan Review |
| <input type="checkbox"/> | Deferred Parking | <input type="checkbox"/> | P.U.D. - Rezoning * |
| <input checked="" type="checkbox"/> | P.U.D. - Site Condominium * | <input type="checkbox"/> | Rezoning |
| <input type="checkbox"/> | Site Plan Review * | <input type="checkbox"/> | Sign Variance Subdivision |
| <input type="checkbox"/> | Special Use Permit | <input type="checkbox"/> | Plat Review * |
| <input type="checkbox"/> | Zoning Variance | <input type="checkbox"/> | Other: _____ * |

** Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:**

In support of an office consolidation, the existing
91,057 SF facility will expand by 6,438 SF
totaling 97,495 SF.

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY**:

see attached ALTA survey
dated 9/23/19.

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 - 07-451-013

ADDRESS OF PROPERTY: 5203 28th St. Ct SE, Grand Rapids, MI 49512

PRESENT USE OF THE PROPERTY: Business

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

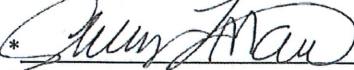
SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Ashley L. Moser

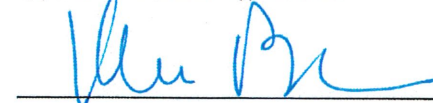
Owner – Print or Type Name
(*If different from Applicant)



Owner's Signature & Date
(*If different from Applicant)

Kendall Brandsen

Applicant – Print or Type Name



Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

NORTHPOINTE BANK

NPB OPS CENTER - PHASE 2

5303 28TH ST. CT SE
GRAND RAPIDS, MI, 49512

DRAWING INDEX - PHASE 2

GENERAL	
TD001-B	TITLE DRAWING
G001-B	PROJECT INFORMATION AND TYPICAL DETAILS
G101-B	CODE COMPLIANCE PLAN
CIVIL	
C100-B	SITE CONTEXT PLAN
C101-B	SITE DEMOLITION PLAN
C201-B	SITE LAYOUT PLAN
C301-B	SITE GRADING PLAN
STRUCTURAL	
S001-B	GENERAL NOTES - PHASE II
S002-B	DESIGN CRITERIA AND SCHEDULES - PHASE II
S003-B	SPECIAL INSPECTIONS - PHASE II
S101-B	FOUNDATION PLANS - PHASE II
S102-B	FRAMING PLANS - PHASE II
S201-B	ELEVATIONS
S301-B	TYPICAL CONCRETE DETAILS - PHASE II
S501-B	TYPICAL STEEL DETAILS - PHASE II
ARCHITECTURAL	
AD101-B	DEMOLITION PLAN
AD102-B	REFLECTED CEILING DEMOLITION PLAN
A101-B	OVERALL FLOOR PLAN
A102-B	ENLARGED PLANS - PART SE & SW
A103-B	ROOF PLAN
A111-B	OVERALL REFLECTED CEILING PLAN
A112-B	ENLARGED REFLECTED CEILING PLAN - PART A & B
A121-B	OVERALL FINISH PLAN - PART SE & SW
A122-B	ENLARGED FINISH PLAN - PART SE & SW
A201-B	EXTERIOR ELEVATIONS
A301-B	BUILDING SECTIONS
A302-B	WALL SECTIONS
A303-B	WALL SECTIONS
A311-B	EXTERIOR & INTERIOR DETAILS
A601-B	DOOR AND WINDOW SCHEDULE, ELEVATIONS, AND DETAILS Copy 1

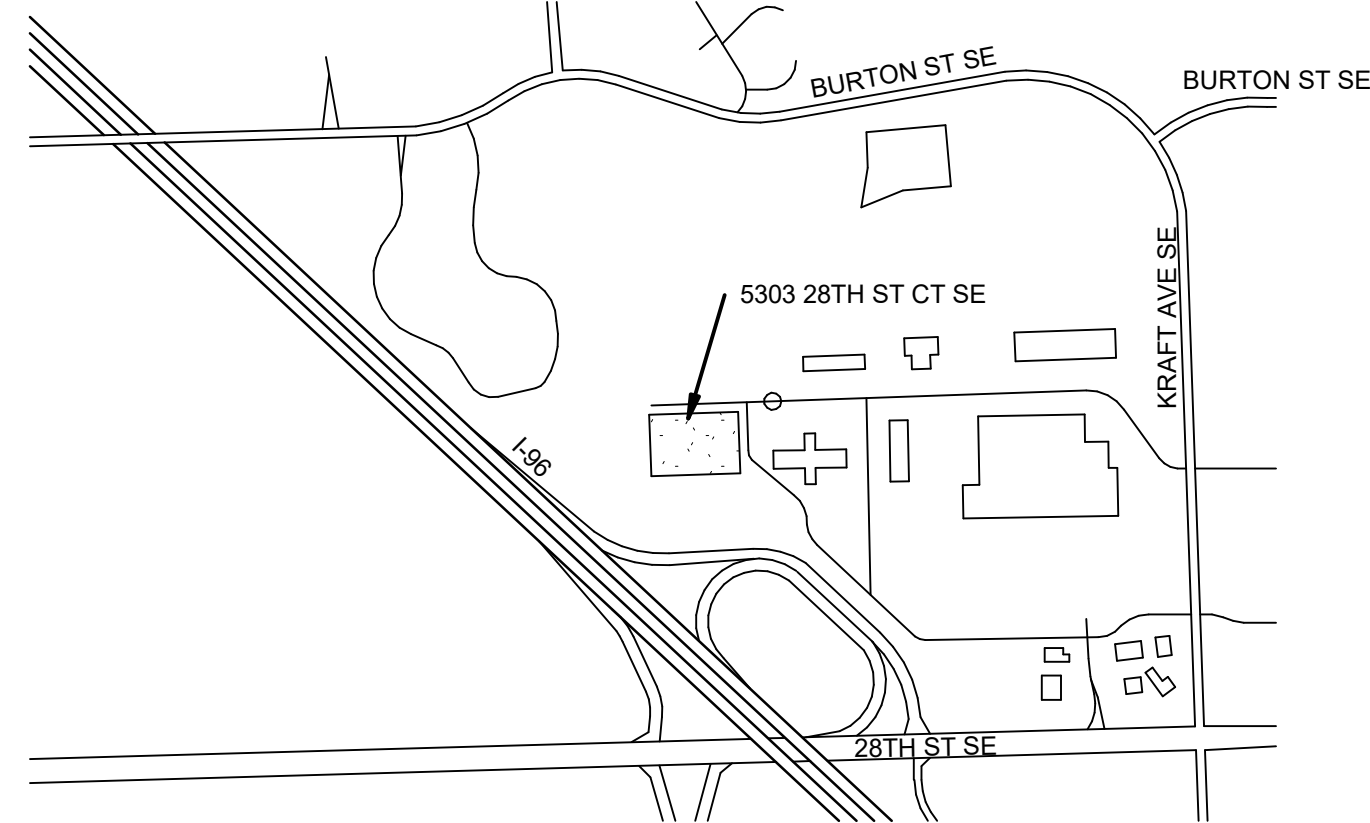


PROJECT NARRATIVE

PHASE I: OFFICE ADDITION IN THE NORTHEAST CORNER OF THE EXISTING BUILDING TO ACCOMMODATE EXECUTIVE OFFICE EXPANSION ALONG WITH A RENOVATION OF THE INTERIOR SPACE.

PHASE II: ADDITION OF THE SOUTHEAST AND SOUTH WEST CORNERS OF THE BUILDING TO ACCOMMODATE AN OFFICE EXPANSION ALONG WITH A RENOVATION OF THE INTERIOR SPACE.

PROJECT LOCATION



8/26/2022 11:52:27 AM Autodesk AutoCAD 2021 Northpointe Bank Operations Center 03/01/2021 NPB OPS CENTER.dwg

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progressive ae

NORTHPOINTE BANK
NPB OPS CENTER - PHASE 2

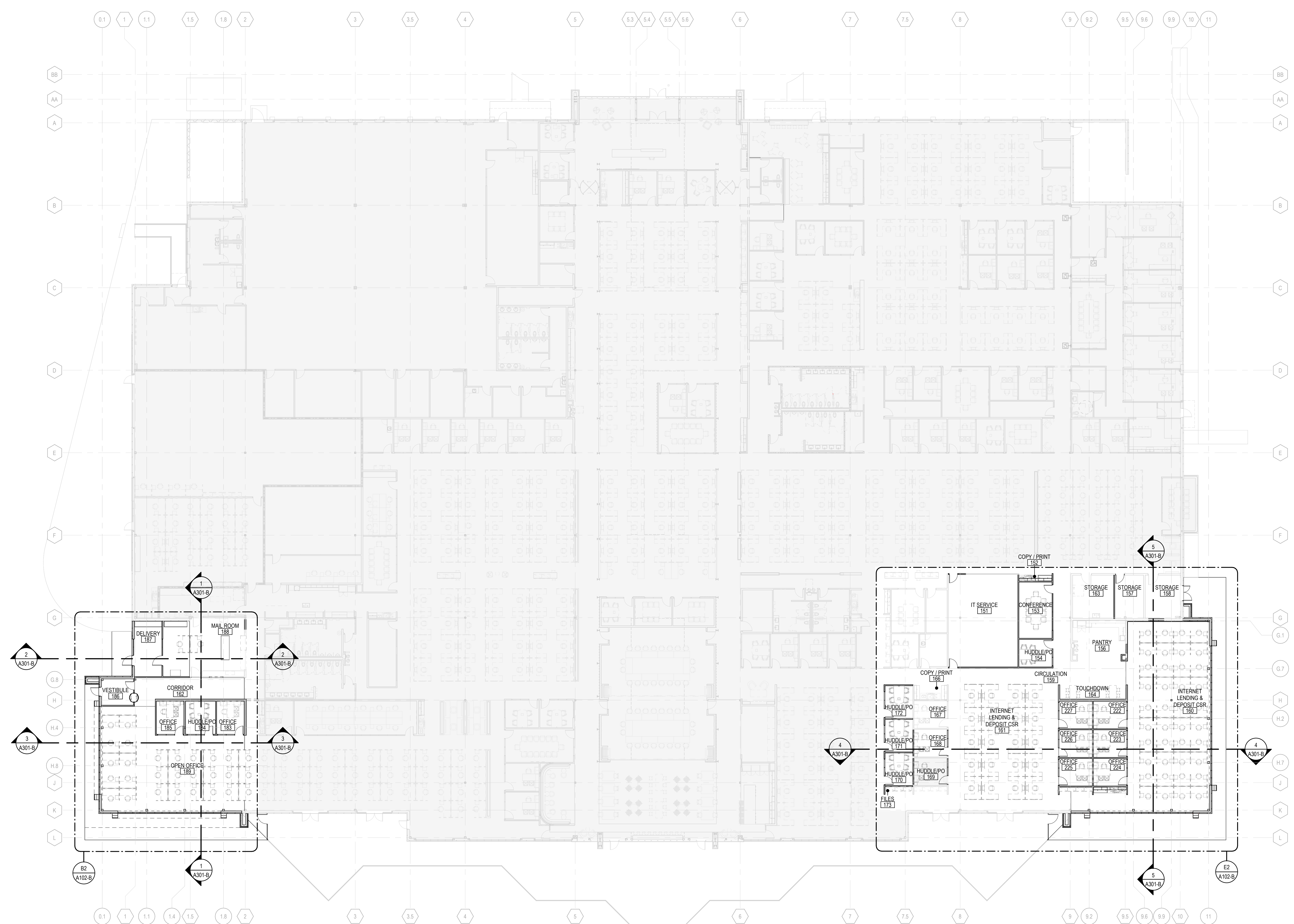
NOT FOR
CONSTRUCTION

ISSUANCE
9/29/2022 PUD AMENDMENT
SUBMITTAL

PROJECT NUMBER
33810001
PROJECT MANAGER
J. HORMAN
PROFESSIONAL
R. D'ALESSANDRO
DRAWN BY
L. MIAASHER, J. STONE
CHECKED BY
R. D'ALESSANDRO

TITLE DRAWING
TD001-B

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OVERALL FLOOR PLAN
1/16" = 1'-0"

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- FINISH FLOOR ELEVATION = 100'-0". REFER TO CIVIL DRAWINGS FOR SITE DATUM ELEVATION EQUIVALENT.
- EXISTING BUILDING CONDITIONS BASED ON OWNER PROVIDED DRAWINGS AND LIMITED FIELD VERIFICATION. VERIFY EXACT CONDITIONS IN FIELD. SHOULD DISCREPANCIES OCCUR, NOTIFY ARCHITECT FOR CLARIFICATIONS.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
- REFER TO CODE COMPLIANCE DRAWING(S) FOR LOCATIONS OF RATED ASSEMBLIES AND CODE SUMMARY.
- ABBREVIATIONS, TYPICAL MOUNTING DIMENSIONS, AND ANNOTATION SYMBOLS ARE SHOWN ON GENERAL INFORMATION DRAWINGS.
- WALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF CONCRETE, FACE OF STUDS, COLUMN CENTERLINE AS SHOWN OR EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE PERPENDICULAR AND PARALLEL, UNLESS NOTED OTHERWISE.
- PATCH ALL DISTURBED SURFACES WITH MATERIALS TO MATCH ADJACENT SURFACE CONSTRUCTION.
- PROVIDE APPROVED SMOKE/FIRESTOPPING ASSEMBLIES AT ALL MECHANICAL AND ELECTRICAL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT PARTITIONS IDENTIFIED ON CODE COMPLIANCE DRAWINGS.
- OWNER FURNISHED EQUIPMENT IS SHOWN LIGHT DASHED FOR REFERENCE ONLY. REFER TO EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO INTERIORS FOR FINISHES INCLUDING WALL PROTECTION ITEMS.
- REFER TO SPECIFICATION SECTION 10 1400 FOR REQUIRED LOCATIONS OF CODE REQUIRED SIGNAGE.

INTERIOR PARTITION GENERAL NOTES

- CONSTRUCT ALL WALLS TIGHT TO DECK ABOVE AND EXTEND INTO DECK FLUTES AND WEBS OF STEEL MEMBERS UNLESS OTHERWISE NOTED.
- PROVIDE DEFLECTION TRACK AT THE TOP OF ALL INTERIOR NON-BEARING METAL STUD WALLS CAPABLE OF ACCOMMODATING 1" ROOF/FLOOR DEFLECTION. REFER TO DETAIL E4 ON A302-A FOR HEAD OF WALL CONDITION.
- REFER TO CODE COMPLIANCE PLAN FOR RATED WALL LOCATIONS. FIRE RATED AND SMOKE RESISTANT ASSEMBLIES SHALL BE CONTINUOUS, WITH OTHER PARTITIONS ABUTTING THEM.
- PROVIDE FIRESTOPPING/SMOKE SEALANT AT ALL PENETRATIONS THROUGH FIRE RATED AND SMOKE RESISTANT ASSEMBLIES, CORRIDORS, AND FLOORS WITH OCCUPIABLE SPACES ABOVE AND BELOW.
- PROVIDE ACOUSTICAL SEALANT AT ALL WALLS WITH ACOUSTICAL INSULATION. PROVIDE 5/8" WATER RESISTANT GYPSUM WALLBOARD AT ALL WALLS OF TOILET ROOMS, WALLS RECEIVING TILE, AND WALLS BEHIND AND ADJACENT TO SINKS.
- PROVIDE 5/8" TILE BACKER AT ALL WALLS OF SHOWER ENCLOSURES.
- REFER TO STRUCTURAL DRAWINGS FOR MASONRY REINFORCING AND GROUTING.
- PROVIDE BULLNOSE CONCRETE MASONRY UNITS AT EXPOSED SILLS AND AT ALL INTERIOR EXPOSED VERTICAL CORNERS, INCLUDING WINDOW AND DOOR JAMBS.
- ALL WALLS ARE TYPE ____ UNLESS NOTED OTHERWISE.

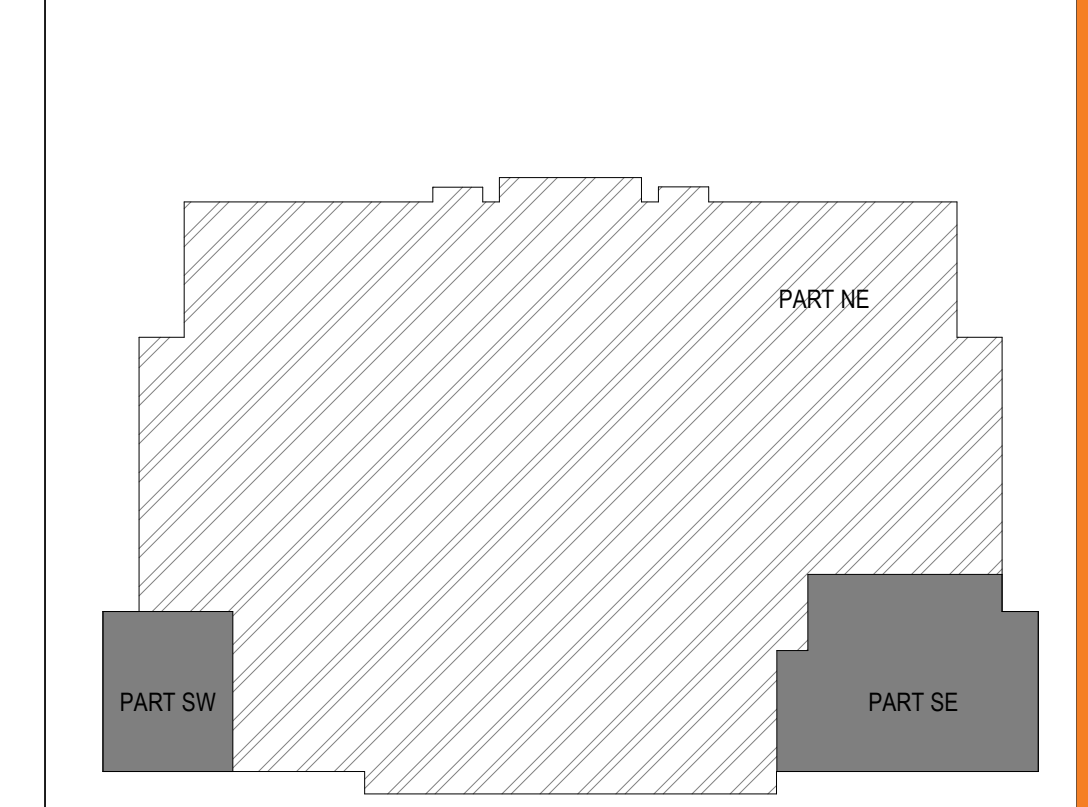
INTERIOR PARTITION TAG LEGEND

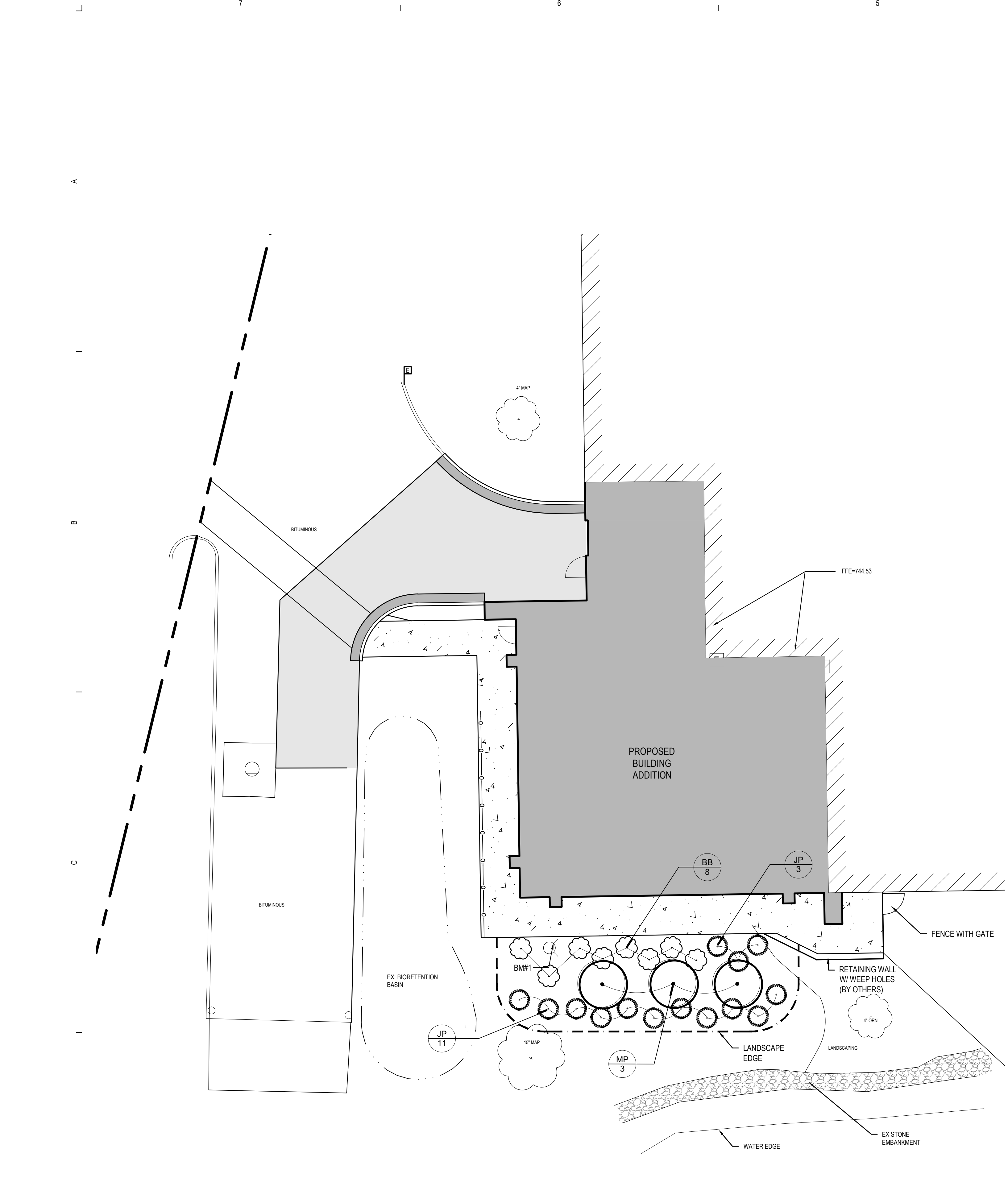
CORE MATERIAL	CORE SIZE (NOMINAL)			
	S	W	C	H
S - STEEL STUDS	0	1 5/8"		
W - WOOD STUDS	2	2 1/2"	2x (flat)	2 1/2"
C - CONCRETE	3	3 5/8"		
M - MASONRY	4	4"	2x4	4" 4"
H - CH / SHAFTWALL	5			
ACOUSTICAL INSULATION	6	6"	2x6	6" 6"
PROVIDE ACOUSTICAL INSULATION AT TAGGED LOCATIONS	7			
PARTITION TYPE SUFFIX	8	8" CFMF	2x8	8" 8"
REFER TO SCHEDULE BELOW	9			
	10			10" 10"
	11			12" 12"
	12			12" 12"

INTERIOR PARTITION TYPE SUFFIXES

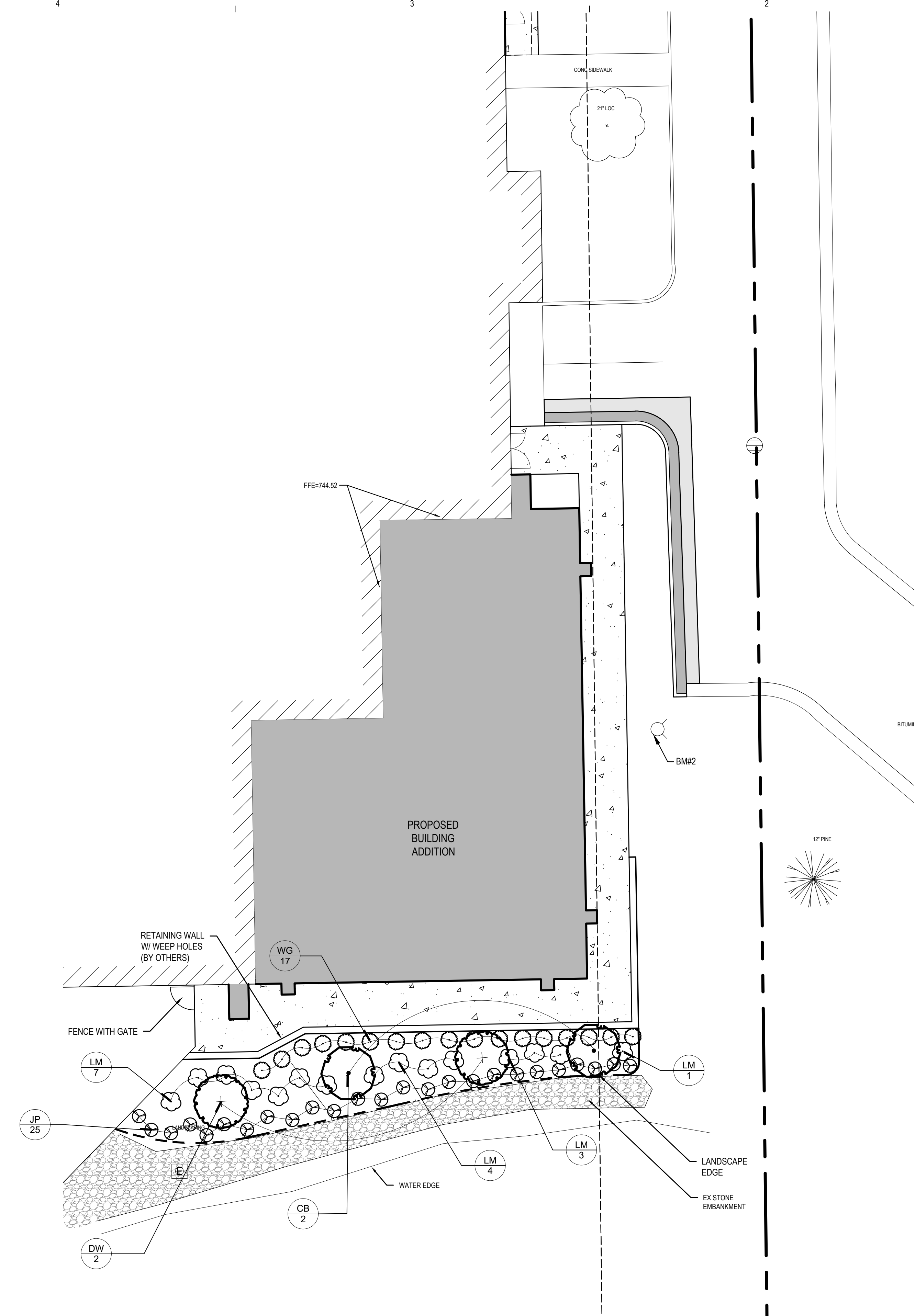
- A 5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TO DECK (OR HARD CEILING WHERE IT OCCURS)
- B 5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
- D 5/8" GYPSUM BOARD ON ROOM SIDE ONLY; EXTEND TO DECK
- E 5/8" GYPSUM BOARD ON ROOM SIDE ONLY; EXTEND TO 6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS)
- T IS1 SAME AS S3A WITH 5/8" FRP PLYWOOD OVER STUDS ON TAGGED SIDE

KEY PLAN





SW QUADRANT - LANDSCAPE PLAN
1"=10'
NORTH



SE QUADRANT - LANDSCAPE PLAN
1"=10'
NORTH

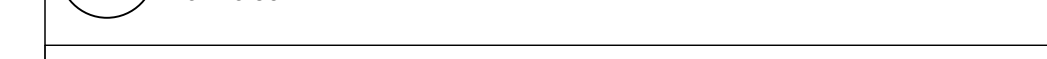
PLANT_SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	QTY	CONT	FT
JP	JUNIPERUS SQUAMATA 'BLUE STAR', BLUE STAR JUNIPER	14	#5	
BB	EUONYMUS ALATUS 'COMPACTUS', DWARF BURNING BUSH	8	#5	
DECIDUOUS TREES	BOTANICAL / COMMON NAME	QTY	CONT	CAL
MP	ACER SACCHARUM, SUGAR MAPLE	3	B & B	2-1/2"

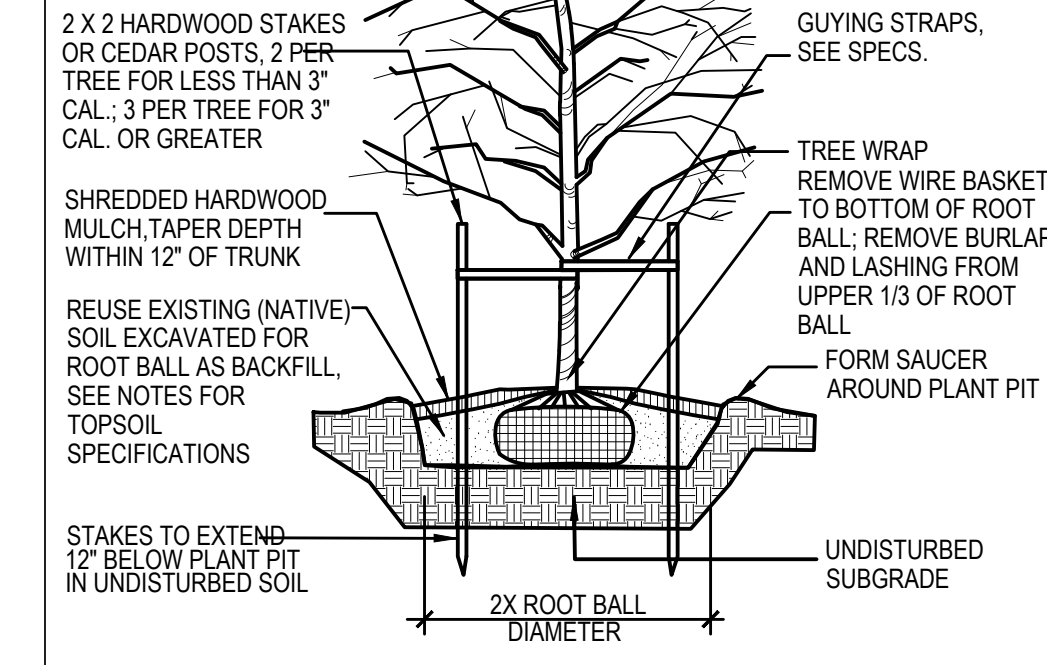
PLANT_SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	QTY	CONT	FT
LM	EUONYMUS ALATUS 'ODOM', LITTLE MOSES BURNING BUSH	15	#5	
WG	WEIGELA FLORIDA, FINE WINE WEIGELA	17	#5	
JP	JUNIPERUS SQUAMATA 'BLUE STAR', BLUE STAR JUNIPER	25	#5	
DECIDUOUS TREES	BOTANICAL / COMMON NAME	QTY	CONT	CAL
CB	MALUS 'PROFUSION', PROFUSION CRABAPPLE	2	B & B	2-1/2"
DW	CORNUS KOUSA, VARIEGATED DOGWOOD	2	B & B	2-1/2"

A1 LANDSCAPE EDGE RESTRAINT
NOT TO SCALE



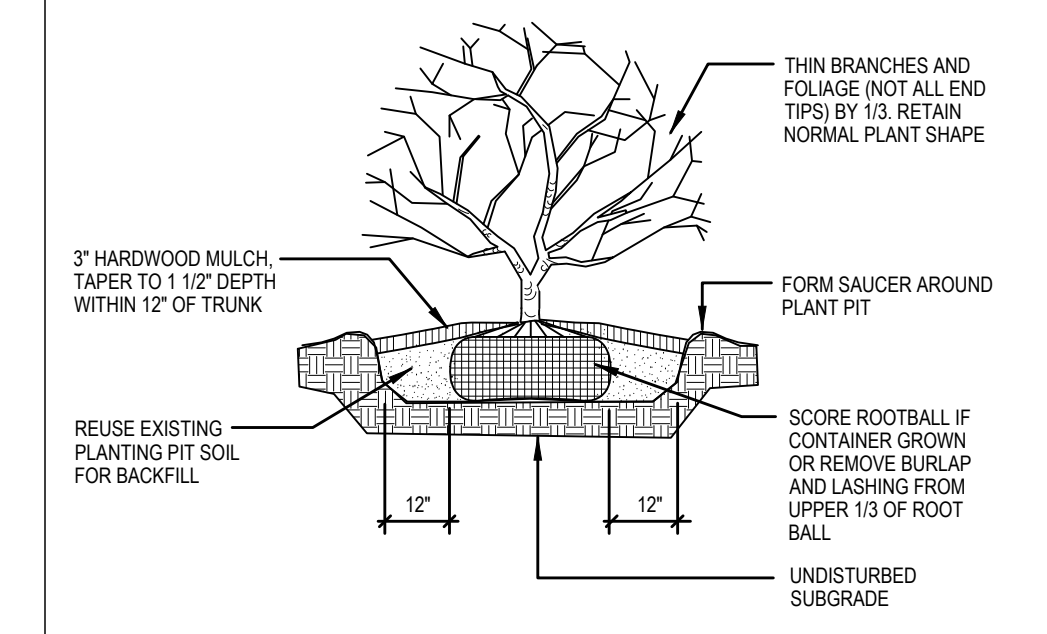
EDGE RESTRAINT, SEE SPECS.
CONDITION VARIES, SEE PLAN FOR CLARITY
PLANT MATERIAL, SEE SITE LANDSCAPE PLAN THIS SHEET
LAWN
SHREDDED HARDWOOD MULCH, SEE LANDSCAPE NOTES FOR DEPTH ID
TOPSOIL
LANDSCAPE STAKE



A2 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

2 X 2 HARDWOOD STAKES OR CEDAR POSTS, 3 PER TREE FOR LESS THAN 3" CAL., 3 PER TREE FOR 3" CAL. OR GREATER
SHREDDED HARDWOOD MULCH, TAPER DEPTH WITHIN 12" OF TRUNK
REUSE EXISTING (NATIVE) SOIL EXCAVATED FOR ROOT BALL AS BACKFILL, SEE NOTES FOR TOPSOIL SPECIFICATIONS
STAKES TO EXTEND 12" BELOW PLANT PIT IN UNDISTURBED SOIL
2X ROOT BALL DIAMETER
GUYING STRAPS, SEE SPECS.
TREE WRAP REMOVE WIRE BASKET TO BOTTOM OF ROOT BALL, REMOVE BURLAP AND LASHING FROM UPPER 1/3 OF ROOT BALL
FORM SAUCER AROUND PLANT PIT
UNDISTURBED SUBGRADE

ALL PLANTS TO BE NURSERY GROWN STOCK IN SOIL SIMILAR TO SITE CONDITIONS



A3 SHRUB PLANTING DETAIL
NOT TO SCALE

3" HARDWOOD MULCH, TAPER TO 1" DEPTH WITHIN 12" OF TRUNK
REUSE EXISTING PLANTING PIT SOIL OR REMOVE BURLAP AND LASHING FROM UPPER 1/3 OF ROOT BALL
THIN BRANCHES AND FOLIAGE NOT ALL END TIPS BY 1/3, RETAIN NORMAL PLANT SHAPE
FORM SAUCER AROUND PLANT PIT
SCORE ROOTBALL IF CONTAINER GROWN OR REMOVE BURLAP AND LASHING FROM UPPER 1/3 OF ROOT BALL
UNDISTURBED SUBGRADE

GENERAL LANDSCAPE NOTES

- CONTRACTOR RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY PLAN DISCREPANCIES.
- PLANT LOCATIONS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES. CONTACT THE APPROPRIATE UTILITY COMPANY FOR FIELD STAKING ALL LINES.
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED UNLESS SHOWN OTHERWISE ON PLANS.
- CONTRACTOR TO CONTACT MISS DIG AT PHONE NUMBER 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
- CONTRACTOR TO COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONTRACTOR.
- NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUB-GRADE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- SHRUB PLANTING BEDS AND TREE SAUCERS TO RECEIVE 3" SHREDDED HARDWOOD MULCH, PERENNIAL BEDS TO RECEIVE 2" DEPTH MULCH AND GROUND COVER AREAS TO RECEIVE 1" DEPTH MULCH.
- ALL SHRUB BEDS TO HAVE ALUMINUM EDGING AND WEED BARRIER FABRIC.
- PLANTING MIXTURE FOR PERENNIALS SHALL BE SIX INCH DEPTH OF FOUR PARTS BY VOLUME OF TOPSOIL TO ONE PART OF SPHAGNUM PEAT MOSS.
- CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUND COVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
- NOTIFY LANDSCAPE ARCHITECT AND OWNER (3 DAYS MIN. NOTICE) TO INSPECT AND TAG PLANT MATERIAL IN THE NURSERY PRIOR TO JOBSITE DELIVERY AND INSTALLATION.



New Interior
 Renovation for:

Northpointe Bank Operations Phase 2

5303 28th Street Court SE
 Grand Rapids, Michigan 49546

**EMERGENCY LIGHTING
 PLAN**
 1/8" = 1' - 0"

Issued for:	Permits	Revised Lighting at Exterior Exits
Date:	12-05-2022	01-10-2023

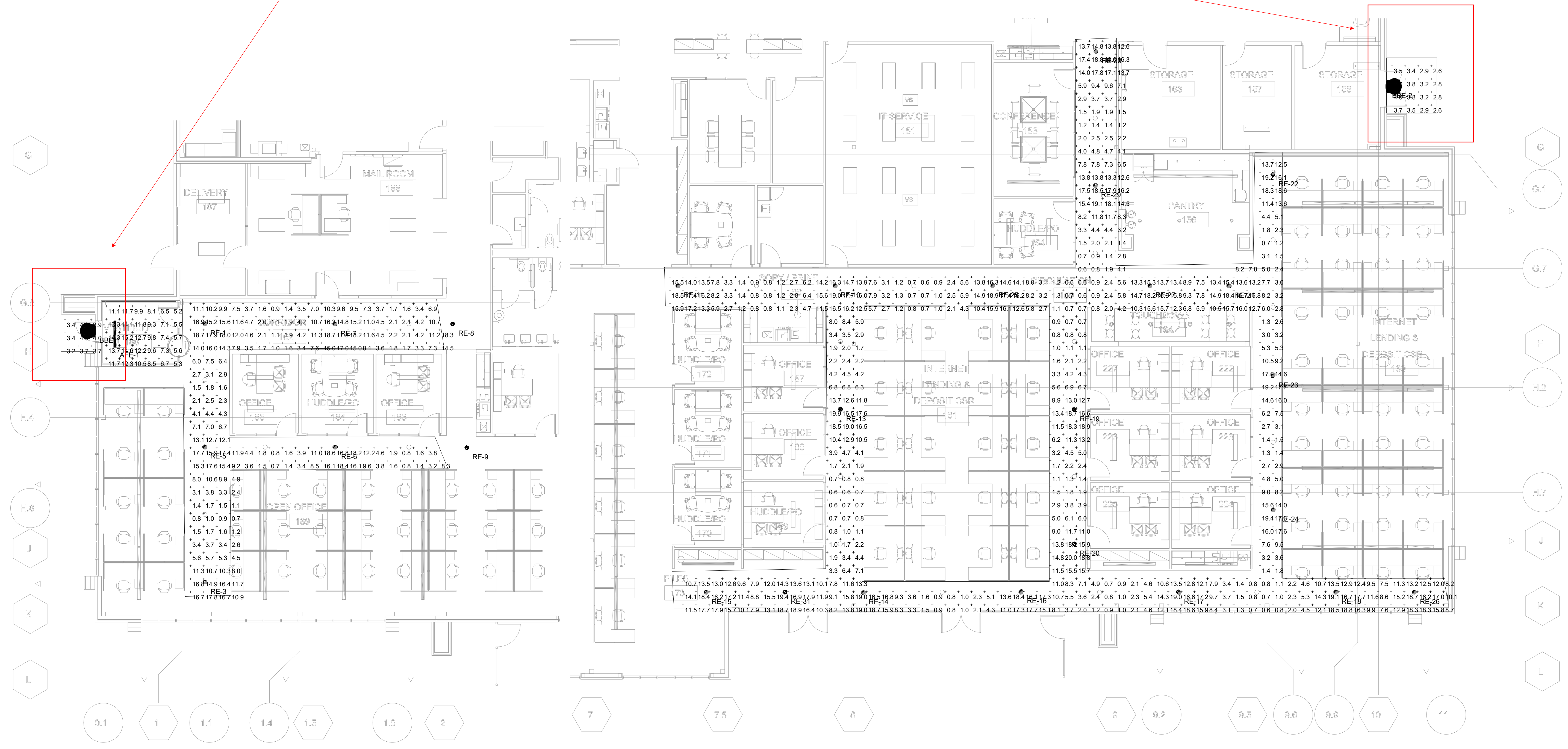
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 80 West 64th Street
 Holland, Michigan 49423 (269) 751-4160 (p)
 (269) 751-4182 (f)

Sheet
E401

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
159 Exit Pathway	+	8.2 fc	20.0 fc	0.6 fc	33.3:1	13.7:1
162 Exit Pathway	+	7.4 fc	18.7 fc	0.7 fc	26.7:1	10.6:1
186 Exterior	+	3.7 fc	4.0 fc	3.2 fc	1.3:1	1.2:1
186 Vestibule	+	9.9 fc	15.2 fc	5.2 fc	2.9:1	1.8:1
188 Exterior	+	3.3 fc	4.0 fc	2.6 fc	1.5:1	1.3:1

Schedule											
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	Intensity Multiplier	LLF	Total Output	Input Power
+	AFE	1	COLUMBIA LIGHTING	CSL4-4035	tradeSELECT CSL Striplight 48" x 2.25" led striplight with opal lens	1	4201	1	1	4201	40.24
□	BBE	2	Lithonia Lighting	WDGE1 LED P1 40K 80CRI VF	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC	1	1227	1	1	1227	10.0002
⊗	RE	27	Lithonia Lighting	LDN6 35W16 LWEAR LSS	6IN LDN WALLWASH 3500K, 1500LM, CLEAR, SEMI-SPECULAR REFLECTOR	1	1377	1	1	1377	17.06

Entry Canopy lighting



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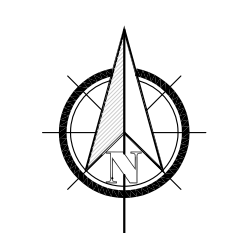


New Interior
 Renovation for:

Northpointe Bank Operations Phase 2

5303 28th Street Court SE
 Grand Rapids, Michigan 49546

EXTERIOR FACADE LIGHTING NOT TO SCALE



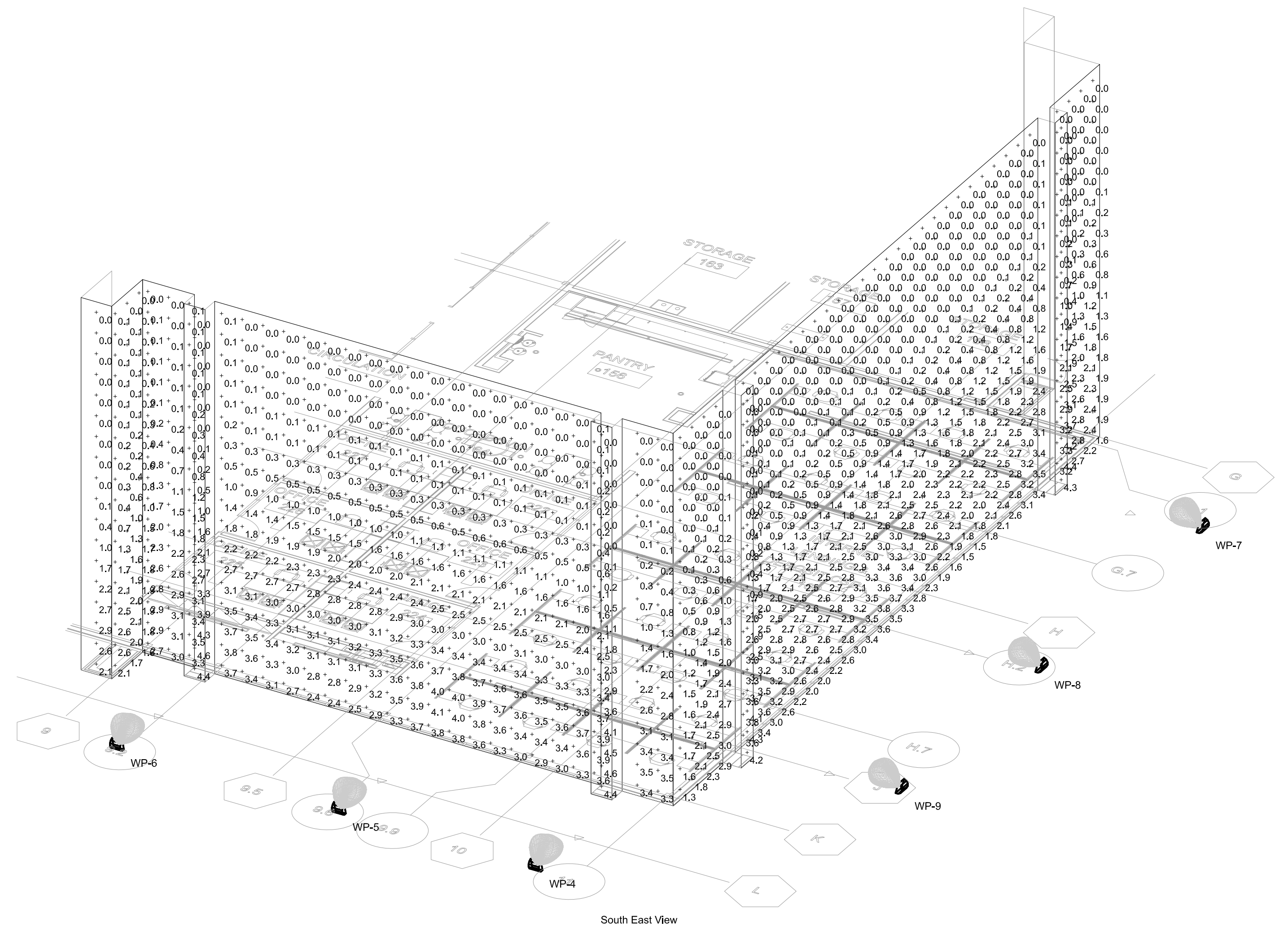
Date:	Issued for:
12-08-2022	Permits
01-10-2023	Revised Lighting at Exterior Exits
04-10-2023	Added E501 for Exterior Facade Lighting Calculations

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 Holland, Michigan 49423 (269) 751-4182 (f)

E501

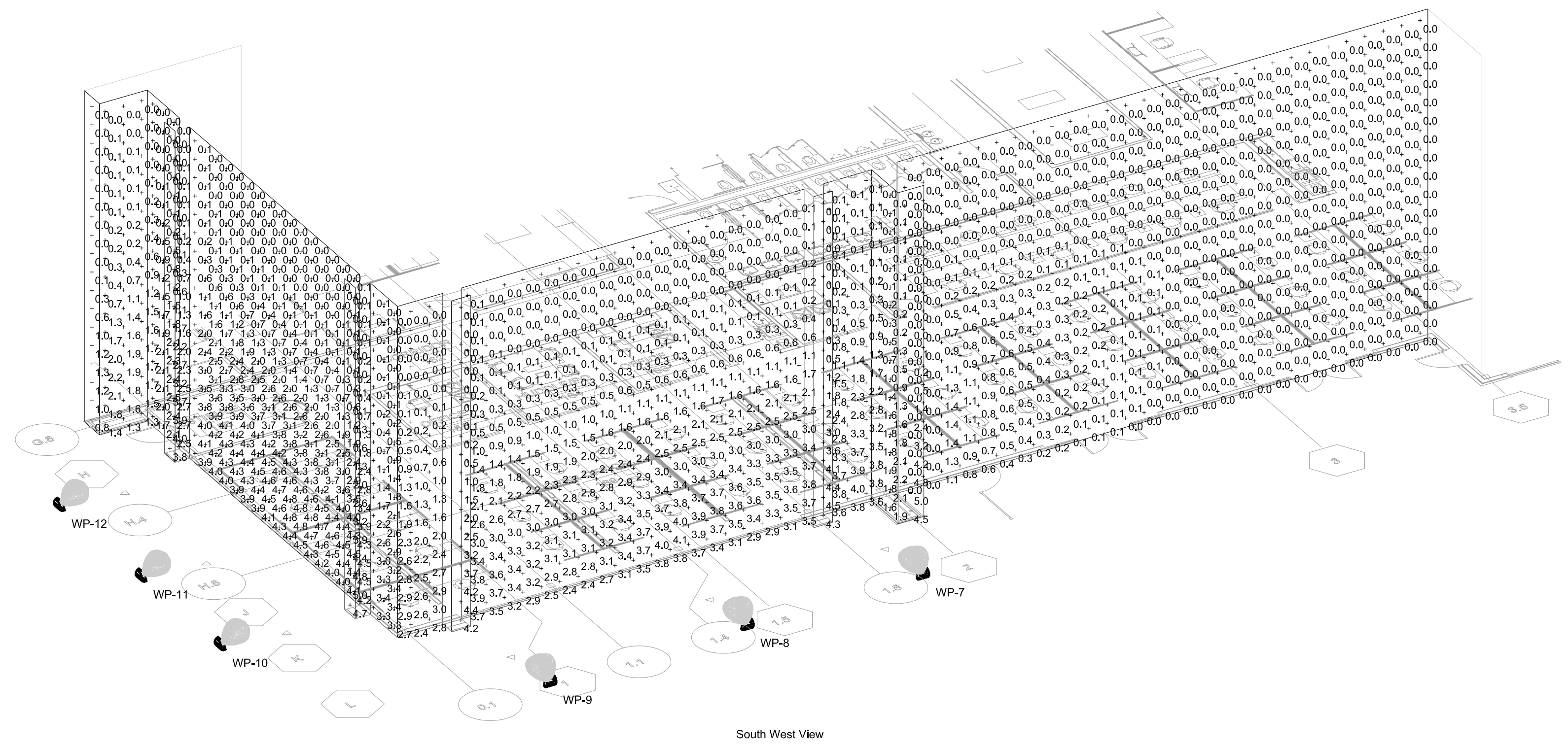
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	Intensity Multiplier	LLF	Total Output	Input Power
WP	WP	6	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR2B-FLD-KNC	CROSSTOUR 18W FLOOD LED WITH BRONZE HOUSING AND VISOR	1	Absolute	1	1	Unknown	18.2

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.9 fc	2.6 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.3 fc	3.5 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.6 fc	4.6 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.5 fc	4.1 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.7 fc	4.6 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.4 fc	3.5 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.0 fc	3.0 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.5 fc	4.3 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.3 fc	3.8 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.5 fc	4.4 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.1 fc	3.3 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	0.9 fc	2.9 fc	0.0 fc	N/A	N/A



Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	Intensity Multiplier	LLF	Total Output	Input Power
WP	WP	6	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR2B-FLD-KNC	CROSSTOUR 18W FLOOD LED WITH BRONZE HOUSING AND VISOR	1	Absolute	1	1	Unknown	18.2

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.5 fc	4.4 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.5 fc	4.3 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.7 fc	4.5 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.6 fc	4.0 fc	0.1 fc	40.0:1	16.0:1
Calc Zone #1	+	0.9 fc	2.6 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.5 fc	5.0 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	0.1 fc	1.4 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	0.4 fc	1.3 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	0.8 fc	2.2 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.1 fc	2.7 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.5 fc	4.0 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.9 fc	4.8 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.8 fc	5.0 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.3 fc	3.4 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	1.1 fc	3.0 fc	0.0 fc	N/A	N/A



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November 18, 2022

Project No. 170168

Brian Hilbrands
Interim Planning Director
Cascade Charter Township
2865 Thornhills Avenue SE
Grand Rapids, MI 49546

Northpointe Bank Operations Center – 5303 28th St SE Site Plan Review

Dear Brian:

We have reviewed the Site Plan for the Northpointe Bank expansion, prepared by Progressive AE. The applicant is proposing an expansion of the existing facility consisting of three building additions, a paved entrance drive, and concrete sidewalk access paths.

We received the initial Site Plan for review on October 5th, 2022. We reviewed the Site Plan and provided comments to the engineer. The final stormwater report and Site Plan are dated November 14th, 2022.

Stormwater and Drainage

The proposed project is being reviewed under the updated 2022 Stormwater Ordinance, and the criteria in the Stormwater Standards Manual, revised March 03, 2019.

The project Site is in Flood Control Zone 2. The proposed project is a redevelopment and shall comply with the current standards for the redeveloped portion of the Site.

The Northpointe Bank Site is adjacent to the Hilton Drain drainage detention basin which provides flood control and channel protection for the proposed Site. In addition, a large bioretention area in the southwest quadrant of the project Site will provide water quality treatment, and extended detention.

Flood Control

Flood control is provided by the existing regional detention basin which serves the surrounding area. The additional flood storage required for this project will raise the high-water elevation by 0.03 feet (< 1 inch). Correspondence has been provided from the Kent County Drain Commissioner's office which states they've reviewed this project and that the basin has sufficient capacity.

Channel Protection

The underlying soils of this Site are not conducive to infiltration; therefore, the Site utilizes the extended detention alternate approach to channel protection. Extended detention will be provided through a large bioretention basin in the southwest quadrant of the proposed Site. The difference between the pre- and post-development 2-year, 24-hour runoff volume is 678 cubic feet. The proposed bioretention area has a surface storage volume of 870 cubic feet. The low-flow release is provided by filtration through the bioretention media to a perforated underdrain, which discharges into the regional basin.

Water Quality

Water quality treatment will be performed by the bioretention area as well as the large detention basin.

Drainage Plan

The applicant has submitted plans, calculations, and additional documentation as required in SWO Section 2.03, Drainage Plan. Please note that a maintenance agreement and a long-term maintenance plan are required before construction begins. The agreement should be submitted to the Township for review. The maintenance agreement and plan should include, at a minimum, maintenance two times per year for landscaped BMPs and guidance on indications that issues may exist with the regional basin.

Utilities and General Comments

Sanitary Sewer and Water Services

The Site Plan does not indicate any changes or modifications to the sanitary sewer laterals or water services that currently service the building. It is possible there may be internal plumbing changes or improvements that would require building department review and approval.

Driveways and Sidewalks

The Site Plan indicates there will be modifications to the asphalt paving and concrete approaches to accommodate the new building addition. Because this addition is located on the southern edge of the building no changes to Fire Truck access are required.

Soil Erosion and Sedimentation Control

Soil Erosion and Sedimentation Control (SESC) falls under the review and approval of the Kent County Road Commission (KCRC) and a permit is required before construction can begin.

SESC measures are provided on the plan drawings. The applicant has included silt fence along the edge of the property where earth disturbance is expected to occur. KCRC may require additional SESC measures beyond what is shown on the drawings.

The disturbed area of the Site does not exceed five acres.

Summary

The proposed stormwater management design meets the Township SWO requirements for the Site location. Therefore, from an engineering point of view, we recommend approval.

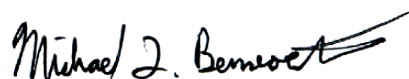
If you have any questions or require additional information, please contact me at 616.464.3979 or theath@fishbeck.com.

Sincerely,



Anthony Heath, PE
Civil Engineer

By email



Michael L. Berrevoets, PE
Vice President/Senior Civil Engineer

PUD Ordinance - Home Design Center #6 of 1988

ORDINANCE #6 OF 1988

AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE AND ZONING MAP TO ESTABLISH THE HOME DESIGN CENTER PLANNED UNIT DEVELOPMENT PROJECT

CASCADE CHARTER TOWNSHIP ORDAINS:

SECTION 1. AN AMENDMENT TO THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE. That the application received from Properties Corporation of America or its assigns (hereinafter referred to as the "Developer") for Planned Unit Development designation for their proposed Home Design Center (hereinafter referred to as the "Premises") was recommended by the Cascade Township Planning Commission for approval on August 15, 1988. The Premises is recommended for rezoning from its former zoning classification thereby requiring this amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission's recommendation and the Cascade Township Board action on August 24, 1988.

SECTION II. LEGAL DESCRIPTION.

The legal description of the Premises is as follows:

That part of the SE 1/4, Section 7, T6N, R10W, Cascade Township, Kent County, Michigan, described as: Commencing at the SE corner of Section 7; thence S 88 degrees 05' 02" W 1054.98 feet along the South line of Section 7; thence N 1 degree 49' 55" W 262.76 feet to the Northeasterly line of Highway I-96; thence N 47 degrees 5' 25" W 859.39 feet along said Northeasterly line; thence N 85 degrees 06'45" W 200.04 feet along said Northeasterly line to the PLACE OF BEGINNING of this description; thence N 85 degrees 06'45" W 529.35 feet along said Northeasterly line; thence N 1 degree 13' 45" W 107.65 feet; thence N 12 degrees 52'20" E 615.67 feet; thence N 1 degree 13' 45" W 36.08 feet along the East line of the West 410 feet of the SE ¼ of Section 7; thence N 88 degrees 05' 02" E 434.34 feet along the North line of the South 1695 feet of the SE ¼ of Section 7; thence S 1 degree 25' 52" E 271.66 feet; thence S 88 degrees 20' 05" W 60.81 feet; thence S 1 degree 25' 52" E 531.24 feet to the place of beginning. This parcel contains 8.520 Acres.

That part of the SE ¼, Section 7, T6N, R10W, Cascade Township, Kent County, Michigan, described as: Commencing at the SE corner of Section 7; thence S 88 degrees 05' 02" W 1054.98 feet along the South line of Section 7; thence N 1 degree 39' 55" W 262.76 feet to the Northeasterly line of Highway I-96; thence N 47 degrees 05' 25" W 382.36 feet along said Northeasterly line; thence N 1 degree 25' 52" E 888.91 feet along the West line of the East ½ of the SE ¼ of Section 7 to the PLACE OF BEGINNING of this description; thence S 88 degrees 20' 05" W 479.19 feet; thence N 1 degree 25' 52" W 271.66 feet; thence N 88 degrees 05' 02" E 479.21 feet along the North line of the South 1695 feet of the SE ¼ of Section 7; thence S 1 degree 25' 52" E 273.76 feet along the West line of the NE ¼ of the SE ¼ of Section 7 to the place of beginning. This parcel contains 3.000 Acres.

That part of the SE ¼, Section 7, T6N, R10W, Cascade Township, Kent County, Michigan, described as: Commencing at the SE corner of Section 7, thence S 88 degrees 05' 02" W 1054.98 feet along the South line of Section 7; thence N 1 degree 39' 55" W 262.76 feet to the Northeasterly line of Highway I-96 and the PLACE OF BEGINNING of this description; thence N 47 degrees 05' 25" W 71.24 feet along said Northeasterly line; thence N 88 degrees 20' 05" E 50.75 feet; thence S 1 degree 39' 55" E 50.0 feet to the place of beginning.

That part of the SE ¼, Section 7, T6N, R10W, Cascade Township, Kent County, Michigan, described as: Commencing at the SE corner of Section 7; thence S 88 degrees 05' 02" W 1054.98 feet along the South line of Section 7; thence N 1 degree 39' 55" W 312.76 feet to the PLACE OF BEGINNING of this description; thence S 88 degrees 20' 05" W 20.0 feet; thence N 1 degree 39' 55" W 74.58 feet; thence N 88 degrees 20' 05" E 20.0 feet; thence S 1 degree 39' 55" E 74.58 feet to the place of beginning.

SECTION III. GENERAL PROVISIONS.

The following provisions shall hereby apply to the aforementioned Premises in addition to those provisions outlined in Section 13.11 of the Cascade4 Charter Township Zoning Ordinance (Ordinance No. 2 of the 1978), as amended through August 28, 1984.

SECTION IV. PERMITTED USES.

The permitted uses for the Home Design Center PUD are as follows:

1. Drapes and Wall Covering stores;
2. Hardware and Paint stores;
3. Floor Covering stores;
4. Household appliance stores;
5. Interior-Home decorator and design professional offices;
6. Art merchandising studios;
7. Furniture stores;
8. One limited service coffee shop designed solely to serve the Premises; and
9. Other uses similar to the above.

SECTION V. DESIGN STANDARDS.

For the purposes of this PUD only one (1) multi-tenant building containing not more than 90,000 square feet shall be permitted. The following Design Standards shall apply within the Home Design Center PUD.

A. Area regulations –

1. The building shall be setback from the street right-of-way a minimum of twenty (20) feet. The setback shall be seeded and maintained as open space.
2. Side setbacks shall in no case be less than twenty-five (25) feet. The rear setback shall in no case be less than one hundred (100) feet. Parking shall be permitted in the side and rear setbacks.

B. Height Regulations – The building shall not exceed the height of forty (40) feet, as measured in accordance with the Cascade Charter Township Zoning Ordinance.

C. Off Street Parking and Loading Areas –

1. All employee and visitor parking shall be provided on-site and not on any streets. Such parking areas may be located in the side or rear yards and shall be surfaced prior to occupancy with bituminous concrete or asphalt. Driveways shall be constructed with materials equal to or better than the requirements established by the Kent County Road Commission.
2. Driveways, parking and loading areas shall have curb and gutter. The curb and gutter installation shall be consistent with the requirements established by the Kent County Road Commission.
3. All off-street parking areas shall be drained so as to prevent drainage onto abutting properties unless there is a common drainage system shared by all the abutting properties.
4. Any lighting fixtures used to illuminate off-street parking shall be so arranged as to reflect the light away from adjacent properties, streets or highways.

D. Parking Requirements –

1. Off-street parking for the Premises shall accommodate 326 vehicles. At least 245 parking spaces shall be paved in accordance with Section V.C. 1 above. All unpaved portions shall be landscaped until such time that it is needed for parking.
2. Each off-street parking space for automobiles shall be a minimum of 180 square feet in area, with a minimum width of nine (9) feet, exclusive of access drives or aisles. There shall be provided a minimum access drive of twenty (20) feet in width, and where a turning radius is necessary, it shall be of such an arc as to reasonably allow an unobstructed flow of vehicles. Parking aisles shall be of sufficient width to allow a minimum turning movement into and out of parking spaces. All parking shall be 90 degree parking with a minimum aisle width of 24 feet.

E. Signs –

1. No signs shall be placed on the Premises except those specifically permitted below:
 - a. Two (2) wall signs not to exceed fifty (50) square feet each (placed on south side).
 - b. One (1) off-site shared pole sign (30 feet in height) not to exceed a total of 125 square feet. The shared pole sign may have sides which are constructed in a triangle having 60 degree angles using only two sides for the design message. This sign pylon may be set adjacent to the right-of-way line and may not exceed the height of thirty (30) feet.

c. Two (2) shared off-site ground directional signs not to exceed thirty-two (32) square feet each.

d. One (1) directory sign not to exceed sixty (60) square feet. This sign may have sides which are constructed in a triangle having 60 degree angles, using only two sides for the sign message and may be setback twenty (20) feet from the right-of-way.

e. Two (2) tower development identification signs not to exceed 62.5 square feet each and a height of forty (40) feet.

f. One (1) 32 square foot canopy entrance sign.

g. Traffic safety signs may be installed as needed upon approval of the Planning Director.

2. No billboards, temporary or portable signs, balloon signs, banners, search lights, loudspeakers, amplifiers or similar devices will be permitted in this PUD District. Temporary or portable signs and banner signs may be used for special events or occasions (i.e. grand openings) upon review of the Planning Director.

3. One on-site temporary sign for the purpose of describing the building development, or advertising the sale or lease of a site or building shall be permitted prior to occupancy. The color, character, and wording of the sign shall be prescribed by the Developer. Such signs shall not exceed thirty-two (32) square feet.

4. Signs may be illuminated. However, no intermittent or flashing illumination shall be permitted. The tower development identification signs shall not be internally illuminated.

All signs, unless otherwise provided shall be setback twenty-five (25) feet from the right-of-way or property line.

F. Temporary Buildings –

No structure of a temporary nature; trailer, tent, or construction shack shall be constructed, placed or maintained on the Premises except accessory to and during construction of the building.

G. Landscaping –

1. The Premises shall be landscaped in accordance with plan and specifications approved by the Planning Commission. The entire building site, including curb parkways, shall be appropriately landscaped with grass, canopy and coniferous trees, shrubs, and ground cover. Expansion areas shall be placed in grass and kept weed free. Any areas which become disturbed for any reason shall be restored in accordance with the original landscape plan unless approved otherwise in writing by the Planning Director.

2. Landscaping shall be installed within ninety (90) days of completion of the building or structure, unless permitted in writing by the Planning Director at a later date.

3. All landscaping shall be hardy plant materials and maintained thereafter in a neat and orderly manner. Withered and/or dead plant materials shall be replaced within a reasonable period of time but no longer than one growing season. All new trees used in a landscaped area shall have a minimum diameter of 2-1/2 inches or a height of ten (10) feet, whichever is most appropriated to the specie.

4. Every effort shall be made to retain existing trees. Trees with a diameter of five (5) inches or more shall not be removed without written approval of the Planning Director.

5. Underground sprinkling systems shall be installed where necessary (except the parking area held in reserve) to service landscaped areas and such areas shall be neatly maintained, including mowing, fertilizing and pruning.

6. Parking and loading areas shall be landscaped and/or fenced, as shown on the approved landscape plan, in such a manner as to interrupt or screen said areas from view from access streets.

H. Outside Storage/Display Areas – Outside storage/display areas must be specifically approved by the Planning Director and shall be effectively screened from view as well as kept in a neat and orderly manner. Patio furniture may be displayed on the building patio during the summer season.

SECTION VI. IMPROVEMENTS; PERFORMANCE GUARANTEE.

To insure compliance with this Ordinance and any conditions herein, Cascade Township shall require the Developer to submit a surety bond or irrevocable letter of credit to be determined by the Township Board within 60 days of the effective date of this Ordinance. This surety bond or letter of credit shall be used by the Township to recover expenditures associated with planning and development activities of the Premises, including, but not limited to, the engineering, legal, and infrastructure costs which may become the liability of the Township.

The Township shall not draw upon the surety bond or letter of credit unless Properties Corporation of America fails to promptly reimburse the Township for such billed expenses, within sixty (60) days, following the billing date.

SECTION II. MASTER SITE DEVELOPMENT PLAN.

The Premises shall conform in as much as reasonably possible with the master site development plan approved by the Township Board and signed by the Township Supervisor on August 24, 1988.

SECTION III. EFFECTIVE DATE.

This Ordinance shall become effective upon publication in The Grand Rapids Press, a newspaper of general circulation within the Township of Cascade.

The foregoing Ordinance was offered by Board Member Burlingham, supported by Board Member Carpenter. The roll call vote being as follows:

Yeas: Burlingham, Carpenter, Champion, Hansen and Henning.

Nays: None

Absent: Ellinger and Rowland

Brenda J. Henning

Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 24th day of August, 1988.

Brenda J. Henning

Cascade Charter Township Clerk

PUD Ordinance - Home Design Center #3 of 1993

CASCADE CHARTER TOWNSHIP

Ordinance #3 of 1993

AN ORDINANCE TO AMEND ORDINANCE #6 OF 1988, THE HOME DESIGN CENTER PLANNED UNIT DEVELOPMENT PROJECT.

CASCADE CHARTER TOWNSHIP ORDAINS:

Section 1. Amendments to the Home Design Center PUD Ordinance

Delete Section IV of Ordinance #6 of 1988 as follows:

SECTION IV. PERMITTED USES:

The permitted uses for the Home Design Center PUD are as follows:

- 1. Drapes and Wall Covering stores;**
- 2. Hardware and Paint stores;**
- 3. Floor Covering stores;**
- 4. Household appliance stores;**
- 5. Interior-Home Decorator and design professional offices;**
- 6. Art Merchandising studios;**
- 7. Furniture stores;**
- 8. One limited service coffee shop designed solely to serve the Premises; and**
- 9. Other uses similar to the above.**

Delete Section V.D. 1 of Ordinance #6 of 1988 as follows:

D. Parking Requirements –

1. Off-Street parking for the Premises shall accommodate 326 vehicles. At least 245 parking spaces shall be paved in accordance with Section V.C. 1 above. All unpaved portions shall be landscaped until such time that it is needed for parking.

Add a new Section – Section IV as follows:

1. Personal service establishments which perform services on the premises, such as, but not limited to, repair shops (watches, radios, television, shoes, etc.), tailor shops, beauty parlors or barber shops, photographic studios, self-service laundries, flower shops and print shops.

2. Dry cleaning establishments or pick-up stations, dealing directly with the consumers. Central dry cleaning plants serving more than one retail outlet are prohibited.
3. Business establishments which perform services on the premises, such as, but not limited to, banks, loan companies, insurance offices and real estate offices.
4. Appliance stores.
5. Home improvement centers.
6. Furniture stores.
7. Office machines and computers sales and service.
8. Department stores, excluding sale at wholesale level.
9. Athletic clubs and health spas.
10. Banquet and conference facilities.
11. Business or trade schools.
12. Executive, administrative, and business offices such as, but not limited to, banks, loan companies, insurance, data processing centers, real estate, and non-profit organizations.
13. Professional services, including offices of medical doctors, dentists, osteopaths and similar or allied health care professionals; architects; engineers; accountants; attorneys; and similar professions.
14. Medical and dental laboratories.
15. Emergency medical clinics.
16. Post offices and similar governmental office buildings.
17. Day care facilities.
18. Limited service coffee shops/deli designed to serve the premises.
19. Other uses similar to the uses permitted in this Section.
20. Accessory structures and uses customarily incidental to the uses permitted in this district, subject to the provisions of Section 4.08.

Add a new Section – Section V.D. 1 as follows:

The total number of parking spaces to be required shall be based on the standards set forth in Section 19.11 of the Cascade Charter Township Zoning Ordinance. Initially, 245 parking spaces shall be paved in accordance with Section V.C. 1 above. Thereafter, the Planning Director shall review each new use in combination with all other existing uses on the site to determine the total number of parking spaces required. All additional parking spaces shall be paved unless the Planning Director determines that some of the required paved parking area may be deferred.

Section 2. Effective Date

These PUD Ordinance Amendments shall become effective upon publication in The Grand Rapids Press, a newspaper of general circulation within the Township of Cascade.

The foregoing Ordinance amendments were offered by Board Member Boonenberg, supported by Board Member VanStrien. The roll call vote being as follows:

Yeas: Boonenberg, Carpenter, Henning, Johnson, Julien, VanStrien.

Nays: None

Absent: Hansen

Abstain: None

Brenda J. Henning

Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 24th of March, 1993.

Brenda J. Henning

Cascade Charter Township Clerk

STAFF REPORT

STAFF REPORT: Case # 23-3756
REPORT DATE: May 10, 2023
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: May 15, 2023
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT

Fleet Quest Logistics, LLC
3056 Eastern Ave, Suite B
Grand Rapids, MI 49508

STATUS

OF APPLICANT: Owner

REQUESTED ACTION: Type II Special Use Permit for a Trucking Terminal facility

EXISTING ZONING OF SUBJECT PARCEL: TI, Transitional Industrial

GENERAL LOCATION: East side of Kraft Ave, between 52nd St and 60th St

PARCEL SIZE: 9.3 Acres

PROPERTY LOCATION: 5610 and 5620 Kraft Ave

EXISTING LAND USE ON THE PARCEL: Vacant/Existing Home

ADJACENT AREA

LAND USES: N,E – Vacant
W – Residential
S – Industrial

ZONING ON

ADJOINING PARCELS: N,E – I
W – PUD 50
S – TI

STAFF COMMENTS:

1. The applicant is requesting a Type II Special Use Permit to construct a new trucking terminal facility. The facility would include two phases, with a 39,600 square foot building located on a front lot and a 16,000 square foot building located on a back lot.

The site plan was reviewed under Section 21.07 of the Site Plan Review Chapter of the Zoning Ordinance.

2. As a result of the location of the buildings, the property lines of 5610 and 5620 Kraft Avenue will be reconfigured. The result will be one parcel located on the west side with frontage along Kraft Avenue, and a second parcel to the east that will be accessed by an easement. Both parcels meet the size and width requirements of the zoning district.
3. Both buildings will have warehouse and office/lounge space, and the building in Phase 1 will also have a service area. Based on these uses there would be a total of 68 parking spaces required, and the plans show there to be 68 employee/guest parking spaces provided.
4. The proposed buildings and parking lot meet the setback, height, and bufferyard requirements of the zoning district.
5. Section 13.04a of the zoning ordinance allows a trucking terminal as a special use, so long as the facility is located at least 500 feet from any residential district. There is an ARC zoned parcel to the northwest, so the site plan includes a 500' buffer from that parcel. There is also a home located at 5640 Kraft which is adjacent to the facility, but because that parcel is zoned Transitional Industrial the 500-foot setback does not apply.
6. The proposed curb cut is aligned with the location of Lacks Industrial Drive on the other side of Kraft Ave. The location will need to be approved by the KCRC and a driveway permit will need to be obtained. Grading for the driveway appears to extend onto the neighboring property to the north, so a temporary grading easement will also need to be obtained. The location of the driveway in relation to adjacent driveways meets spacing requirements.
7. A comprehensive landscape plan was submitted that includes new plantings around the building and parking lot, while maintaining a large number of existing trees on the southern and eastern end of the property. A landscape bond in the amount of no less than \$69,000 should be submitted.
8. A photometric plan was has been submitted that meets Township regulations.
9. The Fire and Building Departments have reviewed the plans and did not express any concerns.
10. The Township engineer has reviewed and approved the plan pending submittal of the final geotechnical report, and their comments are included in your packet. A stormwater maintenance agreement will be required.
11. The Gerald R Ford Airport staff has been made aware of the project and provided comments.

12. Section 17.06 as well as 17.07 of the zoning ordinance requires the Planning Commission to review several factors before making a recommendation to the Township Board. I have listed those items for your consideration followed by my comments for each.

Factors	Comments
Be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the area in which the use is proposed.	The facility is located on an industrial zoned parcel with neighboring industrial uses.
Be adequately served by essential facilities and services such as highways, streets, police and fire protection, drainage, refuse disposal, water and sewer facilities and schools.	This facility would be connected to public sewer and water and is located on a collector street.
Not create excessive additional requirements at public cost for public facilities and services.	This site would not cause excessive additional requirements at the expense of the public.
Not cause traffic congestion, conflict or movement in greater proportion to that normally prevailing for the use in the particular zoning district.	The facility would not create excessive traffic compared to similar uses in the area.
Not involve uses, activities, processes, materials, equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of noxious or offensive production of noise, smoke, fumes, glare, vibration, odor or traffic.	This is an allowed use in the industrial zoning districts.
...must be situated such that the proposed site has direct primary access on at least one collector or arterial street as classified by the Major Street Plan	The facility would have direct access onto Kraft Avenue which is classified as a collector street.
A minimum lot size of 3 acres.	Both parcels will be at least 4 acres in size.
The minimum setback for use and structures other than employee and customer parking shall be 100 feet from the street right-of-way and 50 feet from side or rear property line.	All uses and structures appear to meet the setback requirements.
A buffer strip shall be required along all property lines.	A bufferyard is provided along all property lines.
Repair of vehicles shall be done within a totally enclosed building.	A portion of the building on Phase 1 is shown as a service area.
The storage of vehicle parts or inoperable vehicles shall be done within an enclosed building.	A portion of the building on Phase 1 is shown as a service area.

Section 21.07: Criteria For Site Plan Approval:

The Planning Commission shall use the following criteria in evaluating a site plan submittal:

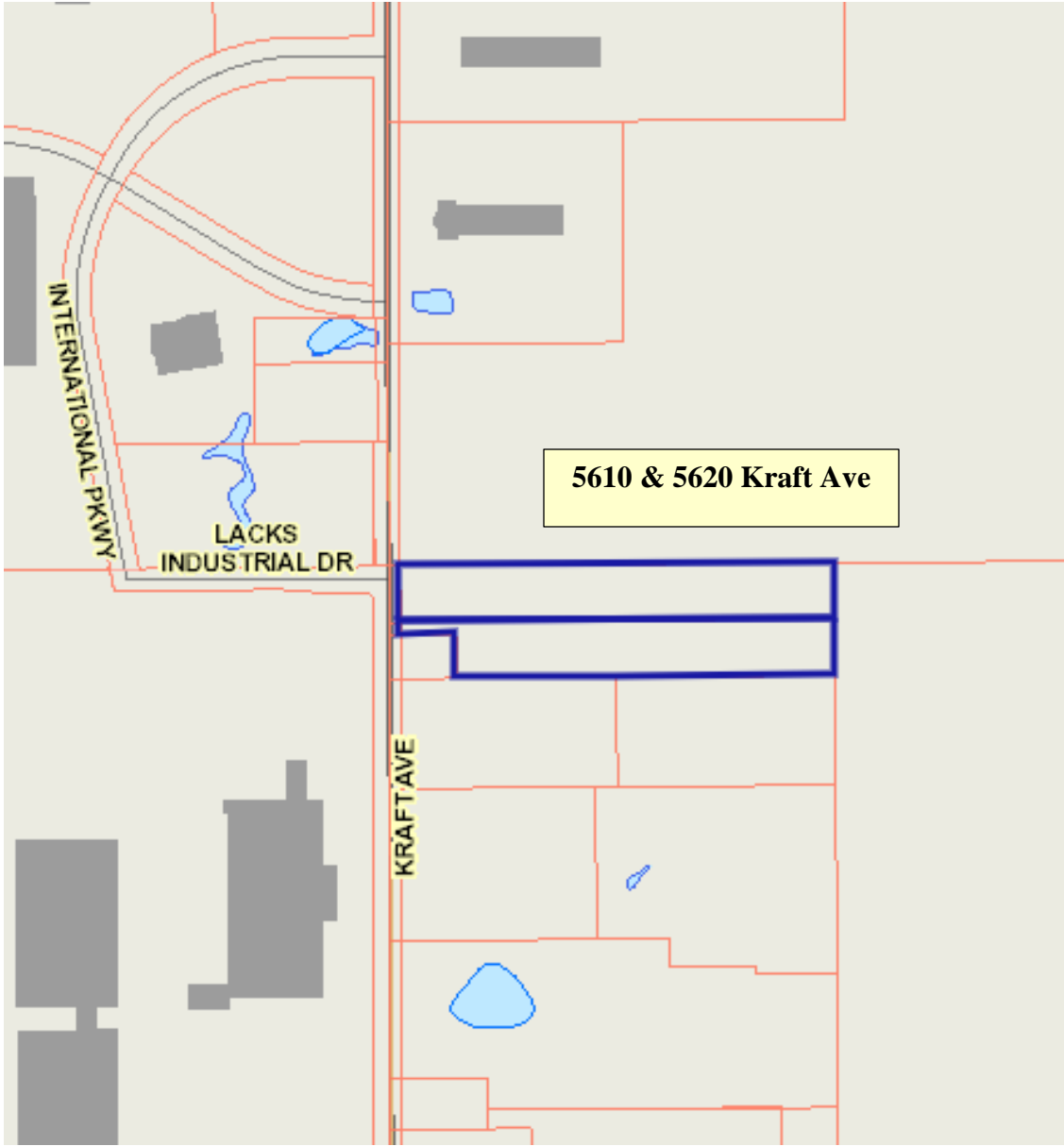
1. Whether the required information has been furnished in sufficiently complete and understandable form to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.
2. Whether there are ways in which the configuration of uses and structures can be changed which would improve the impact of the development on adjoining and nearby properties, persons, and activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and proposed use and structures.
3. The extent to which natural features and characteristics of the large trees, natural groves, watercourses, and similar will be preserved; the regard given to existing natural features that would add attractiveness to the property and environs if they were preserved; the preservation of natural drainage systems the dedication and/or provision, where appropriate, of scenic easements, natural buffering, and other techniques for preservation and enhancement of the physical environment.

STAFF RECOMMENDATION:

A Type II Special Use Permit requires approval from the Township Board. Staff is recommending that the Planning Commission provide a positive recommendation to the Township Board regarding the trucking terminal facility, with the following conditions:

1. The applicant complies with the Township Engineer letter dated May 10, 2023, and all necessary permits are obtained before construction begins.
2. Record the stormwater maintenance agreement.
3. Any work within the right-of-way receives approval from KCRC and a driveway permit is obtained.
4. Receive approval from the neighboring property owner to the north to allow grading work to be done on the property.
5. Provide a landscape bond in the amount of \$69,000.
6. The applicant applies for a lot line reconfiguration of 5610 and 5620 Kraft Avenue.
7. The site continues to meet all the special use requirements of Section 17.07(2)(i) of the zoning ordinance.

ATTACHMENTS: Application
 Site plan
 Township Engineer letter

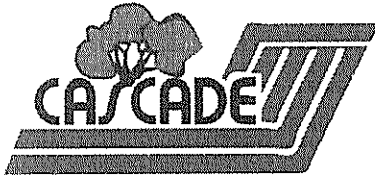


5610 & 5620 Kraft Ave

INTERNATIONAL PKWY

LACKS INDUSTRIAL DR

KRAFT AVE



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids,
Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: FLEET QUEST LOGISTICS, LLC
Address: 3056 EASTERN AVE, SUITE B
City & Zip Code: GRAND RAPIDS MI 49508
Telephone: 616-706-0685
Email Address: SANEL9@YAHOO.COM

OWNER: * (if different from Applicant)

Name: _____
Address: _____
City & Zip Code: _____
Telephone: _____
Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. - Rezoning * |
| <input type="checkbox"/> P.U.D. -- Site Condominium * | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance Subdivision |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

See site plan

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 32-300-022 and 41-19-32-300-023

ADDRESS OF PROPERTY: 5610 and 5620 Kraft Ave SE, Grand Rapids, MI 49512

PRESENT USE OF THE PROPERTY: Vacant

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

SPANEL FAZLIC

Owner – Print or Type Name
(*If different from Applicant)

SPANEL FAZLIC

Applicant – Print or Type Name

*

 3/1/23
Owner's Signature & Date
(*If different from Applicant)

 3/1/23
Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU



Know what's below.
Call before you dig.

BENCHMARK #1 ELEV. = 791.33
RR SPIKE IN SOUTH SIDE OF POWER
POLE LOCATED 86'± NORTHEAST OF
SOUTHWEST PROPERTY CORNER
(N.A.V.D. 88)

LEGAL DESCRIPTION:
PART OF N 1/4 NW 1/4 SW 1/4 COM AT W 1/4 COR TH S ALONG W SEC LINE 168.31 FT E PAR WITH S LINE
OF N 1/4 NW 1/4 SW 1/4 TO E LINE OF NW 1/4 SW 1/4 TH N ALONG SD E LINE 167.73 FT TO E&W 1/4 LINE TH
W ALONG E&W 1/4 LINE TO BEG + SEC 32 TEN R10W
N 1/4 NW 1/4 SW 1/4 EX S 130 FT OF W 200 FT & EX COM AT W 1/4 COR TH S ALONG W SEC LINE 168.31 FT
TH E PAR WITH S LINE OF N 1/4 NW 1/4 SW 1/4 TO E LINE OF NW 1/4 SW 1/4 TH N ALONG SD E LINE 167.73
FT TO E&W 1/4 LINE TH W ALONG E&W 1/4 LINE TO BEG + SEC 32 TEN R10W

FIRM PANEL #2608140025A DATED 11/06/1991
INDICATE THAT THE PROJECT AREA AND AREA DIRECTLY ADJACENT ARE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
WETLAND DELINEATION BY LAKESHORE ENVIRONMENTAL, INC. ON 05/24/2022

WETLAND A: NON-REGULATED WETLAND
WETLAND B: REGULATED WETLAND
WETLAND C: NON-REGULATED WETLAND
WETLAND D: NON-REGULATED WETLAND

DEMOLITION NOTES:

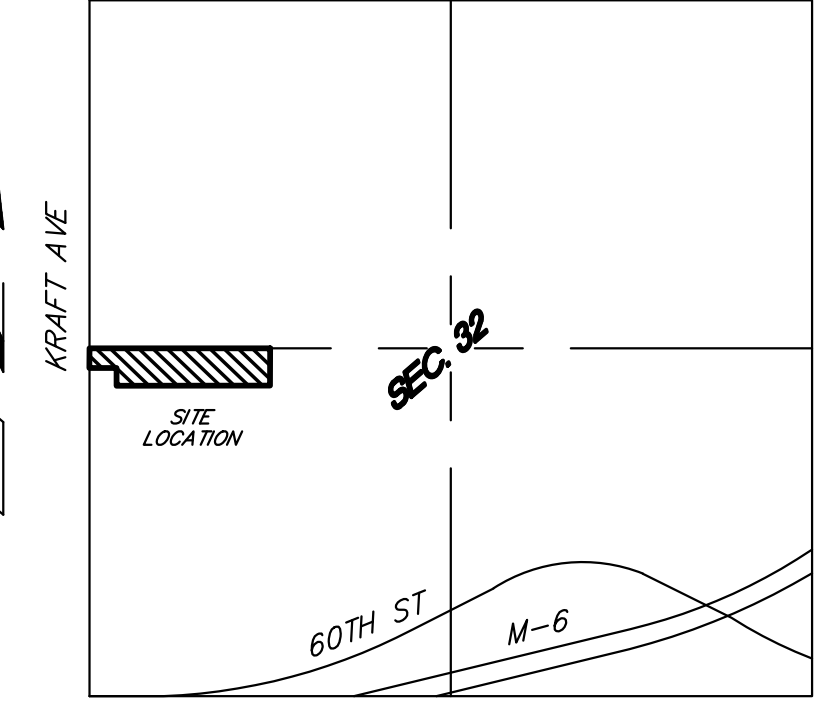
ALL MATERIAL THAT IS NOT SUITABLE AS BACKFILL AND MATERIALS THAT ARE EXCESS SHALL BE
REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL
REGULATIONS.

ALL AREAS OF UNDERGROUND DEMOLITION: UTILITY LINE REMOVAL; AND UNDERGROUND TREE, STUMP,
AND VEGETATION REMOVAL SHALL BE BACKFILLED.

BACKFILLING SHALL PROMPTLY FOLLOW UNDERGROUND DEMOLITION OR REMOVAL WORK AND SHALL
CONTINUE AS THE DEMOLITION PROGRESSES.

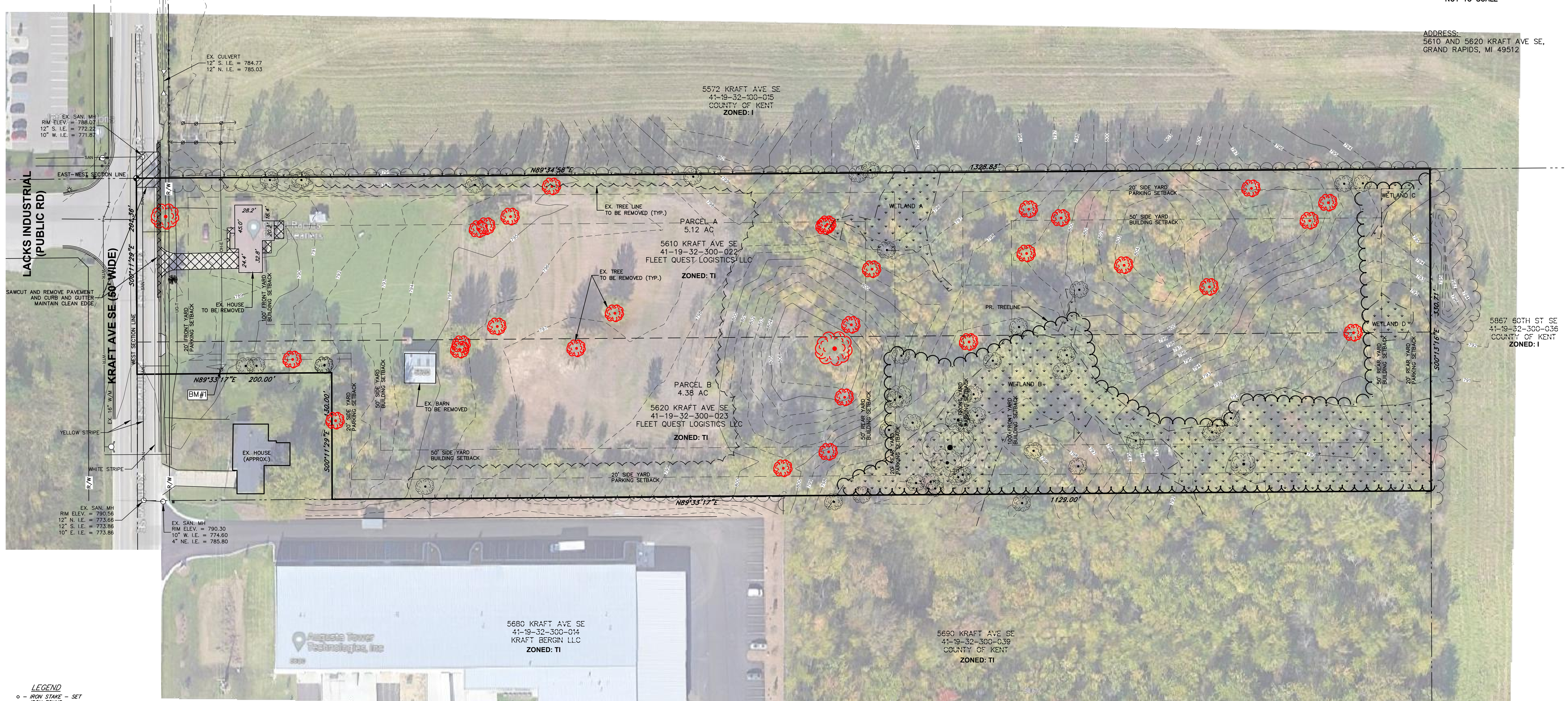
NOTIFY ARCHITECT/ENGINEER OF ANY OTHER UNDERGROUND MATERIALS OR EQUIPMENT ENCOUNTERED
DURING EXCAVATION NOT SPECIFICALLY NOTED ON THE DRAWING(S).

WHERE CURBING OR PAVEMENT IS INDICATED TO BE REMOVED, IT SHALL BE SAWCUT FULL DEPTH,
REMOVED TO THE NEAREST JOINT, IF THE JOINT IS WITHIN 3 FEET OF THE REMOVAL LINE. VERIFY
REMOVAL LIMITS WITH ENGINEER PRIOR TO BEGINNING WORK.



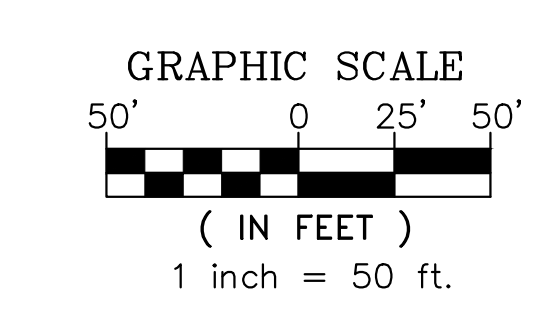
LOCATION MAP
NOT TO SCALE

ADDRESS:
5610 AND 5620 KRAFT AVE SE,
GRAND RAPIDS, MI 49512



- LEGEND
- IRON STAKE - SET
- IRON FOUND
- WOOD STAKE
- RECORDED DIMENSION
- DEED DIMENSION
- PLATTED DIMENSION
- MEASURED DIMENSION
- CENTER LINE
- CORNER OF CONCRETE
- EDGE OF BITUMINOUS
- EDGE OF CONCRETE
- EDGE OF GRAVEL
- GROUND ELEVATION
- FLOW LINE OF CUTTER
- OVERHEAD ELEC/UTILITY LINE
- LIGHT POLE
- EX. CONTOUR LINE
- FENCE LINE
- CONCRETE
- BITUMINOUS PAVEMENT
- PROPERTY LINE ENCROACHMENT
- UTILITY
- ELECTRIC
- RETAINING WALL
- PROPERTY LINE
- PAVEMENT
- WATER SERVICE LATERAL
- BENCHMARK
- WATER VALVE
- FIRE HYDRANT
- CATCH BASIN
- MANHOLE

- EXISTING LEGEND
SURVEY: SECTION CORNER, PROPERTY IRON FOUND, PROPERTY IRON SET, BENCHMARK
WATER: MANHOLE, VALVE, HYDRANT
SANITARY SEWER: MANHOLE
TREES: CONIFEROUS TREE, DECIDUOUS TREE
ELECTRICAL: UTILITY POLE, GUY WIRE, LIGHT POLE, UTILITY RISERMETER
CONCRETE: CONCRETE, BITUMINOUS, EXIST. BIT REMOVAL, EXIST. CONC. REMOVAL
CENTER LINE: CENTER LINE, PROPERTY LINE, CONTOUR LINE (MAJOR), CONTOUR LINE (MINOR), FENCE, EXIST. TREE LINE, EXIST. TREE LINE REMOVAL, PROP. TREE LINE
WATER MAIN: WATER MAIN, SANITARY SEWER, NATURAL GAS, UNDERGROUND TELEPHONE, UNDERGROUND ELECTRIC



REVISIONS: MAY 3, 2023 - REV. PER TWP. MAY 6, 2023 - REV. PER OWNER. DRAWN BY: YS. APPROVED BY: RGH. DATE: FEBRUARY 20, 2023. REVISIONS: MARCH 6, 2023 - FOR SUBMITTAL. APRIL 10, 2023 - REV. PER TWP. APRIL 13, 2023 - REV. PER TWP. CLIENT: FLEET QUEST LOGISTICS 4295 HARALSON CT GRAND RAPIDS, MI 49546 (616) 706-0685 PROJECT NO. 230059 C-101

NOTES

A) ALL DIMENSIONS SHOWN TO THE CONCRETE CURB AND GUTTER ARE TO THE FACE OF THE CURB UNLESS NOTED OTHERWISE.

B) THE CONCRETE GUTTER PAN IS TO TIP IN THE SAME DIRECTION AS THE ADJACENT PAVEMENT. THE GUTTER PAN IN THE BARRIER FREE SPACES SHALL BE PLACED FLAT.

C) REFER TO ARCHITECTURAL PLANS FOR DETAILS OF CONCRETE DOOR STOOPS, DUMPSTER ENCLOSURE, DETAIL OF BUILDING, AND EXACT BUILDING DIMENSIONS.

D) ALL BARRIER FREE SPACES AND SIDEWALKS SHALL MEET A.D.A. REQUIREMENTS.

E) ALL EXTERIOR LIGHT FIXTURE WILL BE FULL CUT-OFF, DOWNCAST FIXTURES.

F) ALL EXTERIOR LIGHTING SHALL COMPLY WITH THE CASCADE TOWNSHIP LIGHTING ORDINANCE.

G) REFER TO PHOTOMETRIC PLAN.

SITE DATA:

SITE: 9.5 ACRES EXCLUDING RIGHT-OF-WAY
 ZONED: TI, TRANSITIONAL INDUSTRIAL
 USE: TRUCK FREIGHT TERMINAL
 ADDRESS: 5610 & 5620 KRAFT AVE SE, GRAND RAPIDS, MI 49512
 PPN: 41-19-32-300-022 & 41-19-32-300-023

	REQUIRED
MAXIMUM BUILDING HEIGHT:	45'
FRONT BUILDING SETBACK:	100'
SIDE BUILDING SETBACK:	50'
REAR BUILDING SETBACK:	50'

PARKING DATA:

PHASE 1
 MIN. REQUIRED PARKING: 42 SPACES
 (INDUSTRIAL: 0.67 SPACE PER 1,000 SFT
 OFFICE: 3 SPACES PER 1,000 SFT)
 (33,200 * 0.67/1,000 + 6,400 * 3/1,000)

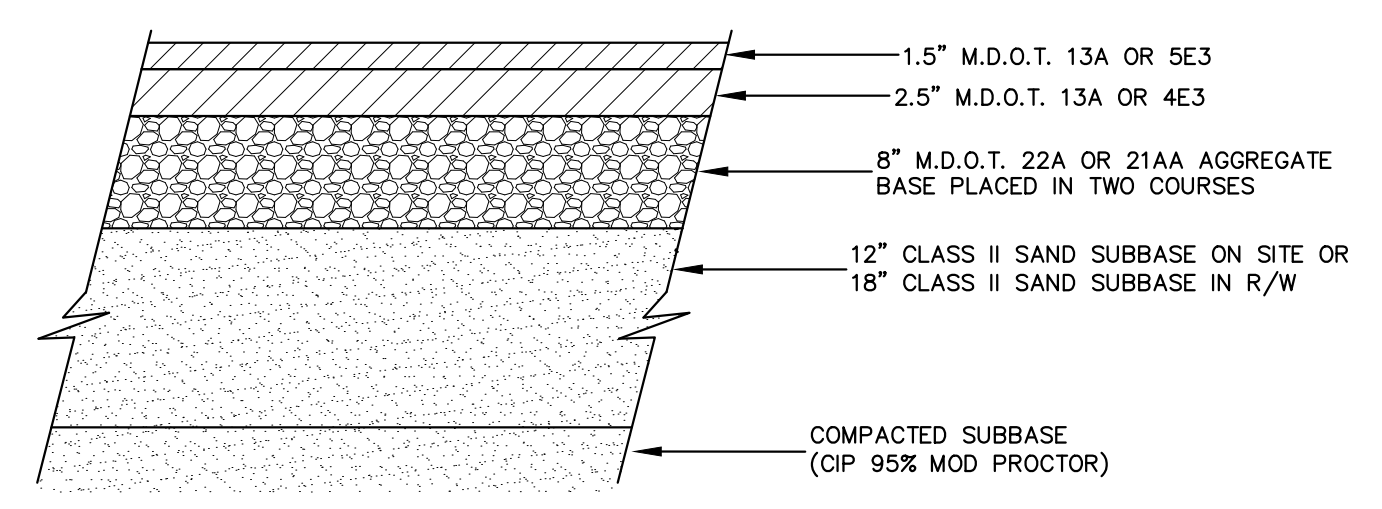
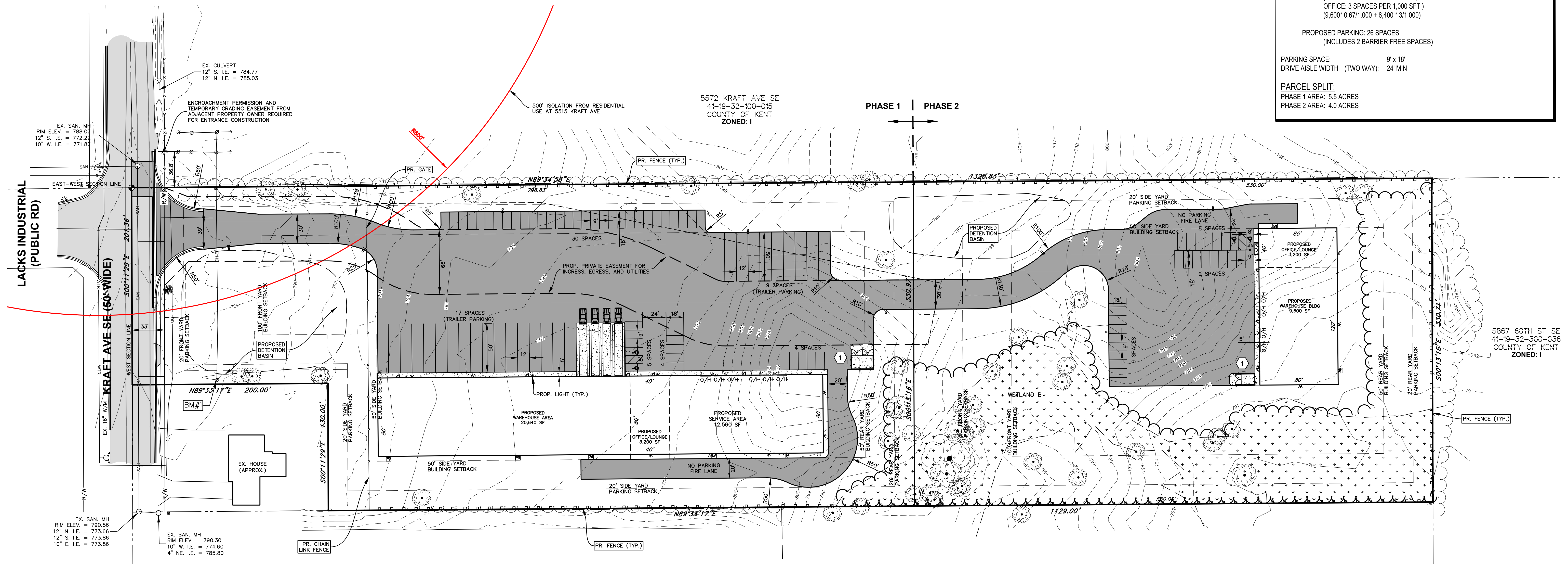
PROPOSED PARKING: 43 SPACES
 (INCLUDES 2 BARRIER FREE SPACES)

PHASE 2
 MIN. REQUIRED PARKING: 26 SPACES
 (INDUSTRIAL: 0.67 SPACE PER 1,000 SFT
 OFFICE: 3 SPACES PER 1,000 SFT)
 (9,600 * 0.67/1,000 + 6,400 * 3/1,000)

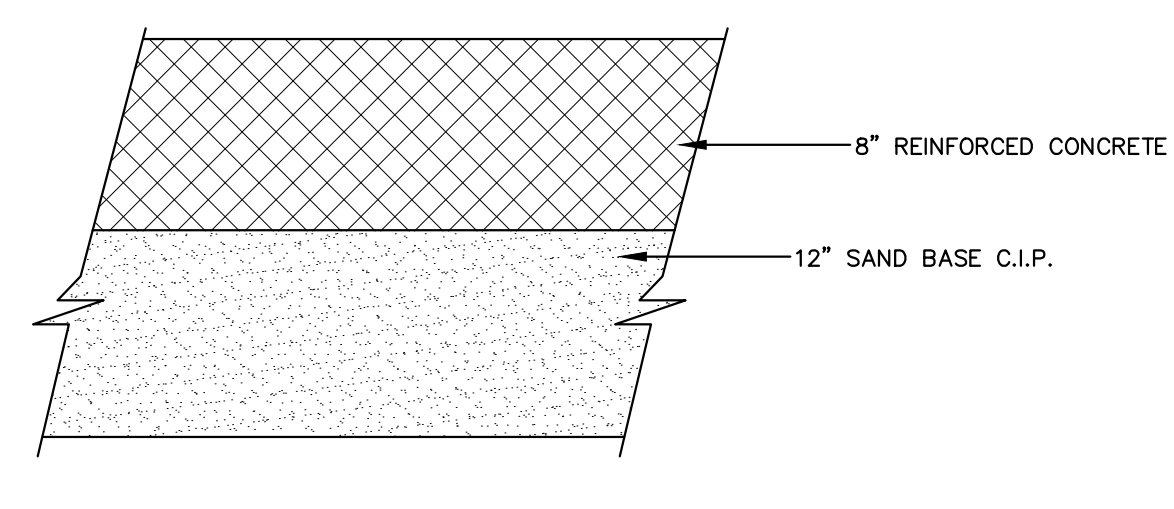
PROPOSED PARKING: 26 SPACES
 (INCLUDES 2 BARRIER FREE SPACES)

PARKING SPACE: 9' x 18'
 DRIVE AISLE WIDTH (TWO WAY): 24' MIN

PARCEL SPLIT:
 PHASE 1 AREA: 5.5 ACRES
 PHASE 2 AREA: 4.0 ACRES



HEAVY DUTY BIT PAVEMENT-SECTION
NOT TO SCALE



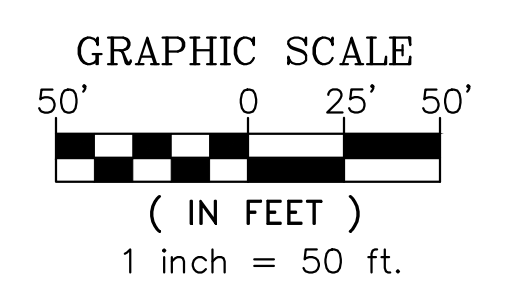
HEAVY DUTY CONCRETE PVMT
NOT TO SCALE

SITE PLAN KEY NOTES

- 1 DUMPSTER ENCLOSURE (SEE DETAIL)

LEGEND

- 805 EXISTING MAJOR CONTOUR
- 806 EXISTING MINOR CONTOUR
- PROPOSED HEAVY DUTY BIT PAVEMENT
- PROPOSED CONC.
- BUMP BLOCK
- EXTERIOR LIGHTING



REVISIONS:
 MAY 3, 2023 - REV. PER TWP.
 MAY 8, 2023 - REV. PER OWNER

DRAWN BY: YS
 APPROVED BY: RGH
 DATE: FEBRUARY 20, 2023

REVISIONS:
 MARCH 6, 2023 - FOR SUBMITTAL
 APRIL 10, 2023 - REV. PER TWP.
 APRIL 13, 2023 - REV. PER TWP.

Roostan & Associates
 SURVEYING AND ENGINEERING

6555 PLUMBER AV. SE
 GRAND RAPIDS, MI 49525
 TELE: (616) 361-7220

SITE LAYOUT PLAN
FLEET QUEST LOGISTICS
 SECTION 32, T6N, R10W
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

CLIENT:
FLEET QUEST LOGISTICS
4295 HARALSON CT
GRAND RAPIDS, MI 49546
(616) 706-0685

PROJECT NO.
 230059

C-102

GENERAL PRIVATE UTILITY NOTES:

PROPOSED PRIVATE UTILITY SERVICE AS SHOWN IS SCHEMATIC ONLY. ACTUAL LOCATION TO BE COORDINATED WITH INDIVIDUAL UTILITY COMPANY AND APPROVED BY OWNER.

CONTRACTOR SHALL COORDINATE LOCATION OF ALL PRIVATE UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.) WITH THE LOCAL UTILITY COMPANIES AND THE MECHANICAL DRAWINGS. COORDINATE ALL PRIVATE UTILITY LOCATIONS WITH ALL SUB-SURFACE SITE UTILITIES SHOWN ON THIS PLAN.

GENERAL STORM SEWER NOTES:

UNLESS NOTED OTHERWISE ON THE PLAN, STORM SEWER PIPE SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE PER AASHTO M294 TYPE S. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM F477.

ROOF DRAIN PIPE OR PIPE INDICATED TO BE PVC SHALL MEET THE REQUIREMENTS OF ASTM D3034, SDR 35. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM F477.

MATERIALS, INSTALLATION, AND TESTING OF THE STORM SEWER SYSTEM SHALL CONFORM TO CASCADE TOWNSHIP STANDARDS.

GENERAL WATER SERVICE NOTES:

SITE CONTRACTOR TO END WATER SERVICE(S) 12" ABOVE FINISHED FLOOR INSIDE BUILDING WITH A TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

IRRIGATION WATER SERVICE TO BE TAPPED OFF WATER SERVICE INSIDE BUILDING UTILITY ROOM. COORDINATE WITH LANDSCAPER AND BUILDING PLUMBER.

WATER MAIN AND FIRE PROTECTION LINE PIPE SHALL BE CLASS 52 DUCTILE IRON PER ANSI/AWWA C151/A21.51, THICKNESS CLASS PER ANSI/AWWA C110/A21.50. FITTINGS SHALL BE DUCTILE IRON PER ANSI/AWWA C153/21.53, PRESSURE CLASS 350.

DOMESTIC SERVICE SHALL BE COPPER, TYPE K, ANNEALED AND SOFT TEMPER PER ASTM B-88. FITTINGS SHALL CONFORM TO ASTM B-88.

MINIMUM COVER OVER PIPE SHALL BE 5.5'.

MATERIALS, INSTALLATION, AND TESTING OF WATER SERVICE LINES SHALL CONFORM TO CASCADE TOWNSHIP STANDARDS AND THE STATE PLUMBING CODE.

THE WATER MAIN IS THE JURISDICTION OF THE CITY OF GRAND RAPIDS AND SUBJECT TO THEIR REVIEW AND APPROVAL.

GENERAL SANITARY SEWER NOTES:

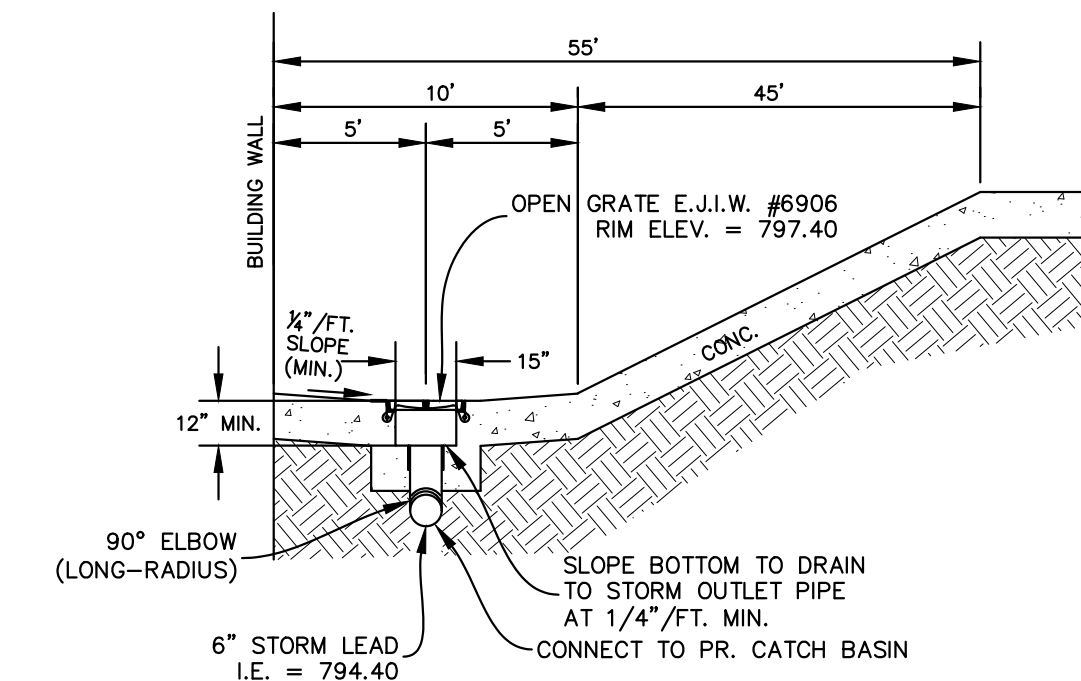
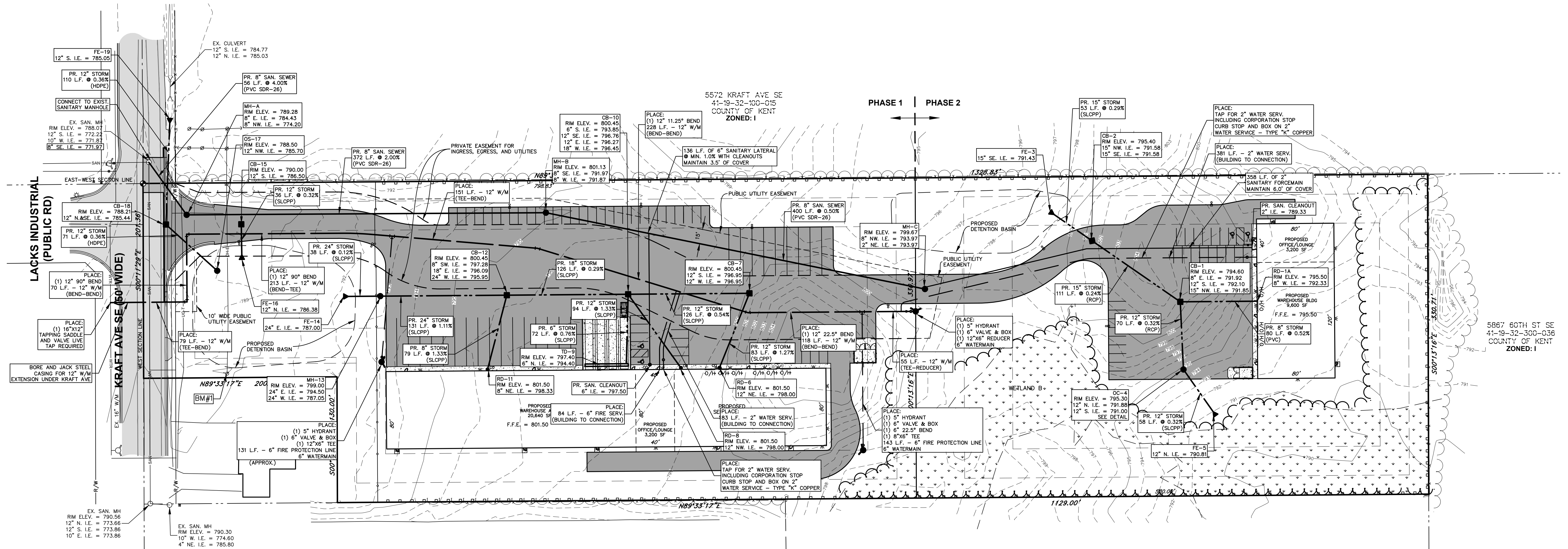
SITE CONTRACTOR TO END SANITARY LATERAL 5' FROM BUILDING WITH A CLEAN-OUT AND TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

SANITARY SEWER LATERALS AND FITTINGS SHALL BE PVC PER ASTM D3034, SDR 26. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM D3212.

MATERIALS, INSTALLATION, AND TESTING OF SANITARY SEWER SHALL CONFORM TO THE CASCADE TOWNSHIP STANDARDS.

MINIMUM COVER OVER SANITARY LATERAL SHALL BE 3.5'.

THE SANITARY SEWER IS THE JURISDICTION OF THE CITY OF GRAND RAPIDS AND SUBJECT TO THEIR REVIEW AND APPROVAL.



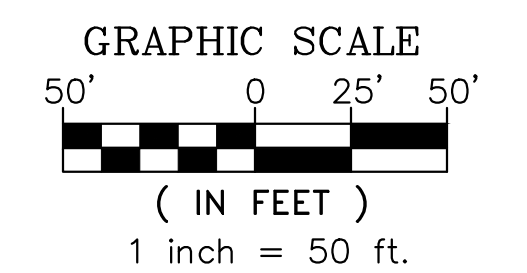
TRENCH DRAIN DETAIL

NOT TO SCALE

(SEE STRUCTURAL PLANS FOR FINAL CONSTRUCTION DETAIL)

LEGEND

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PR. HEAVY DUTY BIT. PAVEMENT
	PROPOSED CONC.
	PROPOSED STORM SEWER
	PROPOSED WATER LINE
	PROPOSED SANITARY LINE



REVISIONS:
 MAY 3, 2023 - REV. PER TWP.
 MAY 6, 2023 - REV. PER OWNER

DRAWN BY: VS
 APPROVED BY: RGH
 DATE: FEBRUARY 20, 2023

REVISIONS:
 MARCH 6, 2023 - FOR SUBMITTAL
 APRIL 10, 2023 - REV. PER TWP.
 APRIL 13, 2023 - REV. PER TWP.

Roostein & Associates
 SURVEYING AND ENGINEERING

6656 PLUMBED AVE. SE
 GRAND RAPIDS, MI 49525
 TELE: (616) 361-7220

SITE UTILITY PLAN
FLEET QUEST LOGISTICS
 SECTION 32, T6N, R10W
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

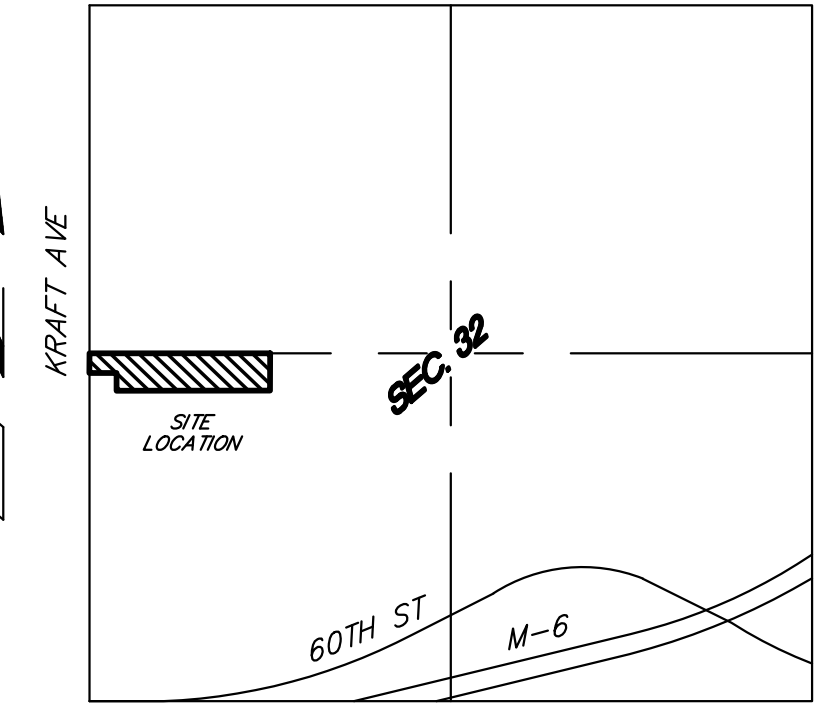
CLIENT:
FLEET QUEST LOGISTICS
4295 HARALSON CT
GRAND RAPIDS, MI 49546
(616) 706-0685

PROJECT NO.
 230059

C-103

BENCHMARK #1 ELEV. = 791.33
RR SPIKE IN SOUTH SIDE OF POWER
POLE LOCATED 86'± NORTHEAST OF
SOUTHWEST PROPERTY CORNER
(N.A.V.D. 88)

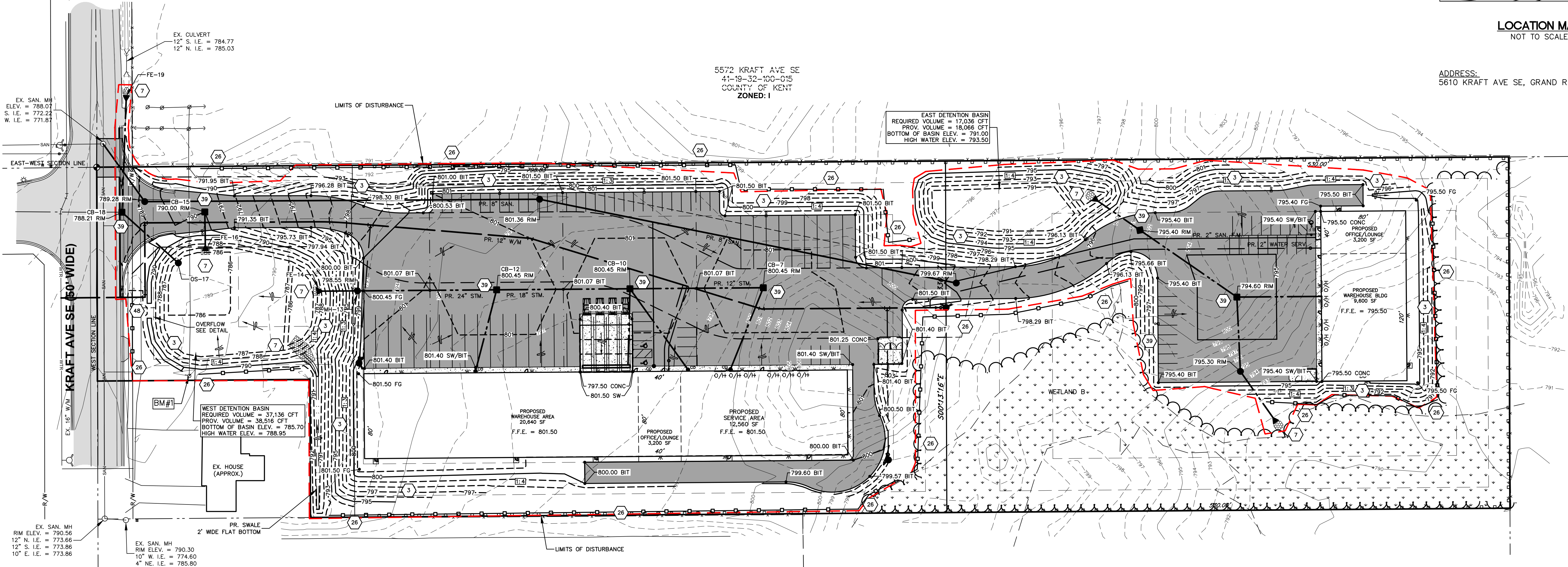
LEGAL DESCRIPTION:
PART OF N 1/4 NW 1/4 SW 1/4 COR AT W 1/4 COR TH S ALONG W SEC LINE 168.31 FT TH E PAR WITH S LINE
OF N 1/4 NW 1/4 SW 1/4 TO E LINE OF NW 1/4 SW 1/4 TH N ALONG SD E LINE 167.73 FT TO E&W 1/4 LINE TH
W ALONG E&W 1/4 LINE TO BEG + SEC 32 T6N R10W
N 1/4 NW 1/4 SW 1/4 EX S 130 FT OF W 200 FT & EX COM AT W 1/4 COR TH S ALONG W SEC LINE 168.31 FT
TH E PAR WITH S LINE OF N 1/4 NW 1/4 SW 1/4 TO E LINE OF NW 1/4 SW 1/4 TH N ALONG SD E LINE 167.73
FT TO E&W 1/4 LINE TH W ALONG E&W 1/4 LINE TO BEG + SEC 32 T6N R10W



LOCATION MAP
NOT TO SCALE

ADDRESS:
5610 KRAFT AVE SE, GRAND RAPIDS, MI 49512

5572 KRAFT AVE SE
41-19-32-100-015
COUNTY OF KENT
ZONED: I



EX. CULVERT
12" S.I.E. = 784.77
12" N.I.E. = 785.03

EX. SAN. MH
ELEV. = 788.07
S.I.E. = 772.22
W.I.E. = 771.87

EAST DETENTION BASIN
REQUIRED VOLUME = 17,036 CFT
PROV. VOLUME = 18,066 CFT
BOTTOM OF BASIN ELEV. = 791.00
HIGH WATER ELEV. = 793.50

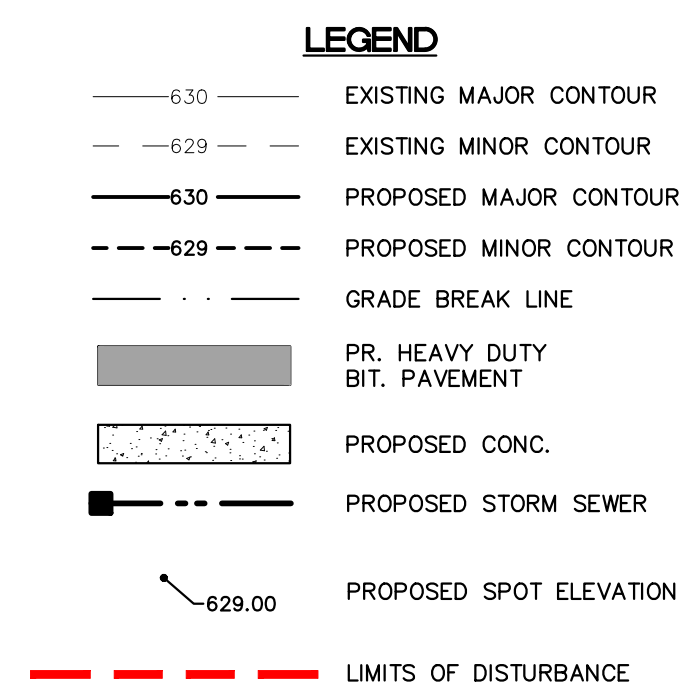
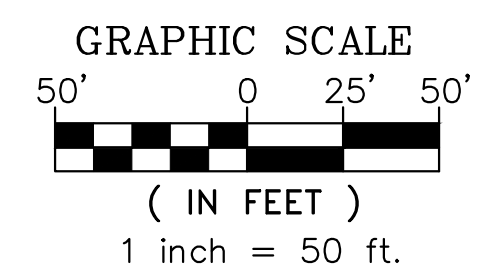
WEST DETENTION BASIN
REQUIRED VOLUME = 37,136 CFT
PROV. VOLUME = 38,516 CFT
BOTTOM OF BASIN ELEV. = 785.70
HIGH WATER ELEV. = 788.95

EX. SAN. MH
RIM ELEV. = 790.56
12" N.I.E. = 773.66
12" S.I.E. = 773.86
10" E.I.E. = 773.86

EX. SAN. MH
RIM ELEV. = 790.30
10" W.I.E. = 774.60
4" N.E.I.E. = 785.80

5680 KRAFT AVE SE
41-19-32-300-014
KRAFT BERGIN LLC
ZONED: T1

5690 KRAFT AVE SE
41-19-32-300-039
COUNTY OF KENT
ZONED: T1



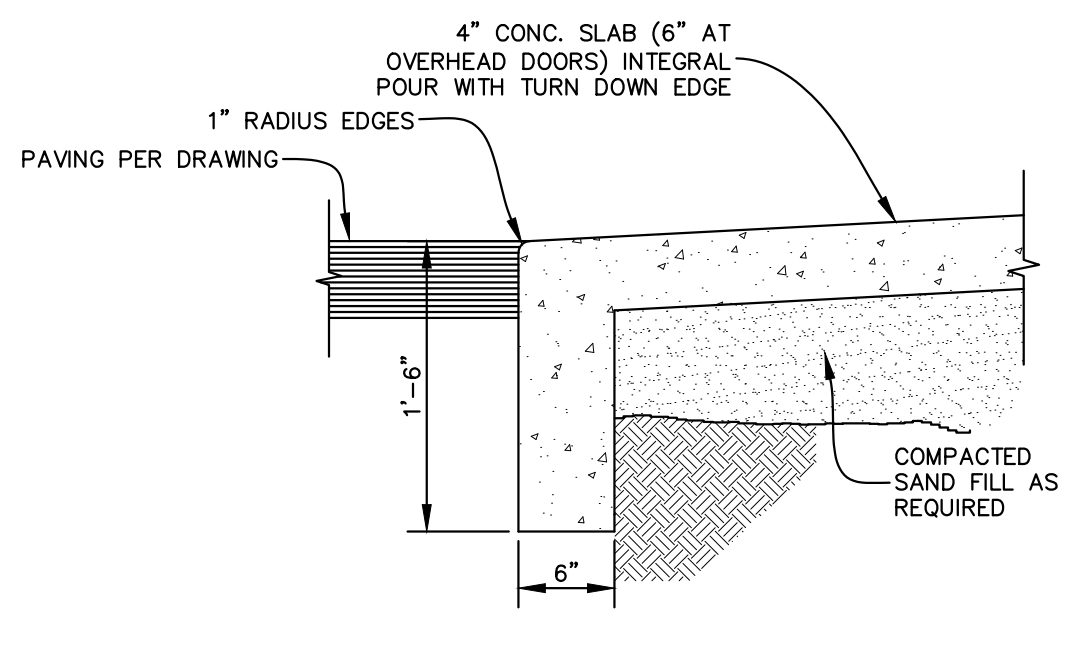
STORM WATER MANAGEMENT SYSTEM MAINTENANCE
THE STORM SEWER AND DETENTION SYSTEMS MUST BE INSPECTED AND MAINTAINED ON A REGULAR BASIS FOR OPTIMAL PERFORMANCE. SEE CHART BELOW FOR SUGGESTED INTERVALS.

TASKS	COMPONENTS					SCHEDULE
	BASIN SIDE SLOPES	BASIN BOTTOM	BASIN INLETS	CATCH BASIN INLETS	CATCH BASIN Sumps	
INSPECT FOR ACCUMULATION	●	●	●	●	●	ANNUALLY
REMOVE SEDIMENT ACCUMULATION	●	●	●	●	●	EVERY 5-10 YEARS AS NEEDED
INSPECT FOR DEBRIS (DEAD VEGETATION AND TRASH)	●	●	●	●	●	EARLY SPRING, FALL AND AFTER MAJOR STORMS
CLEAN DEBRIS	●	●	●	●	●	AS NEEDED
INSPECT FOR EROSION ON BANKS AND BOTTOM	●	●	●	●	●	EARLY SPRING, FALL AND AFTER MAJOR STORMS
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	●	●	●	●	●	AS NEEDED
RAKE OUT DEAD VEGETATION	●	●	●	●	●	ANNUALLY-EARLY SPRING
REPLACE STONE RIP-RAP	●	●	●	●	●	AS NEEDED
MOWING	●	●	●	●	●	AS NEEDED (MIN. ANNUALLY)

CONSTRUCTION SEQUENCE	2023												REMARKS	
	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	FEB				
INSTALL SILT FENCING AND INLET PROTECTION														REQUIRED
CLEAR VEGETATION AND STRIP AND STOCKPILE TOPSOIL														
ROUGH GRADE SITE (CONSTRUCT BASIN)														
CONSTRUCT BUILDING														
INSTALL UTILITIES														
INSTALL CURBING AND PAVEMENT														
FINISH GRADE, PLACE PLANTINGS, TOPSOIL AND SEED, AND MULCH BLANKETS														
CLEAN PAVEMENTS AND STORM SEWER														
REMOVE TEMPORARY EROSION CONTROL														

- SOIL EROSION CONTROL KEY**
- 3 PERMANENT/TEMPORARY SEEDING
 - 7 RIP RAP
 - 26 GEOTEXTILE SILT FENCE
 - 39 INLET PROTECTION WITH GEOTEXTILE AND STONE
 - 48 SOIL EROSION CONTROL BLANKET (N.A.G. S-150 OR EQUAL)

NOTE:
- REFER TO MDOT SOIL EROSION & SEDIMENTATION CONTROL MANUAL. THE REQUIRED MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE NECESSARY DUE TO SITE CONDITIONS, WEATHER, OR TIMING.
- CONTRACTOR SHALL PLACE NA-GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET ON ALL SLOPES 1 ON 3 OR STEEPER AND IN THE BOTTOM ONE FOOT OF THE DRAINAGE SWALES.
- THE DETENTION BASIN SHALL BE ONE OF THE FIRST ITEMS CONSTRUCTED, AND SHALL BE CLEANED OUT PRIOR TO OWNER ACCEPTANCE.
- SITE SOILS CONSIST OF LOAM PER USDA NRCS MAPS.
- TOTAL DISTURBED AREA IS 6.4 ACRES.
- THORNAPPLE RIVER IS LOCATED 1.8 MILES TO THE EAST.
- CONTRACTOR SHALL SWEEP THE STREET OF ANY DIRT TRACKED ONTO IT BY THE CONSTRUCTION OPERATION AS NEEDED AND AS DIRECTED BY COUNTY SECC AGENT.



FLUSH SIDEWALK EDGE
NOT TO SCALE

REVISIONS:
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APPROVED BY RGH
DATE: FEBRUARY 20, 2023

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Roostein & Associates
SURVEYING AND ENGINEERING

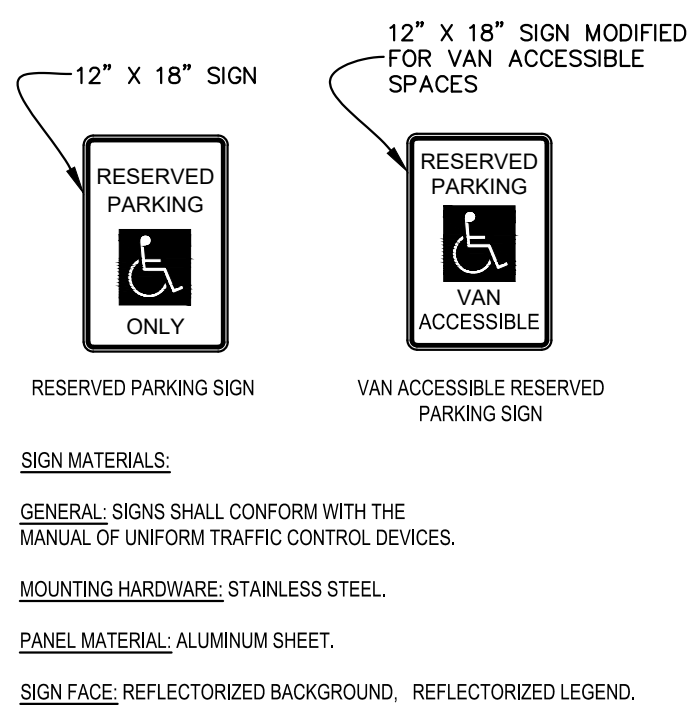
6056 PLUMBED AVE. SE
GRAND RAPIDS, MI 49525
TELE. (616) 361-7220

GRADING AND SECC PLAN
FLEET QUEST LOGISTICS
SECTION 32, T6N, R10W
CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

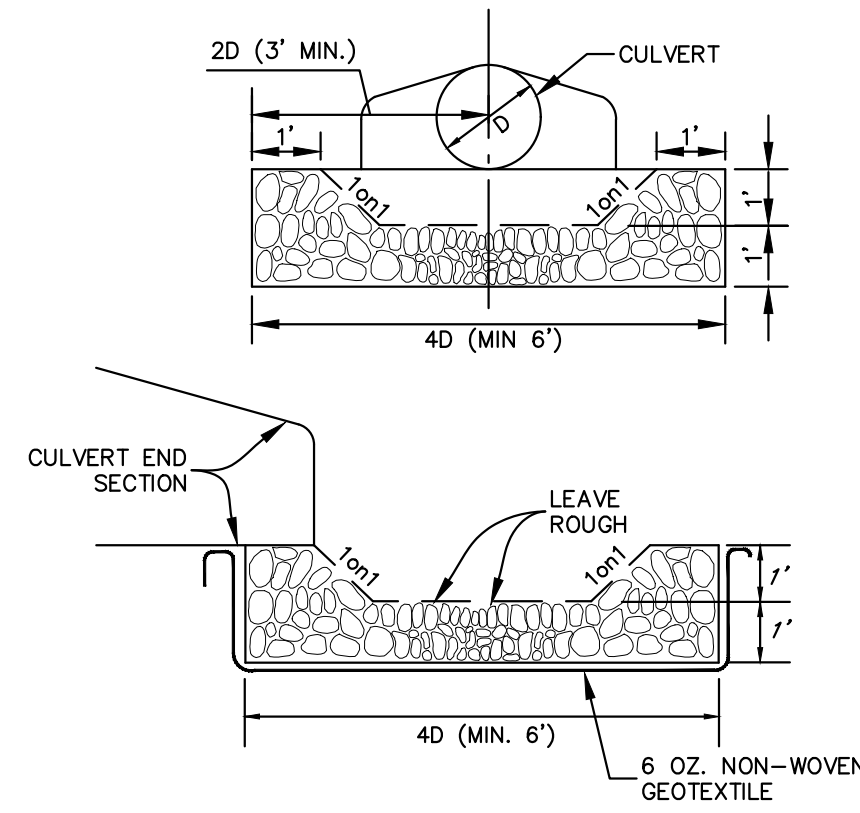
CLIENT:
FLEET QUEST LOGISTICS
4295 HARALSON CT
GRAND RAPIDS, MI 49546
(616) 706-0685

PROJECT NO.
230059

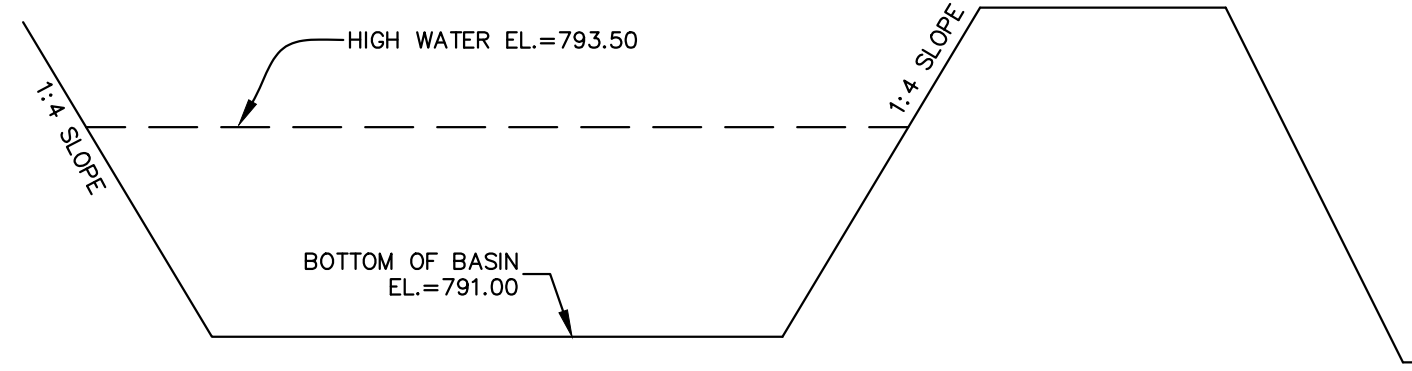
C-104



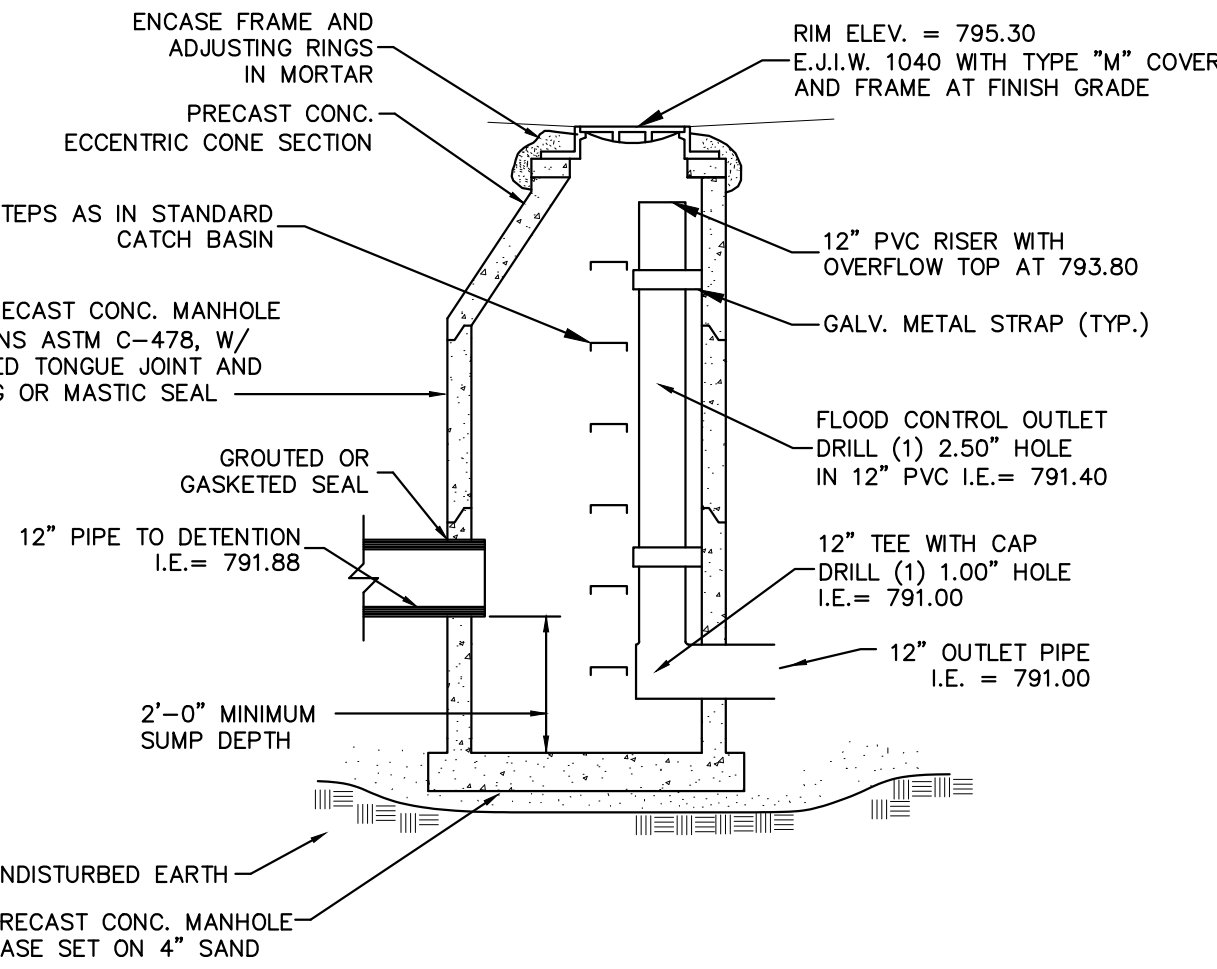
BARRIER FREE SIGNS
NOT TO SCALE



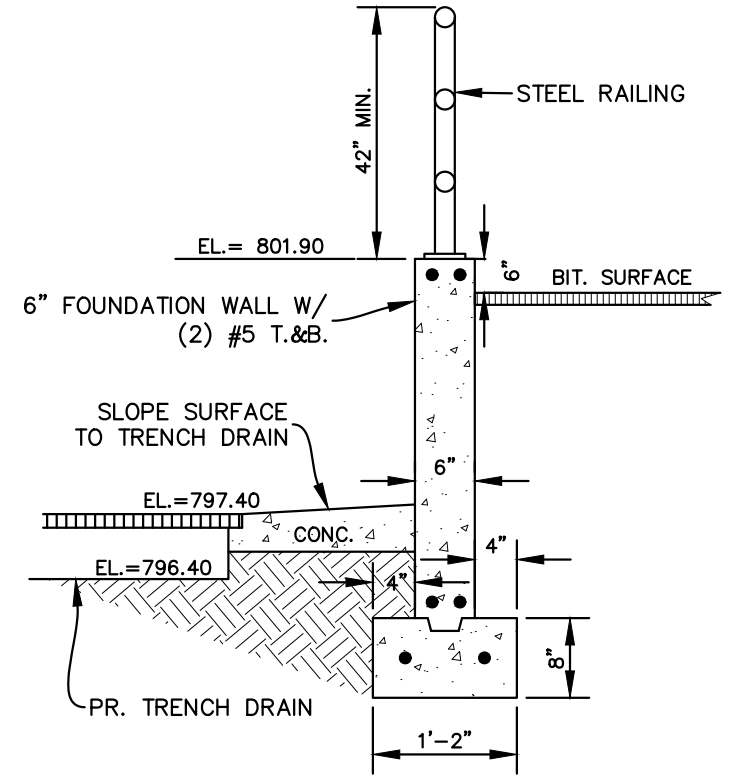
RIPRAP APRON
NOT TO SCALE



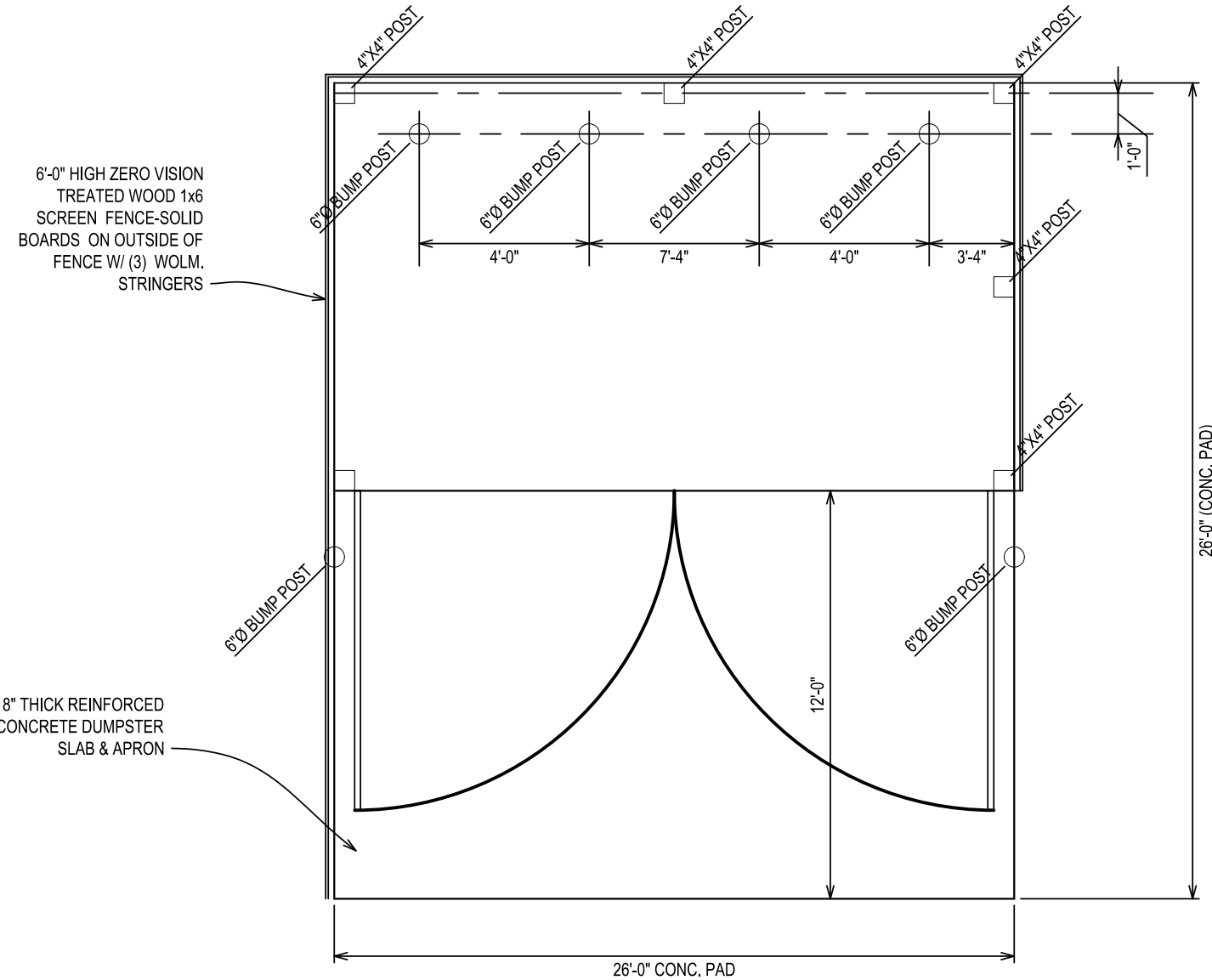
EAST BASIN CROSS SECTION
NOT TO SCALE
NOTE: OVERFLOW PROVIDED BY OC-4



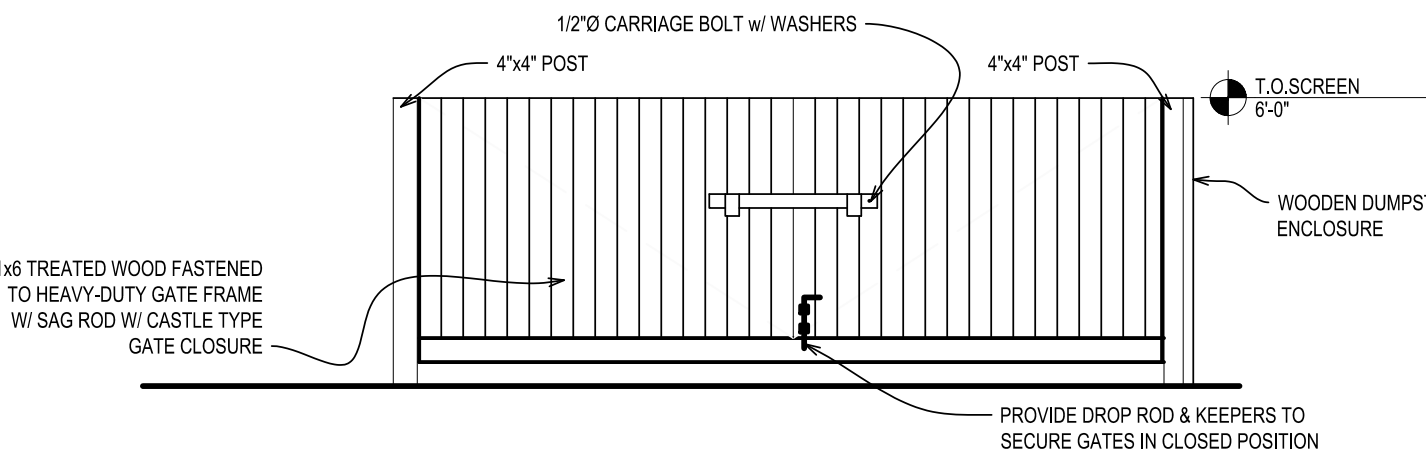
OUTLET STRUCTURE (OC - 4)
NOT TO SCALE



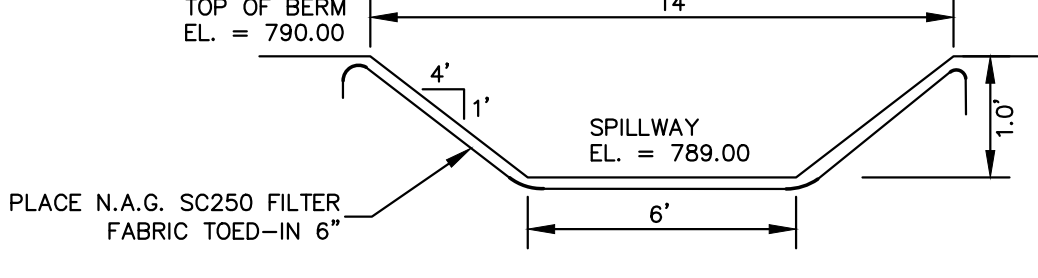
RETAINING WALL SECTION
NOT TO SCALE
(SEE STRUCTURAL PLANS FOR FINAL CONSTRUCTION DETAIL)



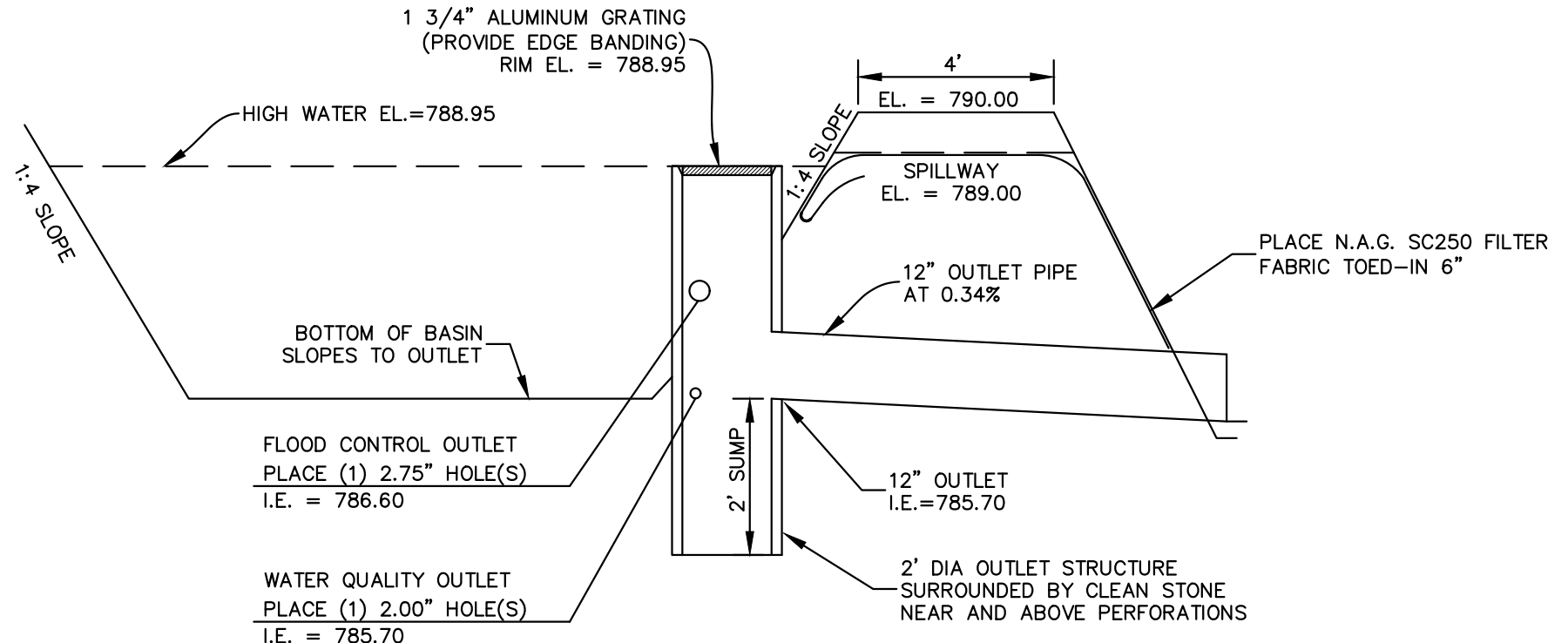
DUMPSTER ENCLOSURE ELEVATION/PLAN
NOT TO SCALE



FABRIC SILTATION FENCING
NOT TO SCALE



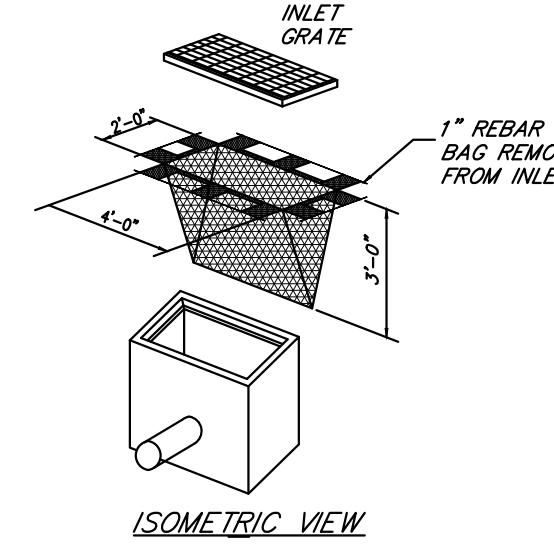
WEST BASIN OVERFLOW SPILLWAY
NOT TO SCALE



WEST BASIN OUTLET STRUCTURE (OS-17)
NOT TO SCALE

INLET PROTECTION – FABRIC DROP SPECIFICATIONS

- When** • When sediment laden stormwater requires treatment before entering a stormwater drainage system.
- Why** • To prevent sediment from entering stormwater systems.
- Where** • Use in or at stormwater inlets, especially at construction sites or in streets.
- How**
 1. A filter fabric bag is hung inside the inlet, beneath the grate.
 2. Replace grate, which will hold bag in place.
 3. Anchor filter bag with 1" rebar for removal from inlet.
 4. Flaps of bag that extend beyond the bag can be buried in soil in earth areas.
- Maintenance**
 - Drop inlet filters should be inspected routinely and after each major rain event.
 - Damaged filter bags should be replaced.
 - Clean and/or replace filter bag when 1/2 full.
 - Replace clogged fabric immediately.
 - If needed, initiate repairs immediately upon inspection.
 - Remove entire protective mechanism when upgradient areas are stabilized and streets have been swept.
- Limitations**
 - Can only accommodate small flow quantities.
 - Requires frequent maintenance.
 - Ponding may occur around storm drains if filter is clogged.



INSTALLATION DETAIL



PROJECT NOTES AND SPECIFICATIONS

GENERAL NOTES
A) ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES, RULES AND REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED BY STATE AND LOCAL AGENCIES RELATED TO SOIL EROSION AND SEDIMENTATION.

B) ALL ITEMS OF WORK NOT COVERED BY THESE SPECIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE CASCADE TOWNSHIP SPECIFICATIONS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE MOST STRINGENT REQUIREMENTS AS LISTED IN THE PLANS AND SPECIFICATIONS SHALL APPLY.

C) ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. EXACT LOCATIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS DIG AT 811/482-7171 AT LEAST 3 WORKING DAYS PRIOR TO ANY UNDERGROUND CONSTRUCTION.

D) CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER 48 HOURS BEFORE WORK BEGINS.

E) ROOSIEN AND ASSOCIATES AS THE DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE OR LIABLE FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE DRAWINGS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH RISE FROM OTHERS' FAILURE TO OBTAIN AND FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

F) CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, CONSTRUCTION MEANS, CONTROLS, TECHNIQUES, SEQUENCES AND PROCEDURES.

GENERAL SPECIFICATIONS
A) ALL CONSTRUCTION AREAS SHALL BE CLEARED OF ALL TREES, BRUSH, WEEDS, ETC. ALL SPOIL MATERIAL IS TO BE DISPOSED OF IN AREAS DESIGNATED BY THE OWNER AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

B) STRIP ALL TOPSOIL AND ORGANIC MATERIAL ON SITE WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT WHERE GRADES ARE TO BE CHANGED, OR IN AREAS TO BE IMPROVED, IF MATERIAL IS FREE OF ROOTS, ROCKS AND DEBRIS, AND IS APPROVED BY THE ENGINEER, IT SHALL BE TEMPORARILY STOCKPILED ON SITE FOR LATER USE.

C) CONSTRUCTION ACCESS AND MATERIAL STORAGE IS LIMITED TO THE AREAS DESIGNATED ON THE DRAWINGS OR AS APPROVED BY THE OWNER.

D) WHERE IT IS NECESSARY TO WORK OUTSIDE THE PROPERTY CONTROLLED BY THE OWNER, THE CONTRACTOR SHALL OBTAIN LEGAL AUTHORITY FROM ADJACENT PROPERTY OWNERS TO COMPLETE THE WORK AS OUTLINED IN THESE DOCUMENTS.

E) ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE BROUGHT TO FINISH GRADES AS SHOWN ON THE DRAWINGS. ALL AREAS DISTURBED SHALL BE RESTORED WITH A MINIMUM OF 4" OF TOPSOIL, SEEDED AND MULCHED.

F) THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION ON THE NEED FOR IMPORTED OR EXPORTED MATERIAL. THE PROPOSED GRADING PLAN MAY NOT PROVIDE FOR A "BALANCED" SITE.

G) ALL AREAS DISTURBED DUE TO SITE ACCESS SHALL BE RESTORED TO THE PRECONSTRUCTION CONDITION OR BETTER.

H) BACKFILL AND COMPACTION: ALL BACKFILL SHALL BE CLEAN, FREE OF LARGE ROCKS, DEBRIS AND ORGANIC MATERIAL. COMPACT ALL BACKFILL TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, ASTM D-1557. BACKFILL SHALL BE PLACED IN A MAXIMUM OF 12" LIFTS UNLESS GEOTECH REPORT HAS MORE STRINGENT REQUIREMENTS.

I) STORM SEWER CATCH BASINS TO BE 4' DIA., UNLESS OTHERWISE NOTED. STORM SEWER INLETS AND OUTLETS TO BE 2' DIA., UNLESS OTHERWISE NOTED. ALL CATCH BASINS AND OUTLET STRUCTURES SHALL HAVE A 2' DEEP SUMP. CATCH BASIN GRATE SHALL BE E.J.I.W. #1040 M1.

J) PERFORATED UNDERDRAIN TO BE SMOOTH LINED CORRUGATED POLYETHYLENE PIPE TYPE S, PER AASHTO M252 AND PRE-WRAPPED WITH A GEOTEXTILE FILTER SOCK. ALL EXPOSED PIPE ENDS SHALL HAVE CONCRETE END SECTIONS INSTALLED.

SITE CONCRETE FLATWORK
A) MATERIALS: READY MIXED CONCRETE: ASTM C94. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3,500 PSI FOR ALL EXTERIOR CONCRETE. 1. SLUMP RANGE: 2 INCHES TO 4 INCHES. 2. AIR CONTENT: 4 PERCENT TO 7 PERCENT. 3. LIMESTONE AGGREGATE SHALL BE USED.

B) CURING MATERIAL: ASTM C171 WHITE, OPAQUE POLYETHYLENE FILM TYPE.

C) EXPANSION JOINT FILLERS: SHALL BE ASTM D1751 PREFORMED, BITUMINOUS FIBER TYPE WITH EXPANSION BOARD CAP AND REMOVABLE TOP CAP SECTION.

D) CONCRETE SEALER: SEALANT TO BE 2-PART URETHANE PAVING SEALANT. SEALANT TO BE POURABLE, CHEMICALLY CURING COMPLYING WITH FS 55-S-200 WITH MINIMUM MOVEMENT CAPABILITY OF 12.5 PERCENT. HYDROZO, ENVIROSEAL 40.

REVISIONS:
MAY 3, 2023 – REV. PER TWP.
MAY 6, 2023 – REV. PER OWNER

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DATE: FEBRUARY 20, 2023
MARCH 6, 2023 – FOR SUBMITTAL
APRIL 10, 2023 – REV. PER TWP.
APRIL 13, 2023 – REV. PER TWP.

DRAWN BY: YS
APPROVED BY: RGH

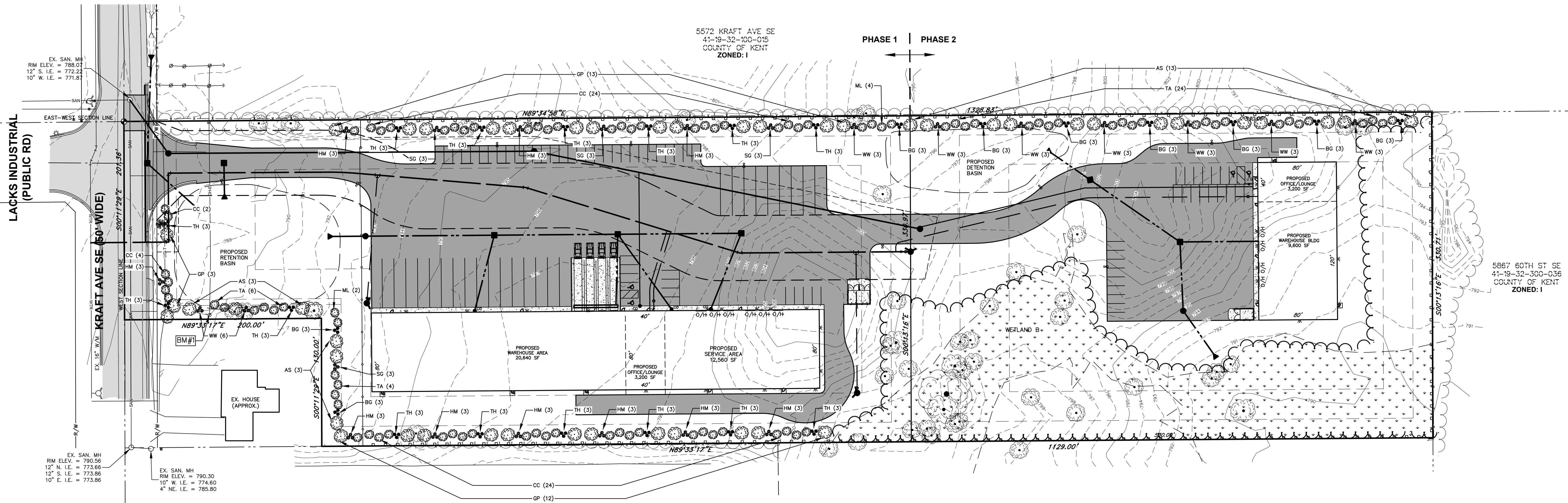
ROOSIEN & ASSOCIATES
SURVEYING AND ENGINEERING
6559 PLUMBERS AVE. SE
GRAND RAPIDS, MI 49525
TELE: (616) 361-7220

DETAIL PLAN
FLEET QUEST LOGISTICS
SECTION 32, 16N, R10W
CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

CLIENT:
FLEET QUEST LOGISTICS
4295 HARALSON CT
GRAND RAPIDS, MI 49546
(616) 706-0688

PROJECT NO.
230059

C-501



EX. SAN. MH
RIM ELEV. = 788.07
12" S. I.E. = 772.23
10" W. I.E. = 771.81

EX. SAN. MH
RIM ELEV. = 790.56
12" N. I.E. = 773.66
12" S. I.E. = 773.86
10" W. I.E. = 774.60
10" E. I.E. = 773.86

EX. SAN. MH
RIM ELEV. = 790.30
10" W. I.E. = 774.60
4" N.E. I.E. = 785.80

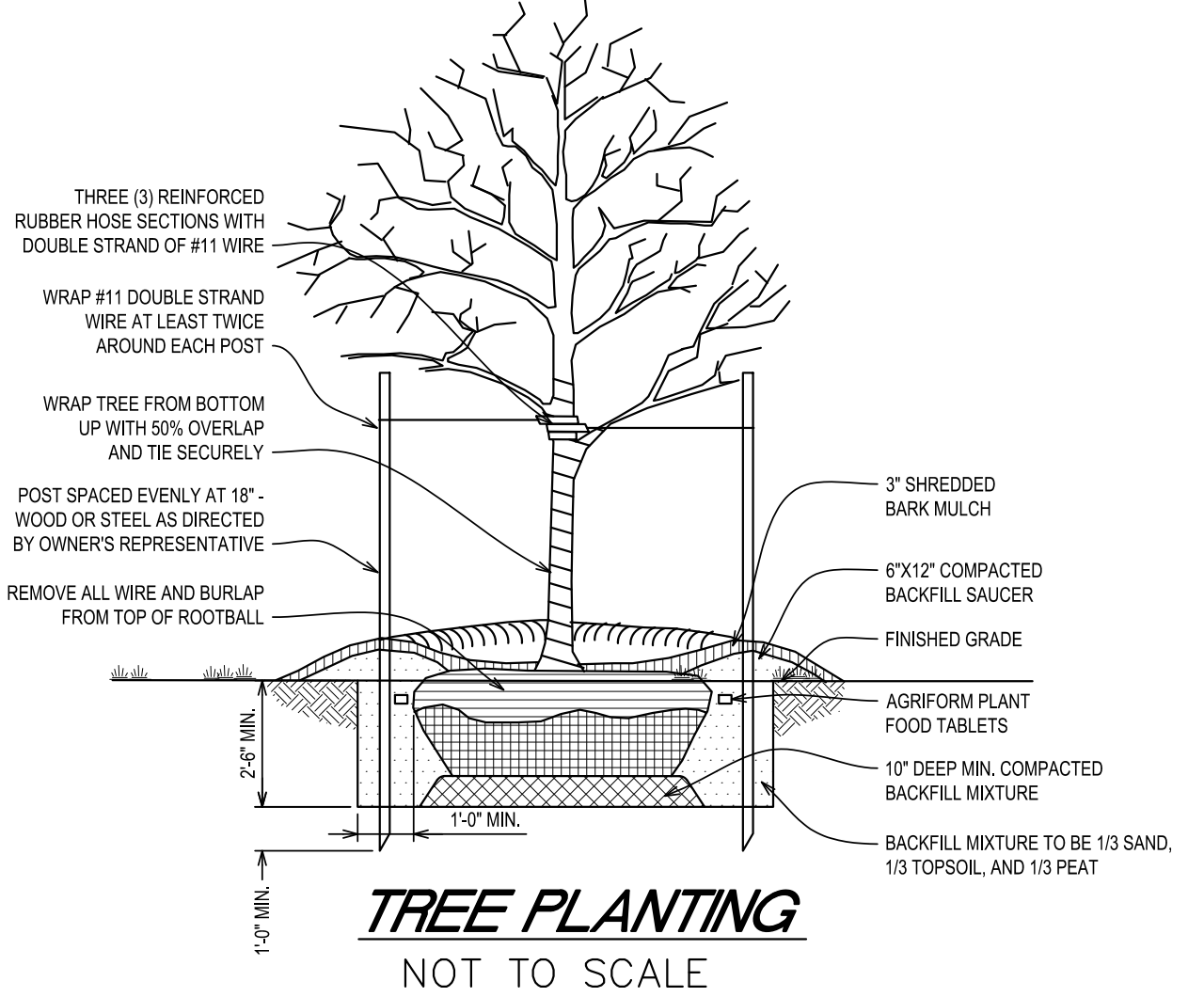
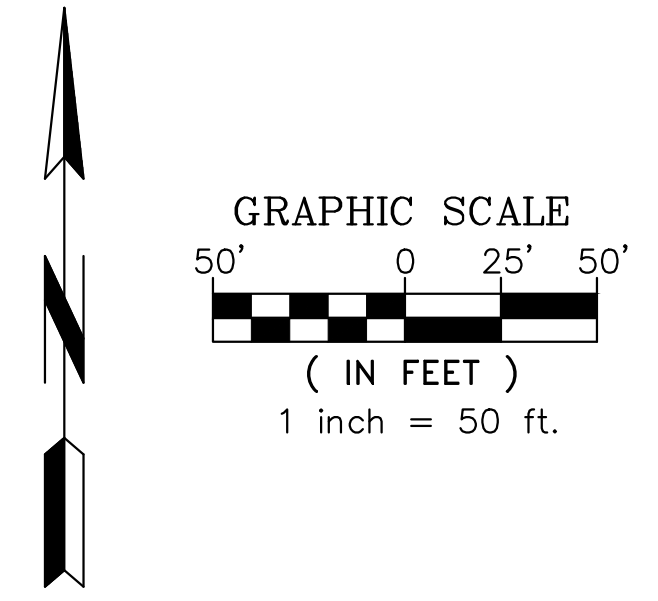
5572 KRAFT AVE SE
41-19-32-100-015
COUNTY OF KENT
ZONED: I

PHASE 1 | PHASE 2

5867 60TH ST SE
41-19-32-300-036
COUNTY OF KENT
ZONED: I

5680 KRAFT AVE SE
41-19-32-300-014
KRAFT BERGIN LLC
ZONED: T1

5690 KRAFT AVE SE
41-19-32-300-039
COUNTY OF KENT
ZONED: T1



- NOTES:**
1. ALL LANDSCAPING SHALL BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR TO THE SIZE SPECIFIED ON THE LANDSCAPE PLAN. SMALLER SIZES WILL BE REJECTED.
 2. ALL PLANTINGS SHALL BE MULCHED WITH 3" SHREDDED PREMIUM HARDWOOD BARK MULCH. TREES IN LAWN AREAS SHALL RECEIVE A 6" DIAMETER BARK RING 3" DEEP.
 3. THE LANDSCAPE CONTRACTOR SHALL REMOVE ANY TWINE THAT IS WRAPPED AROUND THE TRUNK OF A TREE OR SHRUB AS WELL AS TOP THIRD OF ANY BURLAP. REMOVE EXCESS SOIL ON THE TOP OF THE ROOT BALL TO EXPOSE THE ROOT FLARE OR FIRST LAYER OF ROOTS PRIOR TO PLANTING. USE A WIRE CUTTER TO MAKE 35 CUTS IN THE WIRE BASKET TO ALLOW ROOTS TO GROW THROUGH.
 4. PLANTING AREAS SHALL BE EDGED WITH A MECHANICAL BED EDGER AT A DEPTH OF 4" TO DEFINE BORDER FOR SHREDDED BARK MULCH.
 5. PARKING ISLANDS SHALL BE BACK FILLED WITH AT LEAST 24" OF TOPSOIL. AMEND THE TOPSOIL WITH COMPOSTED MANURE AND MIX INTO THE TOP SOIL AT A DEPTH OF 6-12". ANY AGGREGATE OR STONE FROM THE CONSTRUCTION OF THE PARKING LOT SHALL BE REMOVED PRIOR TO BACKFILL.
 6. LAWN AREAS SHALL RECEIVE AT LEAST 4" OF TOPSOIL AND HYDROSEED. CHECK WITH SPECIFICATIONS FOR TOPSOIL AVAILABILITY OR CONTACT PROJECT MANAGER. TOPSOIL FOR LAWNS SHALL BE APPROPRIATE FOR GROWING AND SUSTAINING A HEALTHY LAWN. ALL LAWNS EXCLUDING THE DETENTION BASINS SHALL BE HYDROSEEDED WITH A SEED BLEND CONSISTING OF 30% KENTUCKY BLUEGRASS, 20% PERENNIAL RYEGRASS, 10% HARD FESCUE, 20% CREEPING RED FESCUE AND 20% CHEWINGS FESCUE.
 7. MAINTENANCE OF THE LANDSCAPE SHALL BE PROVIDED BY THE OWNER AND INCLUDING FERTILIZING OF LAWN AND PLANT MATERIAL, YEARLY PRUNING, TOP DRESSING OF MULCH AREAS EVERY OTHER YEAR, AND PROVIDE 1" OF WATER PER WEEK DURING THE GROWING SEASON.
 8. PLANT MATERIALS SHALL BE CHOSEN AND INSTALLED IN ACCORDANCE WITH STANDARDS RECOMMENDED BY THE COUNTY COOPERATIVE EXTENSION SERVICE OR AMERICAN NURSERY ASSOCIATION.
 9. ALL LAWN AND SHRUB BED AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE LANDSCAPE CONTRACTOR. SHRUB AREAS SHALL BE IRRIGATED WITH DRIP IRRIGATION. PRINCETON SENTRY GINKGO IS A MALE GINKGO CULTIVAR.
 - 10.

REQUIRED LANDSCAPING NOTES:

1. BUFFER YARD:
 - A. MIN. 20 FEET WIDE BUFFER YARD IS REQUIRED AND PROVIDED
 - B. 2 CANOPY TREES, 4 UNDERSTORY TREES, AND 6 SHRUBS FOR EVERY 100 LFT IS REQUIRED
 - C. NORTH PROPERTY IS 1276 LFT* SO 26 CANOPY TREES, 52 UNDERSTORY TREES, AND 77 SHRUBS REQUIRED AND PROVIDED
 - D. EAST PROPERTY IS 330.7 LFT* SO 7 CANOPY TREES, 14 UNDERSTORY TREES, AND 20 SHRUBS REQUIRED AND PROVIDED
 - E. SOUTH PROPERTY IS 599 LFT* SO 12 CANOPY TREES, 24 UNDERSTORY TREES, AND 36 SHRUBS REQUIRED AND PROVIDED
 - F. WEST PROPERTY IS 130 LFT* SO 3 CANOPY TREES, 6 UNDERSTORY TREES, AND 9 SHRUBS REQUIRED AND PROVIDED
 - G. 127 LFT OF FRONTAGE EXCLUDING DRIVEWAY AREA* SO 3 CANOPY TREES, 6 UNDERSTORY TREES, 8 SHRUBS REQUIRED AND PROVIDED
 - * EXCLUDING DRIVES, CLEAR VISION AREAS, AND SIDEWALK AREAS
2. ALL DISTURBED AREAS TO BE RESTORED WITH TOPSOIL, SEED, AND MULCH
3. ALL REQUIRED LANDSCAPING MATERIALS SHALL CONFORM TO CASCADE TOWNSHIP LANDSCAPING ORDINANCE

PLANT SCHEDULE:

TREES	COMMON NAME	SIZE	CONTAINER	QUANTITY
GP	PRINCETON SENTRY GINKGO	3" CAL.	B&B	28
AS	SUGAR MAPLE	3" CAL.	B&B	19
CC	EASTERN REDBUD	2" CAL.	B&B	54
TA	AMERICAN LINDEN	2" CAL.	B&B	36
SHRUBS				
TH	HICKS YEW	24"	POT	45
TH	SPIREA	24"	POT	12
HM	ENDLESS SUMMER HYDRANGEA	24"	POT	30
BG	GREEN VELVET BOXWOOD	24"	POT	27
WW	WINE & ROSES WEIGELA	24"	POT	27

LEGEND

	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED HEAVY DUTY BIT. PAVEMENT
	PROPOSED CONC.
	PROPOSED SHRUB
	PROPOSED CANOPY TREE
	PROPOSED UNDERSTORY TREE
	PROPOSED EVERGREEN TREE

REVISIONS:
MAY 3, 2023 - REV. PER TWP.
MAY 7, 2023 - REV. PER OWNER
MAY 8, 2023 - REV. PER OWNER

DRAWN BY: VS
APPROVED BY: RGH
DATE: FEBRUARY 20, 2023

REVISIONS:
MARCH 6, 2023 - FOR SUBMITTAL
APRIL 10, 2023 - REV. PER TWP.
APRIL 13, 2023 - REV. PER TWP.

Roosten & Associates
Sustainable and Engineering

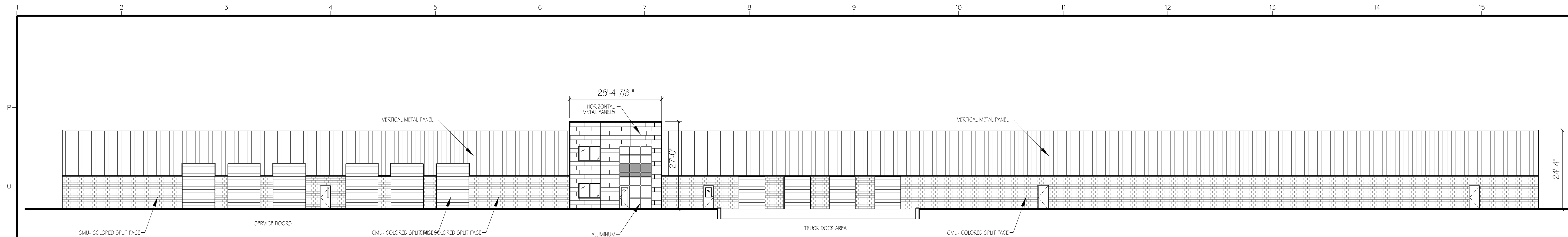
6058 HAWLEED AVE. SE
GRAND RAPIDS, MI 49525
TELE (616) 361-7220

LANDSCAPE PLAN
FLEET QUEST LOGISTICS
SECTION 32, T6N, R10W
CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

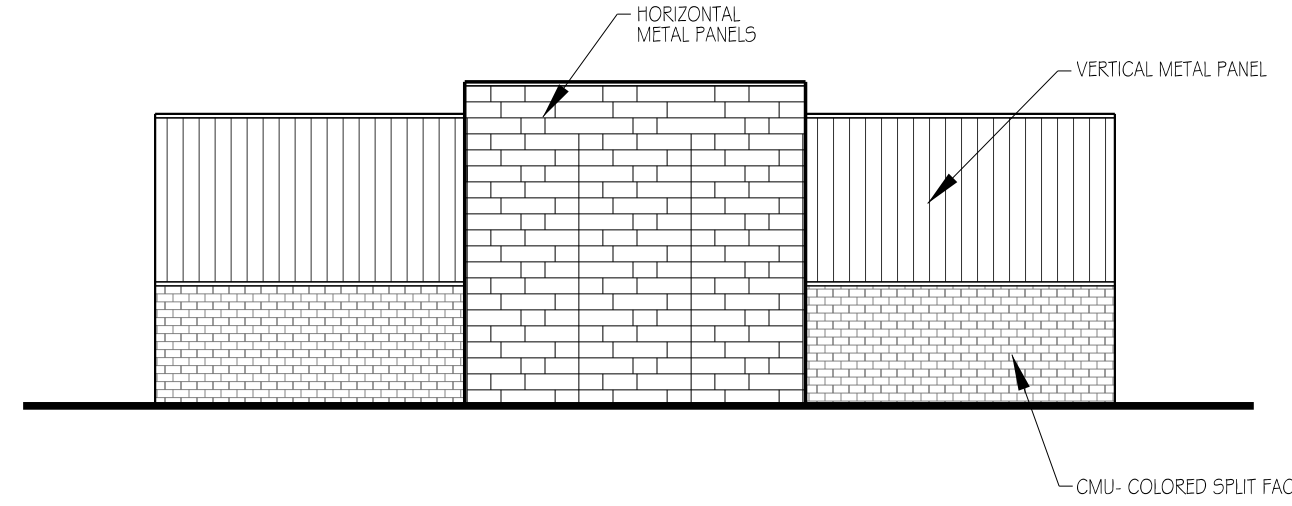
CLIENT:
FLEET QUEST LOGISTICS
4295 HARALSON CT
GRAND RAPIDS, MI 49546
(616) 706-0685

PROJECT NO.
230059

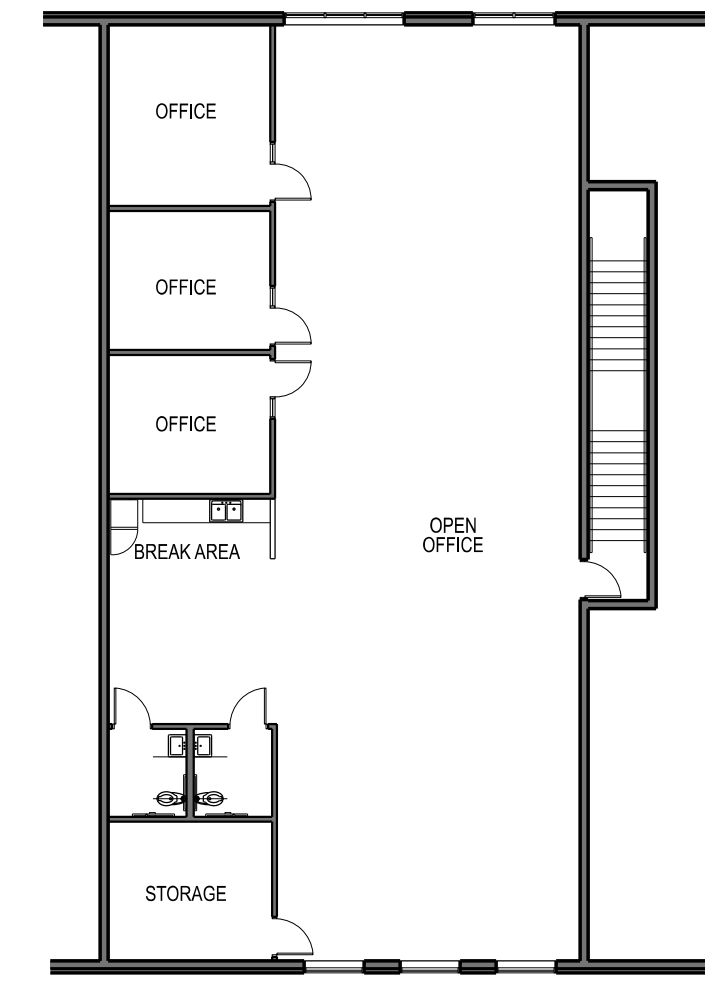
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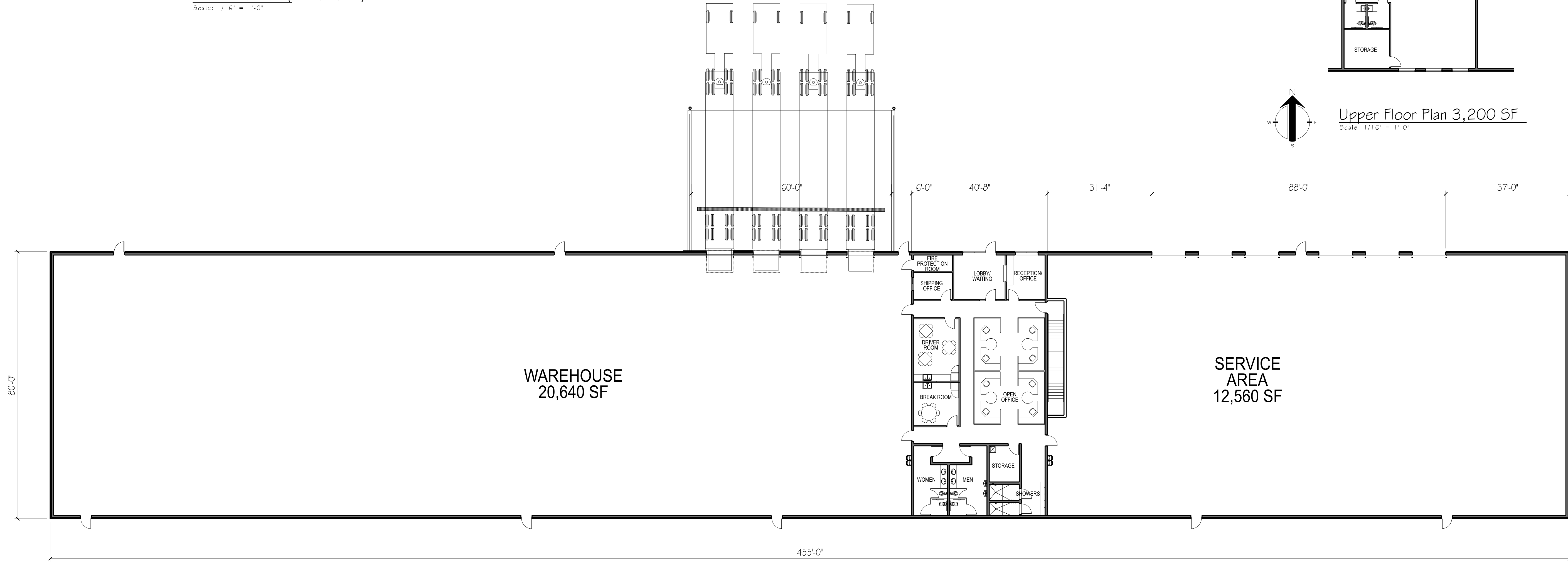
North Elevation
Scale: 1/16" = 1'-0"



East Elevation (faces Kraft)
Scale: 1/16" = 1'-0"



Upper Floor Plan 3,200 SF
Scale: 1/16" = 1'-0"



Proposed Floor Plan- 36,400 SF
Scale: 1/16" = 1'-0"

Mark	Description	Date
	FOR SITE PLAN APPROVAL	03/01/23
	FOR SITE PLAN APPROVAL	05/08/23

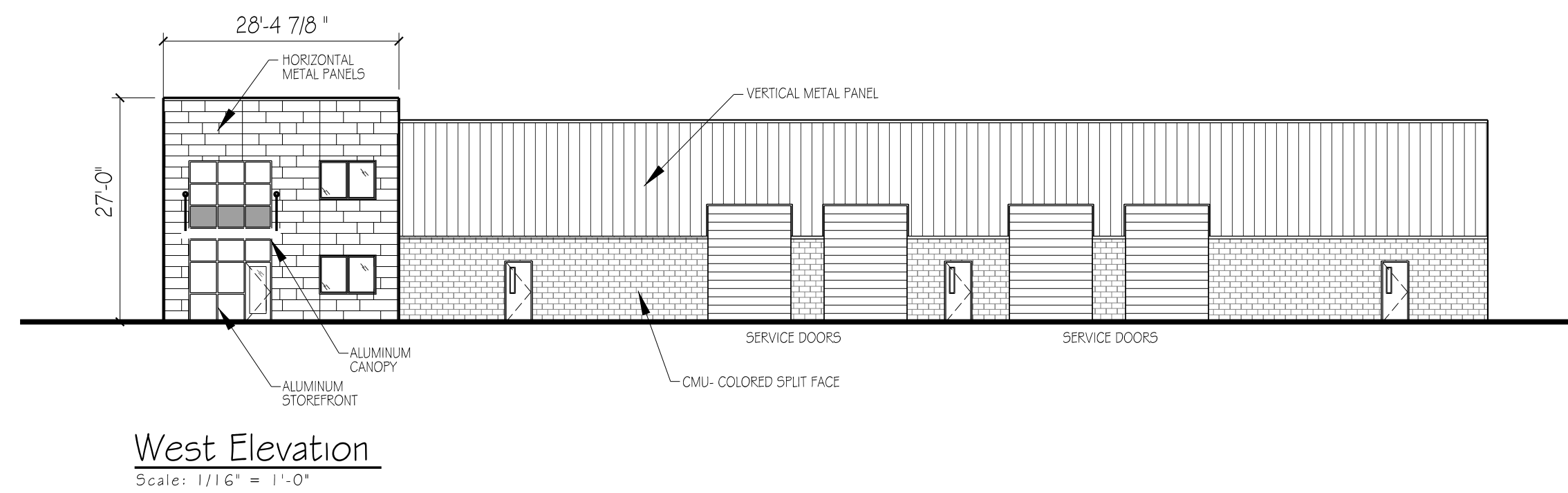
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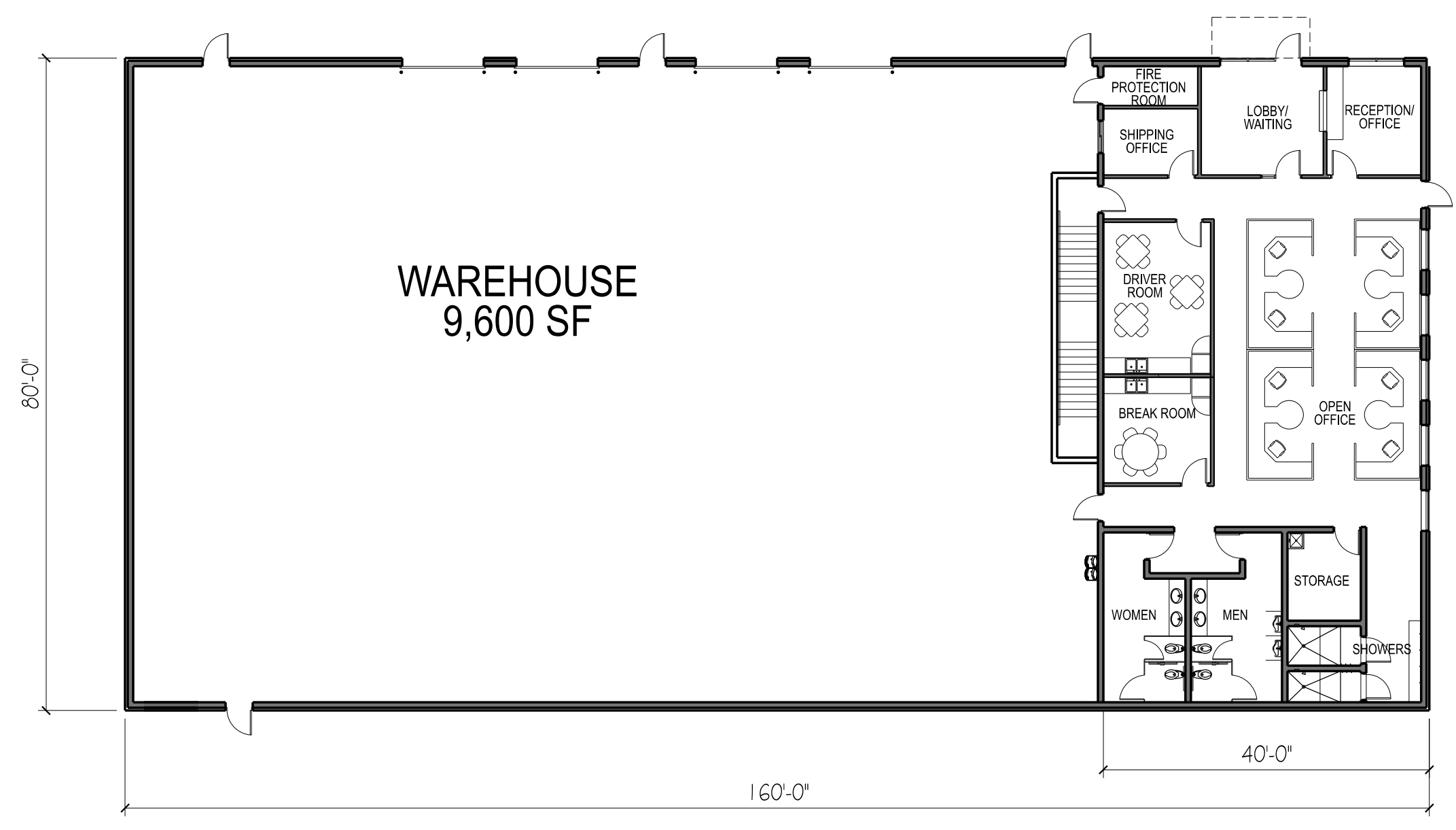
ARCHITECTURE PLANNING ENGINEERING
855 28th Street SE
Grand Rapids MI 49508
Phone: 616-241-0090
Fax: 616-241-0098

New Facility For:
Fleet Quest Logistics LLC
Knapp Ave, Cascade Township Michigan

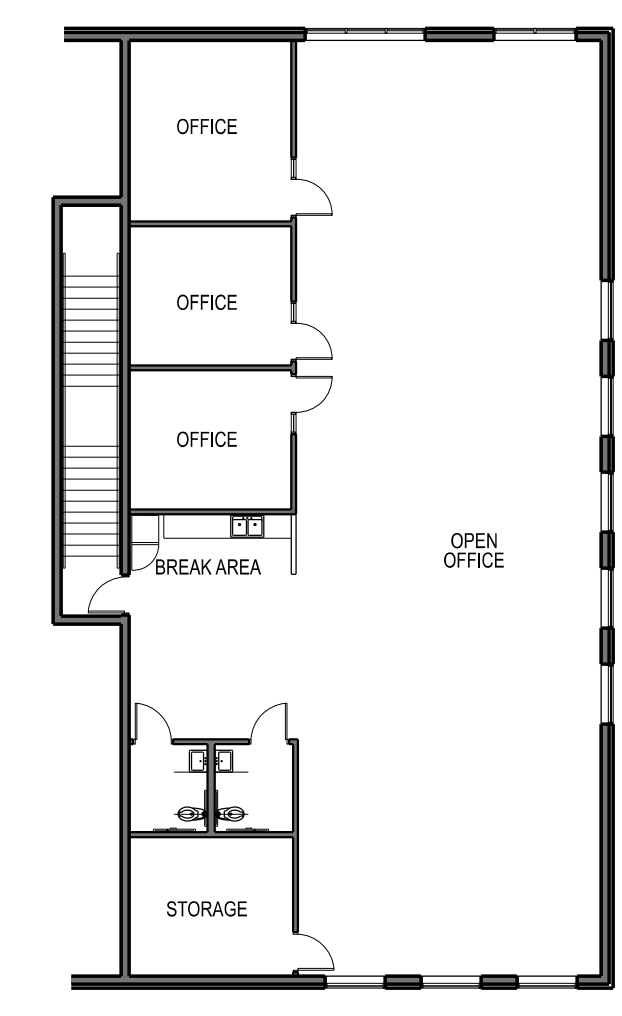
Floor Plan	
Issued	Drawing No.
-	A1.0
Project No.	
23011	



West Elevation
Scale: 1/16" = 1'-0"



Proposed Floor Plan- 12,800 SF
Scale: 1/16" = 1'-0"



Upper Floor Plan 3,200 SF
Scale: 1/16" = 1'-0"

Mark	Description	Date
	FOR SITE PLAN APPROVAL	03/08/23

Building Design & Documentation © 2022-2025 Jeffrey Parker Architects Inc.



ARCHITECTURE PLANNING ENGINEERING
855 28th Street SE
Grand Rapids MI 49508
Phone: 616-241-0090
Fax: 616-241-0098

New Facility For:
Fleet Quest Logistics LLC
Knapp Ave, Cascade Township Michigan

Floor Plan-Phase 2

Issued	Drawing No.
-	A1.1
Project No.	
23011	



Crites, Tidey, & Assoc., Inc.
 908C West River Center Dr
 Comstock Park MI 49321
 PH: 616-647-2400
 www.critetidley.com

PHOTOMETRIC EVALUATION
 NOT FOR CONSTRUCTION
 Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.
 This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:

FLEET QUEST TRANSPORTATION
ADDRESS

SALES

QUOTES

DATE

4.6.2023

DESIGNER

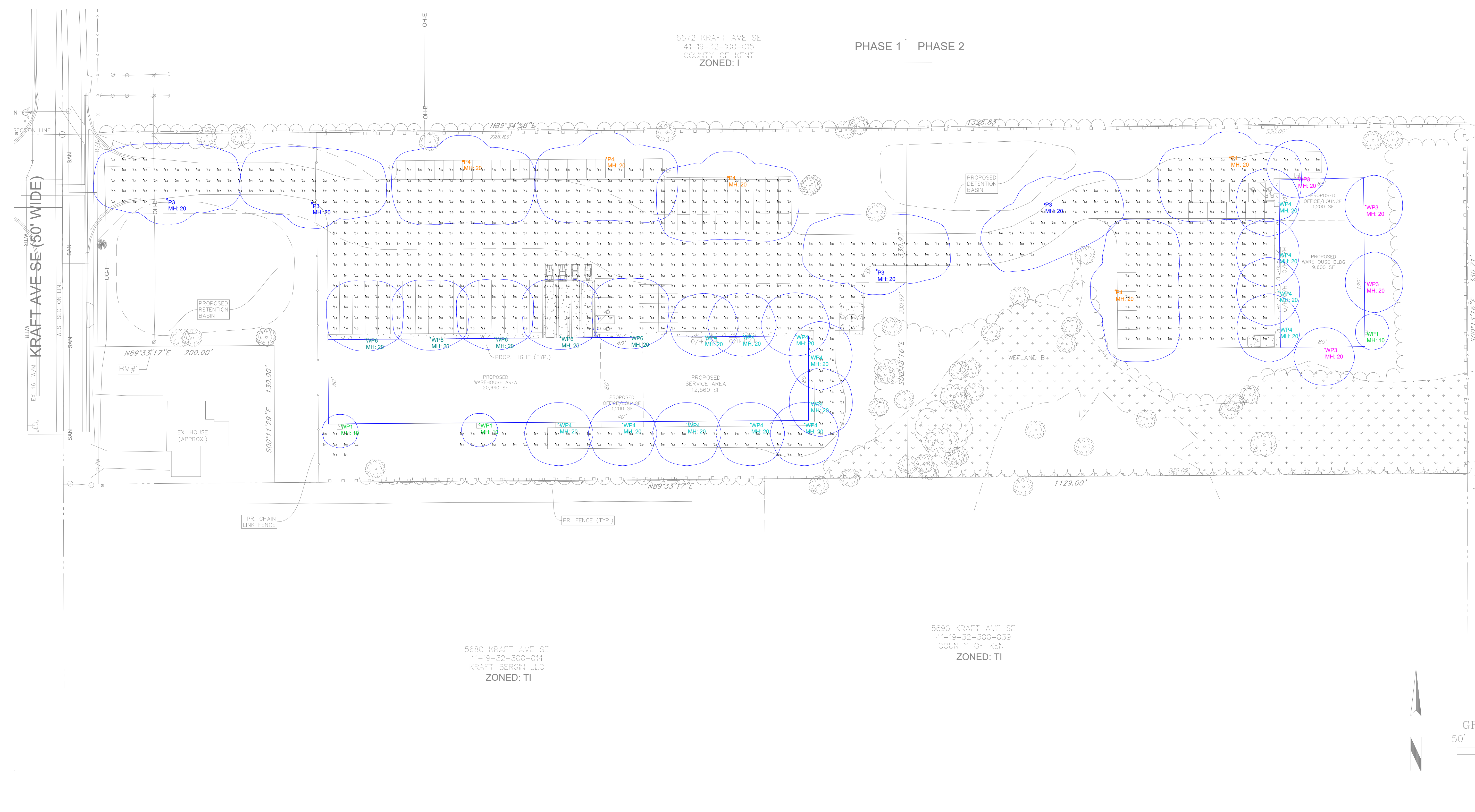
JEN YONKERS

REVISIONS

DATE	NAME
XX	XX

SHEET

1



5572 KRAFT AVE SE
 41-19-32-100-015
 COUNTY OF KENT
 ZONED: I

PHASE 1 PHASE 2

5680 KRAFT AVE SE
 41-19-32-300-014
 KRAFT BERGIN LLC
 ZONED: TI

5690 KRAFT AVE SE
 41-19-32-300-039
 COUNTY OF KENT
 ZONED: TI

PHOTOMETRIC PLAN
 SCALE: NTS

Luminaire Schedule

Scene: GEN

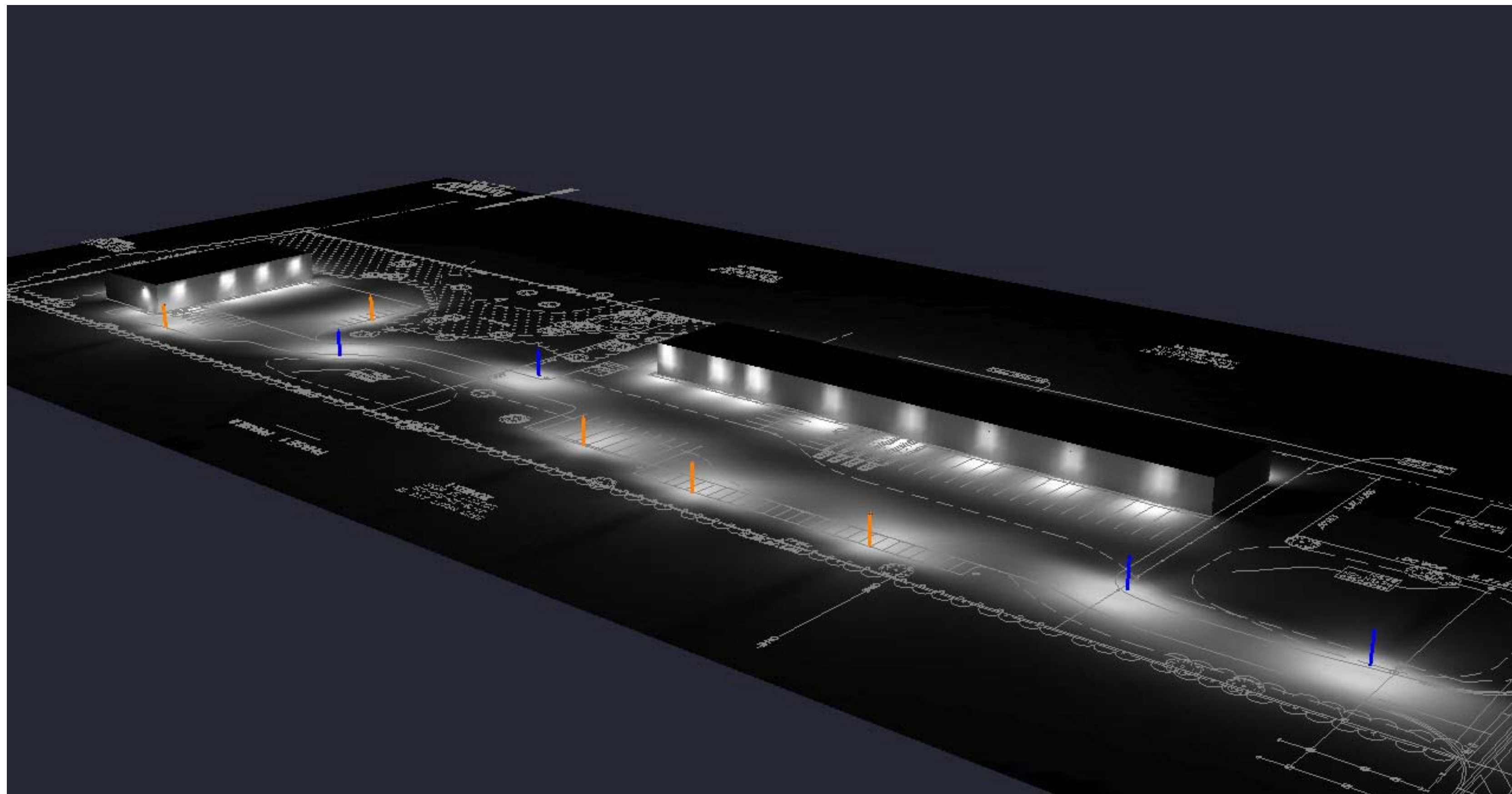
Symbol	Qty	Label	Arrangement	LLD	LDD	BF	[MANUFAC]	Description	MNT HEIGHT	MNT TYPE	Ttl Watts
	4	P3	Single	0.980	0.940	1.000	COOPER - LUMARK	PRV-PA1B-740-U-T3	20	POLE	296
	5	P4	Single	0.980	0.940	1.000	COOPER - LUMARK	PRV-PA1B-740-U-T4W	20	POLE	370
	3	WP1	Single	0.980	0.940	1.000	COOPER - LUMARK	XTOR1B	10	WALL	36.6
	4	WP3	Single	0.980	0.940	1.000	COOPER - LUMARK	XTOR3B	20	WALL	102
	14	WP4	Single	0.980	0.940	1.000	COOPER - LUMARK	XTOR4B	20	WALL	527.8
	5	WP6	Single	0.970	0.940	1.000	COOPER - LUMARK	XTOR6B	20	WALL	290

Calculation Summary

Scene: GEN

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
LOT	Illuminance	Fc	0.83	4.7	0.1	8.30	47.00

NOTES:
 - CALC AT GRADE
 - CALC GRID IS 10X10



Crites, Tidey, & Assoc., Inc.
 908C West River Center Dr
 Comstock Park MI 49321
 PH: 616-647-2400
 www.critestidey.com

PHOTOMETRIC EVALUATION
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DESIGNED FOR:

FLEET QUEST TRANSPORTATION ADDRESS

SALES

QUOTES

DATE

4.6.2023

DESIGNER

JEN YONKERS

REVISIONS

DATE	NAME
XX	XX

SHEET

2

SCHEDULES

SCALE: NTS



CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546-7140

Date May 10, 2023
To Brian Hilbrands
From Aric Thorne, PE
Subject Site Plan Review: Fleet Quest Trucking Facility, 5610-20 Kraft Ave SE

I have reviewed the site plan for Fleet Quest Logistics prepared by Roosien & Associates. **The current site plan and basis of this review are dated May 8, 2023.** The applicant is proposing the construction of a trucking facility consisting of two warehouse buildings with adjacent office and service spaces.

Stormwater and Drainage

The proposed project is being reviewed under the 2022 Stormwater Ordinance and the criteria in the Stormwater Standards Manual revised March 2021.

The site combines two existing parcels totaling 9.5-acres. One parcel is vacant and the other holds a single-family residence to be removed. The land is partially wooded with wetland along the south property line and southeast corner.

The project site is in Flood Control Zone 2, requiring detention for the 25-year storm with a maximum release rate of 0.13-cfs. Proposed development consists of 36,400-sft and 12,800-sft combination warehouse, office, and service buildings as part of a two-phase construction plan, respectively. A private access road will connect the two facilities, parking, and truck loading to Kraft Ave SE. A private sewer conveyance system and two detention basins are included for stormwater controls.

Flood Control

The applicant provided proposed detention basin specifications with supporting design calculations. A general approximation of soil types and characteristics were used from the Natural Resources Conservation Service. The applicant provided soil boring logs and indicated that a full geotechnical report will be completed. The detention basins function independently of each other. Proposed storm sewer in phase 1 conveys to the detention basin to the west and in phase 2, to the basin to the east.

An outlet in storm structure OS-17 drains the west detention basin through CB-18 in Kraft Ave SE and into the ditch line north of the driveway on the east side of the public road. Emergency overflow is provided into the right-of-way space adjacent to the basin. In the east detention basin, outlet structure OC-4 routes overflow by means of a riser pipe to an outlet southeast through

existing wetland. Pretreatment is achieved through sediment forebays located at and including entry points for both detention basins. Riprap is included at storm sewer outlets.

Water Quality and Channel Protection

Water quality and channel protection are provided through detention basins on-site. Each is designed with supporting calculations for the 25-year storm event; each account for minimum 1-foot of freeboard above the calculated required storage volume; and each include emergency overflow routes.

Drainage Plan

The applicant has submitted plans with existing and proposed drainage patterns, existing topography, and proposed grading. Side slopes within and adjacent to basins are provided and meet minimum standards.

Applicant provided the Wetland Delineation Report upon request. The proposed plans appear to indicate the regulated areas in the report and do not constitute permit request from the Department of Environment, Great Lakes, and Energy. It is the responsibility of the owner to understand the restrictions on and around these areas and to obtain such permit should plan revisions infringe on them.

A maintenance agreement and a long-term maintenance plan are required before construction begins. The maintenance agreement and plan should include at a minimum the cleaning of pretreatment areas; cleaning of the detention basins; and cleaning of catch basin sumps including sediment and debris removal from outlet structures.

Utilities and General Comments

Plans indicate connections to City of Grand Rapids water main and sanitary sewer main. I have discussed both with respect to the site plan with Arden Postema at the City. I provide summary of my review and relevant parts of that discussion below.

Water Main

The site plan proposes: a live tap of the water main in Kraft Ave SE; 12-inch main onto the parcel, inside the pavement footprint, and up to the phase 1 and 2 boundary line, terminating at a valve and box; and 2-inch water services to connect both buildings to the main. Arden discussed with me requiring the owner to extend the water main to the east parcel line in anticipation of a future connection at 5867 60th St SE. This connection would service the parcel if developed and allow for looping this branch of water main back into the system, which is a preferred design over a dead-end service. Such would require additional installed length of main and easement space from the owner.

Sanitary Sewer

The site plan proposes connection to sanitary main in Kraft Ave SE; 8-inch main onto the parcel and terminating at the phase 1 and 2 boundary line; 6-inch lateral to serve the building in phase 1; and 2-inch forcemain to serve the building in phase 2. Arden indicated that the sanitary manhole that the proposed main is tapping into is a low point in the sanitary system and ideal for also serving future development on the parcel at 5867 60th St SE. It would be desirable from the standpoint of the City that sanitary main, in addition to water main, be installed to the east parcel line for possible future connection. This though would require that the proposed main not only be longer but deeper.

Important to note that the County of Kent owns both the parcel immediately north of the subject site at 5572 Kraft Ave SE, as well as 5867 60th St SE. The latter could be served both water and sanitary in the future through 5572 or via 60th St SE to Kraft Ave SE. I believe the current utility site plan is appropriate. The owner is ultimately responsible for the approval and obtaining permit from the City of Grand Rapids.

Storm Sewer and Other

The private storm sewer system consisting of catch basins, sewer, detention basin, and outlets are all called out and include rim and invert elevations where applicable. The applicant noted an error and correction to an invert in a March 16, 2023 email.

The proposed private road connects to Kraft Ave SE and aligns with International Pkwy SE. Plans specify a 30-foot-wide improved surface, approximately 4.0-inch total asphalt bit over 8-inch aggregate base and 12-inch sand, and private easement 33-foot off centerline. The road meets the design standards outlined in the Township Ordinance for private streets. Owner is responsible for obtaining permit from Kent County Road Commission (KCRC) prior to construction.

Soil Erosion and Sedimentation Control

Applicant indicated limits of disturbance and provided the following measures: permanent/temporary seeding, riprap, geotextile silt fence, inlet protection, and soil erosion control blanket. I recommend adding a provision to limit the tracking of sediment at the construction entrance and exit. KCRC must review and approve plans and issue a soil erosion and sedimentation control permit before construction may begin.

Summary

The proposed stormwater management design meets the Township Stormwater Ordinance requirements for the site location. The applicant should forward the full geotechnical report once completed. Provided with the current information, I recommend approval from an engineering point of view.

Let me know if you have any questions or concerns.

STAFF REPORT

STAFF REPORT: Case #23-3765/Redwater Group
REPORT DATE: May 10, 2023
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: May 15, 2023
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT:

Redwater Group
5500 Cascade Road SE, Suite 100
Grand Rapids, MI 49546

STATUS

OF APPLICANT: Owner Representative

REQUESTED ACTION: Basic Plan Review for an amendment to the PUD Ordinance to allow for a cigar bar as a permitted use.

EXISTING ZONING OF SUBJECT PARCEL(S): PUD 15

PROPERTY ADDRESS: 1600 Galbraith Ave

GENERAL LOCATION: Southern terminus of Galbraith Ave, south of Cascade Rd

PARCEL SIZE: Approximately 60 acres.

EXISTING LAND USE ON THE PROPERTY: Golf Course/Country Club

ADJACENT AREA LAND USES: N,W – Office
S,E – Golf course

ZONING ON ADJOINING PARCELS: N – Golfview PUD 2
S,W,E – Watermark PUD 15

STAFF COMMENTS:

- 1. The applicant is requesting Basic Plan Review to amend the existing Planned Unit Development to allow for a cigar bar as a permitted use. This PUD amendment application is a little different than others we have received in that there are no site improvements being proposed, just amendments to the PUD ordinance.

2. The property is part of a Planned Unit Development that regulates, among other things, the uses that are permitted. The PUD was approved in 1997 and amended 6 times since then. The permitted uses for the clubhouse building are listed as follows:
 - One (1) clubhouse/restaurant/pro shop/cart storage building with a maximum size of 30,000 square feet.
3. Since the PUD ordinance lists a number of specific uses for the clubhouse building, and a cigar bar is not included, I determined that if the applicant would like to add a cigar bar, they would need to amend the PUD ordinance in order to permit it.
4. At the March 6 meeting, the Planning Commission approved a small addition on the east side of the clubhouse building. In the project narrative submitted by the applicant, they indicated that the cigar bar will be located in the lower level of the approved addition. The cigar bar would not require any additional square footage to be added to the building beyond what was approved with the addition.
5. The applicant should submit a plan set showing the floor plan for the building and what space the cigar bar will occupy.
6. The applicant has submitted this package as required by Section 16.05 (2) of the Zoning Ordinance for Basic Plan Review.
7. If you find that all the procedural information has been provided, this application should proceed to a public hearing and consideration of a Preliminary Development Plan. It will be at that stage of the review process that the *merits* of the request will be considered, and the detailed site plans will be required and reviewed.

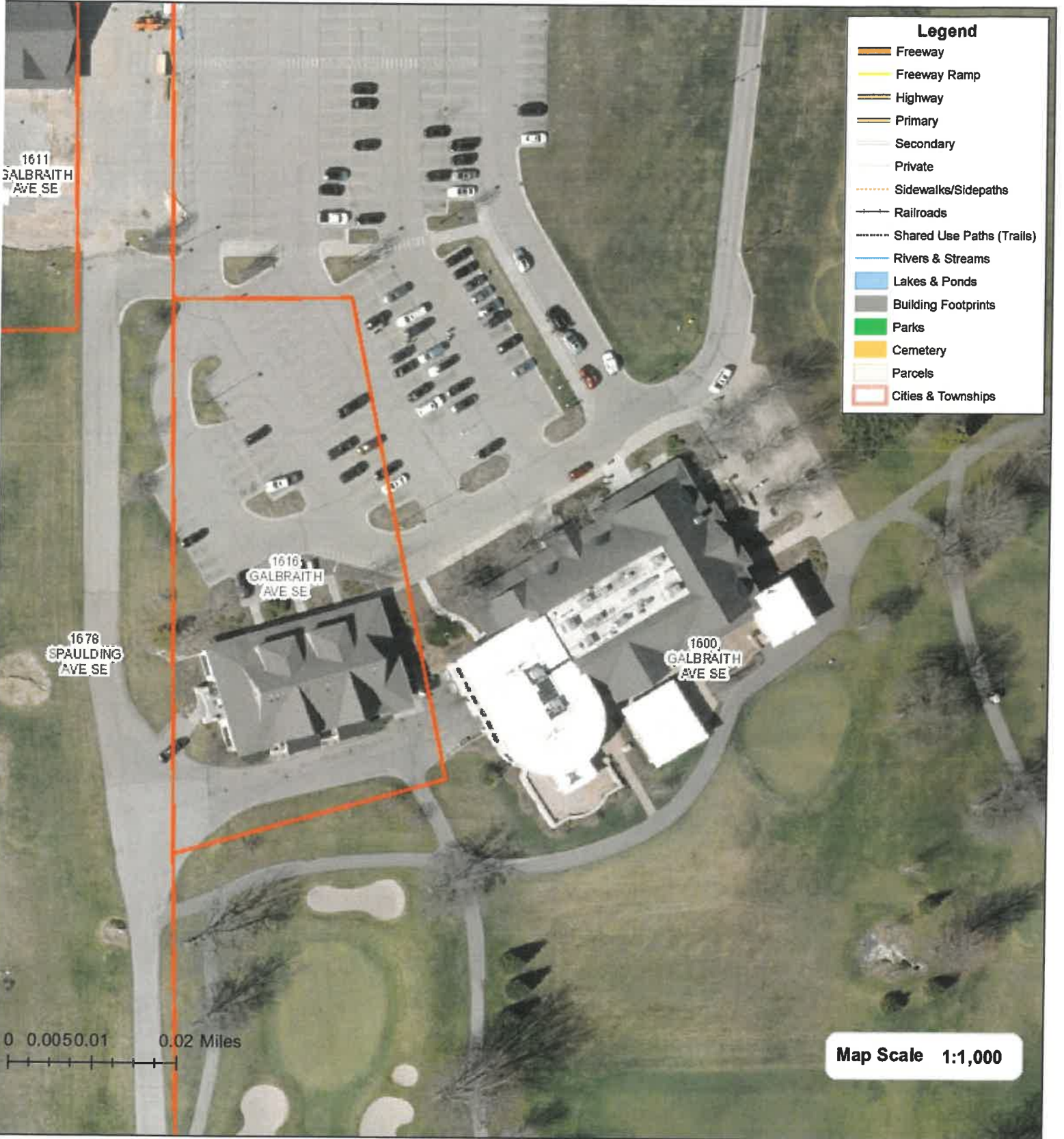
Before proceeding to the Preliminary Development Plan review (Public Hearing), I would recommend that the applicant submit the following information:

1. Floor plan of the building showing the location of the proposed cigar bar.

ATTACHMENTS:

Application
Site Plan approved at 3/6/23 PC Meeting
Approval letter with conditions of 3/6/23 site plan approval.
PUD Ordinance – Forest Hills Golf Course/Watermark
Condominium

TITLE



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CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids, Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Redwater Group

Address: 5500 Cascade Road, SE, Suite 100

City & Zip Code Grand Rapids, MI 49546

Telephone: 616-949-0570

Email Address: splakmeyer@redwatercollection.com

OWNER: * (If different from Applicant)

Name: Redwater Group

Address: 5500 Cascade Road, SE, Suite 100

City & Zip Code: Grand Rapids, MI 49546

Telephone: 616-949-0570

Email Address: splakmeyer@redwatercollection.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. – Rezoning *
<input type="checkbox"/> P.U.D. – Site Condominium *	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance Subdivision
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Plat Review *
<input type="checkbox"/> Zoning Variance	<input checked="" type="checkbox"/> Other: <u>PUD amendment</u>

** Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:**

We are requesting that the PUD be amended to allow for the construction of a cigar bar inside the Watermark Country Club building.

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

See attached

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 06-426-023

ADDRESS OF PROPERTY: 1600 Galbraith Avenue, SE, Grand Rapids, MI 49546

PRESENT USE OF THE PROPERTY: Country Club

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR
EQUITABLE INTEREST IN THE PROPERTY:**

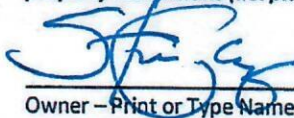
Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)



Owner – Print or Type Name
(*If different from Applicant)

Steve Plakmeyer

Applicant – Print or Type Name

* _____

Owner's Signature & Date
(*If different from Applicant)

4-28-23

Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

PROJECT NARRATIVE

Redwater Group would like to incorporate a cigar bar inside the Watermark Country Club. This cigar bar would be located in the lower level of the approved addition and renovation to the clubhouse building and will occupy approximately 1,645 SF of area. This area would be open for members and the public.

The cigar bar would provide a casual space with seating and will have a humidor stocked with cigars for purchase. These cigars could be smoked inside of the cigar bar or on the connected outdoor patio, but smoking would not be allowed in other areas of the building.

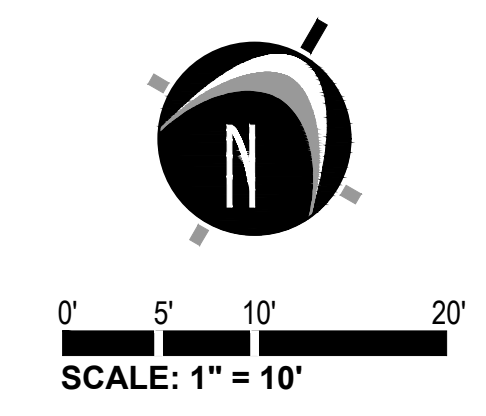
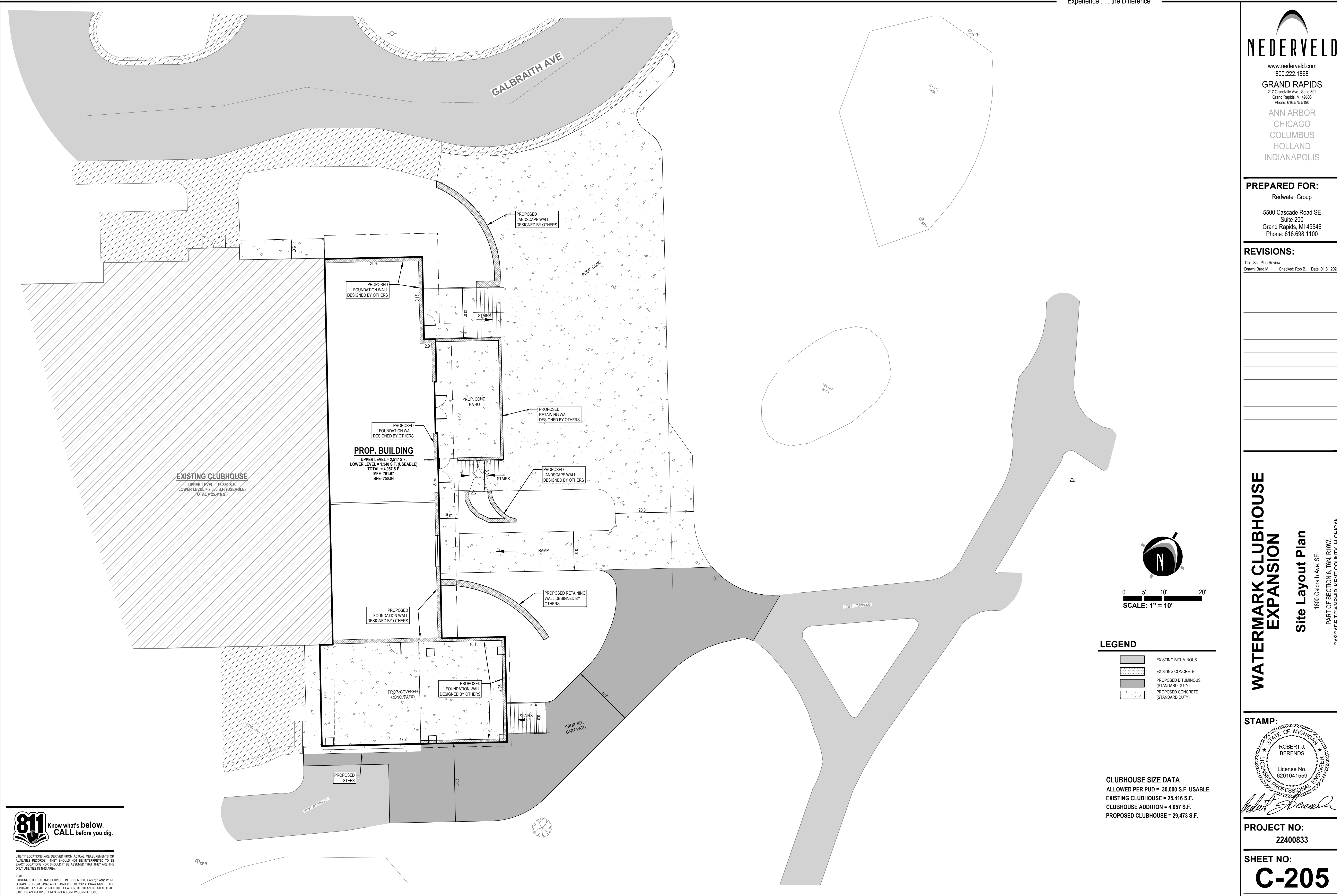
Redwater Group has obtained a cigar bar exemption license from the State of Michigan that will allow cigar smoking only, and only in the designated area. This exemption comes with requirements for the construction of this space and for indoor air quality standards and safety. Redwater Group will work with the State of Michigan Health Department to ensure that all design requirements and standards are met.

LEGAL DESCRIPTION

411906426023 PART OF E 1/2 COM AT E 1/4 COR TH S 1D 10M 33S W ALONG E SEC LINE 71.50 FT TH S 39D 32M 33S W 161.10 FT TH S 1D 52M 05S W 42.24 FT TO WATERS EDGE OF A POND & TO BEG OF THIS DESC - TH WLY & NWLY ALONG SD POND TO A PT BEING 250.0 FT S FROM S LINE OF LOT 154 CASCADE GARDENS & 265.0 FT W FROM E SEC LINE TH NWLY 138 FT M/L TO A PT 360.0 FT WLY FROM E SEC LINE & 150.0 FT S FROM SE COR OF LOT 1 OF AMENDED PLAT OF LOTS 1 THROUGH 16, INCLUSIVE, & LOTS 97 THROUGH 102, INCLUSIVE, & PART OF VACATED GARDEN DRIVE, CASCADE GARDENS SD PT BEING EXT WLY LINE OF MACNIDER AVE /60 FT WIDE/ TH N 150.0 FT TO SE COR OF SD LOT TH W ALONG S LINE OF SD LOT TO ELY LINE OF GALBRAITH AVE TH SWLY ALONG SD ELY LINE TO S LINE OF LOT 32 OF CASCADE GARDENS EXT ELY TH WLY ALONG SD EXT LINE TO E 1/8 LINE TH S ALONG E 1/8 LINE TO N LINE OF S 246.40 FT OF N 574.90 FT OF SW 1/4 SE 1/4 TH N 88D 22M 52S W ALONG SD N LINE 64.15 FT TH S 1D 28M 25S E 805.93 FT TH S 41D 21M 03S E 95.41 FT TH N 52D 41M 32S E 75.29 FT TH N 13D 02M 21S E 405.67 FT TH S 80D 10M 15S E 420.63 FT TH S 84D 07M 23S E 58.0 FT TH S 75D 48M 36S E 52.58 FT TH S 80D 10M 15S E 110.29 FT TH N 52D 06M 29S E 112.12 FT TH N 7D 50M 14S E 397.26 FT TH N 15D 07M 49S E 463.27 FT TH N 30D 54M 07S E 356.27 FT TH N 60D 12M 37S W 166.13 FT TH N 1D 29M 10S W 239.46 FT TH N 32D 04M 27S E 111.80 FT TH N 47D 03S 01S W 25.49 FT TH N 25D 41M 51S E 177.19 FT TH S 53D 23M 00S E TO A LINE BEARING S 1D 52M 05S W FROM BEG TH N 1D 52M 05S E TO BEG EX COM 1309.28 FT N 88D 31M 00S W ALONG E&W 1/4 LINE & 185.03 FT S 0D 19M 46S W FROM E 1/4 COR TH S 88D 31M 00S E 293.43 FT TO SLY LINE OF GALBRAITH AVE TH ELY 142.53 FT ALONG SD SLY LINE ON A 55.0 FT RAD CURVE TO LT /LONG CHORD BEARS N 81D 49M 18S E 105.86 FT/ TO ELY LINE OF SD AVE TH N 7D 34M 59 E ALONG SD ELY LINE 55.72 FT TH NWLY ALONG SD ELY LINE ON A 480.0 FT RAD CURVE TO LT TO S LINE OF LOT 32 OF CASCADE GARDENS EXT ELY TH WLY ALONG SD EXT LINE TO E 1/8 LINE TH S ALONG E 1/8 LINE TO A LINE BEARING N 88D 31M 00S W FROM BEG TH S 88D 31M 00S E TO BEG & EX COM AT S 1/4 COR TH S 88D 14M 45S E ALONG S SEC LINE 827.84 FT TH N 1D 16M 48S E 57.26 FT TH N 38D 59M 54S E 216.64 FT TH S 72D 30M 04S E 133.96 FT TH S 72D 11M 50S E 66.20 FT TH N 85D 14M 10S E 150.75 FT TO BEG OF THIS EX - TH S 41D 21M 03S E TO E LINE OF W 1/2 SE 1/4 TH N 1D 16M 48S E ALONG SD E LINE TO N LINE OF S 246.40 FT OF N 574.90 FT OF SW 1/4 SE 1/4 TH W ALONG SD N LINE 64.15 FT TH S 1D 28M 25S E TO BEG & EX COM 1323.04 FT N 88D 31M 00S W ALONG E&W 1/4 LINE & 473.30 FT S 1D 16M 37S W ALONG W LINE OF E 1/2 SE 1/4 FROM E 1/4 COR TH S 88D 37M 56S E 113.49 FT TH S 9D 37M 55S E 311.75 FT TH S 76D 21M 03S W 178.51 FT TO W LINE OF E 1/2 SE 1/4 TH N 1D 16M 37S E ALONG SD W LINE 352.28 FT TO BEG * SEC 6 T6N R10W 58.45 A. ALSO LOT 1 EX COM 746.43 FT N 88D 31M 00S W ALONG E&W 1/4 LINE & 613.27 FT N 1D 29M 00S E FROM E 1/4 COR TH N 79D 23M 44S W 122.0 FT TO ELY LINE OF GALBRAITH AVE TH N 10D 36M 16S E ALONG SD ELY LINE 464.40 FT TH NELY 71.28 FT ON A 33.80 FT RAD CURVE TO RT /LONG CHORD BEARS N 71D 01M 11.5S E 58.79 FT/ TO SWLY LINE OF CASCADE RD TH S 48D 33M 53S E ALONG SD SWLY LINE 258.47 FT TH S 41D 26M 07S W 55.87 FT TH S 1D 23M 49S E 162.36 FT TH S 88D 36M 11S W 159.68 FT TH S 10D 36M 16S W 120.97 FT TO BEG & EX COM AT SE COR OF SD LOT 1 TH N 0D 00M 34S W ALONG E LINE OF SD LOT 165.34 FT TH NLY 116.0 FT ON A 265.69 FT RAD CURVE TO RT /LONG CHORD BEARS N 12D 29M 54S E 115.08 FT/ TO BEG OF THIS EX - TH NELY 70.69 FT ON A 265.69 FT RAD CURVE TO RT /LONG CHORD BEARS N 32D 37M 41S E 70.47 FT/ TH N 40D 15M 00S E 240.60 FT TH NLY 47.12 FT ON A 30.0 FT RAD CURVE TO LT /LONG CHORD BEARS CURVE N 4D 45M 00S W 42.43 FT/ TO SWLY LINE OF CASCADE RD /100 FT WIDE/ TH N 49D 45M 00S W ALONG SD SWLY LINE 294.0 FT TH S 40D 15M 00S W 175.0 FT TH S 49D 45M 00S E 50.0 FT TH S 6D 10M 00S E 240.0 FT TH S 49D 45M 00S E 109.50 FT TO BEG * AMENDED PLAT OF LOTS 1 THROUGH 16, INCLUSIVE, AND LOTS 97 THROUGH 102, INCLUSIVE, AND PART OF GARDEN DRIVE, CASCADE GARDENS SPLIT ON 12/20/2010 FROM 41-19-06-426-021

PREPARED FOR:
 Redwater Group
 5500 Cascade Road SE
 Suite 200
 Grand Rapids, MI 49546
 Phone: 616.698.1100

REVISIONS:
 Title: Site Plan Review
 Drawn: Brad M. Checked: Rob B. Date: 01-31-2023



LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)

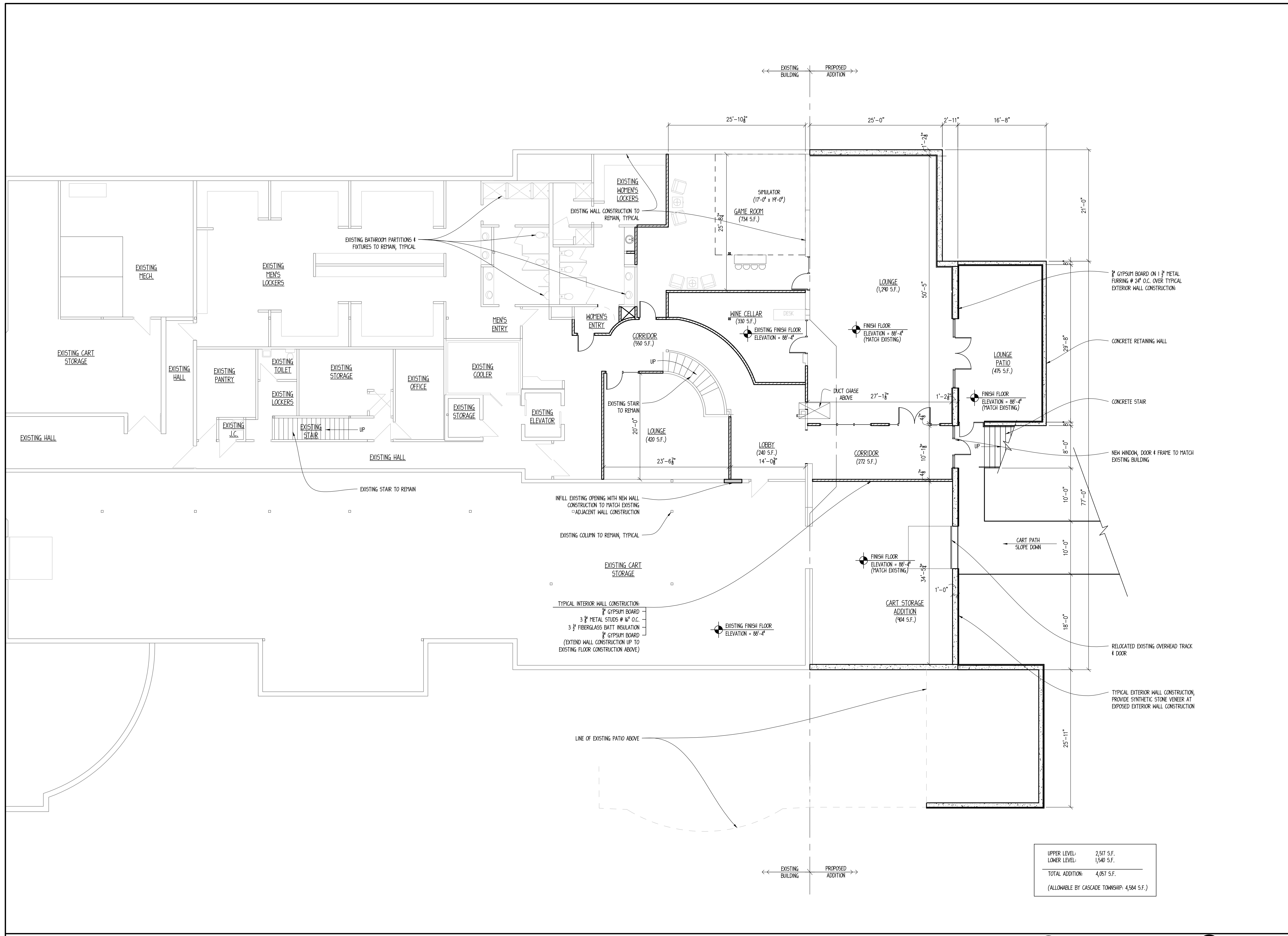
CLUBHOUSE SIZE DATA
 ALLOWED PER PUD = 30,000 S.F. USABLE
 EXISTING CLUBHOUSE = 25,416 S.F.
 CLUBHOUSE ADDITION = 4,057 S.F.
 PROPOSED CLUBHOUSE = 29,473 S.F.

WATERMARK CLUBHOUSE EXPANSION
Site Layout Plan
 1600 Galbraith Ave. SE
 PART OF SECTION 6, T8N, R10W,
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

STAMP:
 STATE OF MICHIGAN
 ROBERT J. BERENDS
 License No. 6201041559
 LICENSED PROFESSIONAL ENGINEER
Robert J. Berends

PROJECT NO:
 22400833
SHEET NO:
C-205

811 Know what's below.
CALL before you dig.
 UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
 NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



PRELIMINARY
NOT FOR CONSTRUCTION

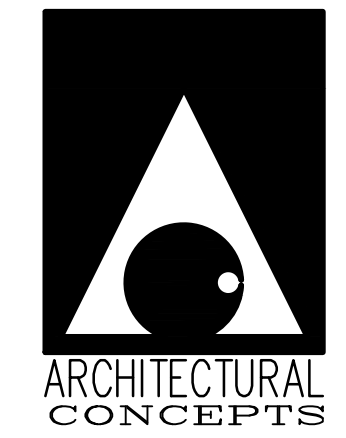
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE THE SOLE, CONFIDENTIAL AND EXCLUSIVE PROPERTY OF ARCHITECTURAL CONCEPTS. PUBLICATION OF THIS DRAWING IS LIMITED SOLELY TO THE SPECIFIC PROJECT AND/OR SITE NOTED HEREIN. REPRODUCTION, PUBLICATION, REUSE OR MODIFICATION OF THIS DOCUMENT IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT PRIOR WRITTEN CONSENT OF ARCHITECTURAL CONCEPTS.

DATE	REVISION
11-11-2022	FOR REVIEW
11-16-2022	FOR REVIEW
11-21-2022	FOR REVIEW
12-02-2022	FOR REVIEW
01-30-2023	SITE PLAN REVIEW

PROPOSED BUILDING
ADDITION FOR:



5500 CASCADE ROAD S.E.
GRAND RAPIDS, MI 49546



ARCHITECTURE
PLANNING
ENGINEERING
6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 554-1222

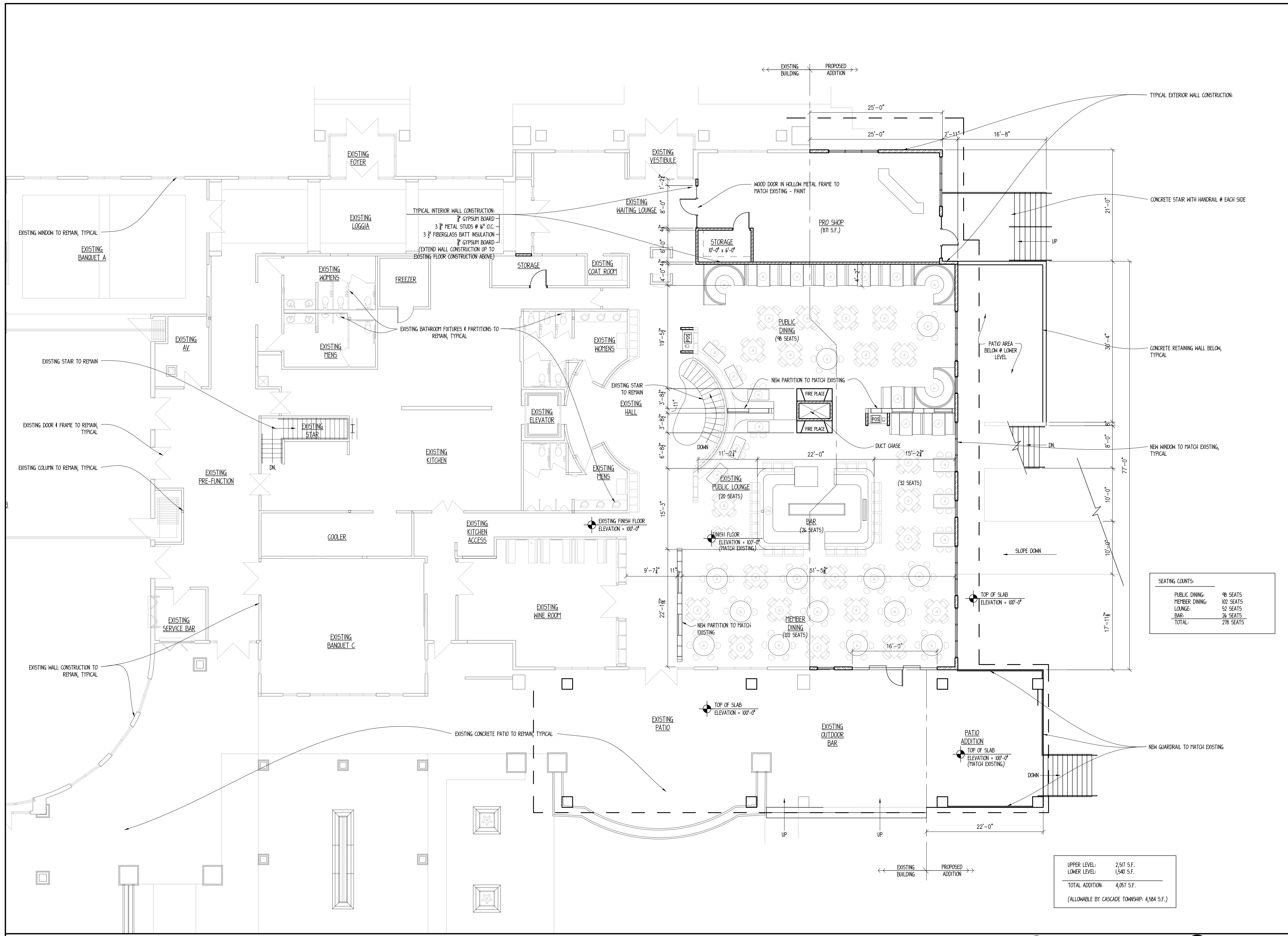
DATE: JULY 14, 2022 PROJECT No. 22-10

SHEET No.

A-1

UPPER LEVEL: 2,517 S.F.
 LOWER LEVEL: 1,540 S.F.
 TOTAL ADDITION: 4,057 S.F.
 (ALLOWABLE BY CASCADE TOWNSHIP: 4,584 S.F.)

1 LOWER LEVEL FLOOR PLAN
 A-1 SCALE: 1/8" = 1'-0"



**PRELIMINARY
NOT FOR CONSTRUCTION**

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DATE	REVISION
11-11-2022	FOR REVIEW
11-16-2022	FOR REVIEW
11-21-2022	FOR REVIEW
12-02-2022	FOR REVIEW
01-30-2023	FOR SITE PLAN REVIEW

SEATING COUNTS:

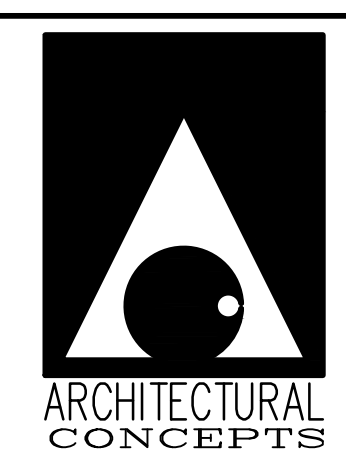
PUBLIC DINING:	98 SEATS
MEMBER DINING:	102 SEATS
LOUNGE:	52 SEATS
BAR:	26 SEATS
TOTAL:	278 SEATS

**PROPOSED BUILDING
ADDITION FOR:**



**WATERMARK
COUNTRY CLUB**

**5500 CASCADE ROAD S.E.
GRAND RAPIDS, MI 49546**

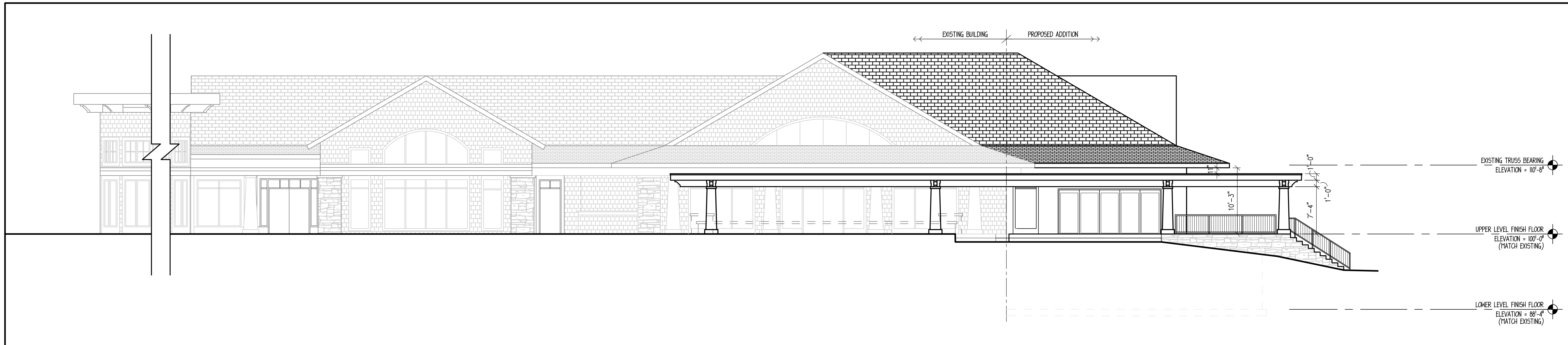


ARCHITECTURE
PLANNING
ENGINEERING
6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 554-1222

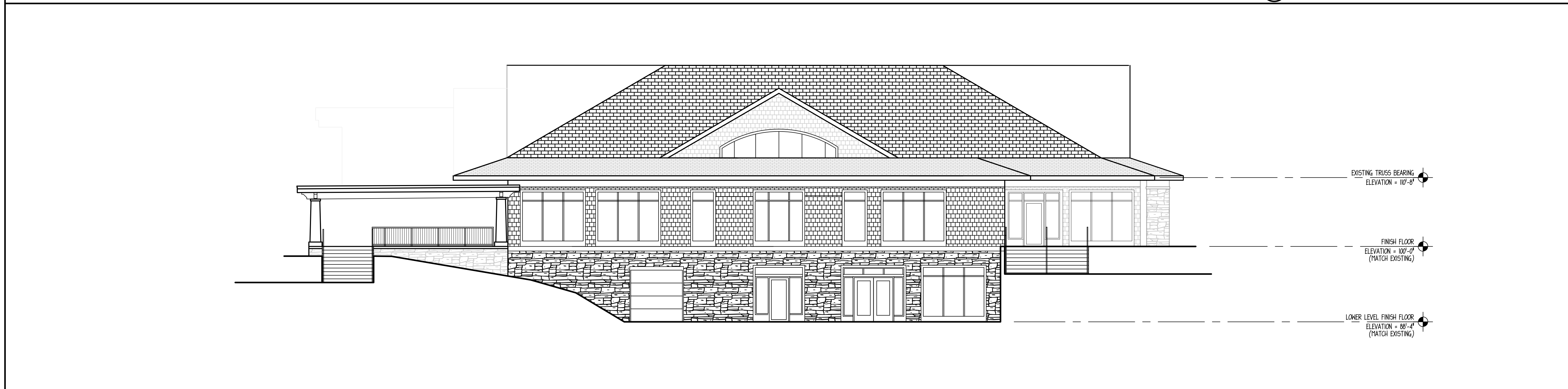
DATE JULY 14, 2022	PROJECT No. 22-10
SHEET No. A-2	

UPPER LEVEL:	2,517 S.F.
LOWER LEVEL:	1,540 S.F.
TOTAL ADDITION:	4,057 S.F.
(ALLOWABLE BY CASCADE TOWNSHIP, 4,584 S.F.)	

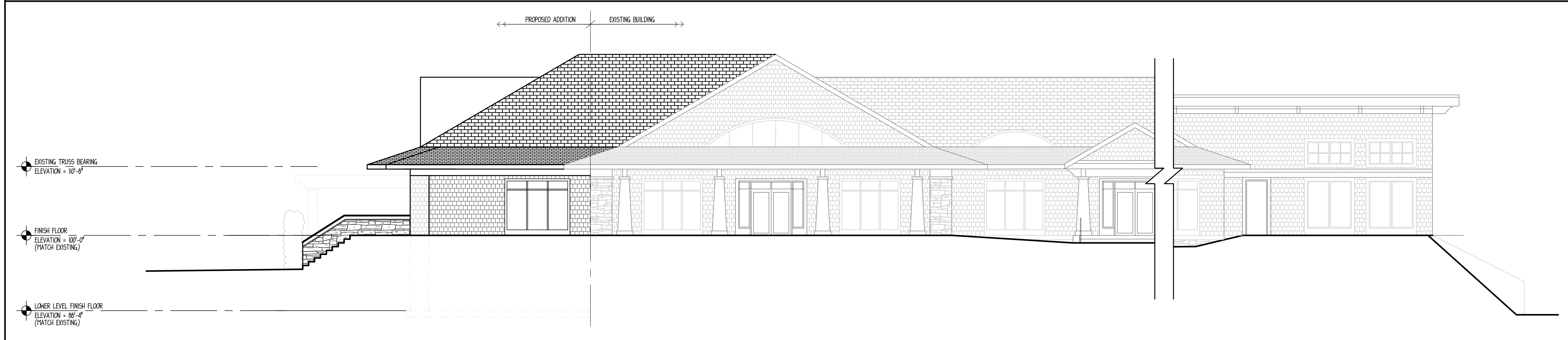
1 UPPER LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
A-3 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A-3 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
A-3 SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

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DATE	REVISION
07-14-2022	FOR REVIEW
11-16-2022	FOR REVIEW
11-21-2022	FOR REVIEW
01-30-2023	FOR SITE PLAN REVIEW

PROPOSED BUILDING
ADDITION FOR:



5500 CASCADE ROAD S.E.
GRAND RAPIDS, MI 49546



ARCHITECTURE
PLANNING
ENGINEERING
6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 954-1222

DATE: JULY 14, 2022 PROJECT No. 22-10

SHEET No. A-3



CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546-7140

March 9, 2023

Steve Plakmeyer
5500 Cascade Road SE Suite 200
Grand Rapids, MI 49546

RE: Case 23-3755

Dear Steve,

This is your notice of the Cascade Township Planning Commission decision at the March 6, 2023 meeting to Approve your site plan dated 1/31/23 for the building addition at 1600 Galbraith Avenue. The approval will expire in one year if not acted upon. The approval was contingent upon the following conditions:

1. The applicant complies with the Township Engineer letter dated February 10, 2023, and all necessary permits are obtained before construction begins.
2. Record the stormwater maintenance agreement.
3. Confirmation that the parking agreement is still in place and active.
4. Combine the lot at 1616 Galbraith Ave with 1600 Galbraith Ave.

Once these items have been addressed you may apply for your building permit.

If you have any questions or would like to discuss this matter, please call me at 616-949-0224 or email at bhilbrands@cascadetwp.com.

Sincerely,
CASCADE CHARTER TOWNSHIP

Brian Hilbrands,
Planning Director

Cc: Craig Smith
Rob Berends

CASCADE CHARTER TOWNSHIP

Ordinance #10 of 1997

As amended by Ord No 8 of 2000; May 31, 2000
As amended by Ord No 17 of 2000; October 18, 2000
As amended by Ord No 8 of 2003; June 11, 2003
As amended by Ord No 11 of 2010; August 11, 2010
As amended by Ord No 3 of 2019; May 22, 2019
As amended by Ord No 6 of 2019; October 9, 2019

AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE AND ZONING MAP TO ESTABLISH THE FOREST HILLS GOLF COURSE/WATERMARK CONDOMINIUMS PLANNED UNIT DEVELOPMENT PROJECT

Cascade Charter Township Ordains:

Section I. An Amendment to the Cascade Charter Township Zoning Ordinance.

The application received from Forest Hills Development, L.L.C. or their assigns (hereinafter referred to as the “Developer”), for Planned Unit Development designation for the proposed Forest Hills Golf Course/Watermark Condominiums Planned Unit Development Project (herein after referred to as the “Project”) was recommended by the Cascade Charter Township Planning Commission for approval on July 7, 1997. The Project is recommended for rezoning from PUD, Planned Unit Development and R1, Residential to PUD, Planned Unit Development permitting a golf course, clubhouse, office buildings, condominiums and site condominiums. This action requires an amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission’s recommendation and the Cascade Charter Township Board of Trustees’ action on August 27, 1997.

Section II. Legal Description.

The legal description of the Project is as follows:

Part of Section 5, 6 and 7, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan, described as: BEGINNING at the Northeast corner of said Section 7; thence South 89 degrees 38’ 08” West 1265.00 feet along the North line of said Section 7; thence south 00 degrees 52’09” East 1025.20 feet to a point being South 00 degrees 52’ 11” East 1023.75 feet (as measured along the East section line) and south 89 degrees 07’49” West 165.00 feet from said Northeast one-quarter of Section 7; thence North 80 degrees 49’ 21” West 253.58 feet; thence south 55 degrees 40’39” West 160.00 feet; thence south 18 degrees 19’21” East 276.02 feet to the South line of the North one-half of the Northeast one-quarter of said Section 7; thence South 89 degrees 09’24” West 1973.76 feet along said line; thence North 01 degrees 11’44” West 208.71 feet; thence south 89 degrees 09’24” West 208.71 feet; thence North 01 degrees 11’44” West 1144.75

feet along the North – South one-quarter line of said Section 7 to the North one-quarter corner; thence North 00 degrees 44'02" West 200.00 feet along the North – South one-quarter line of said Section 6; thence North 89 degrees 38'08" East 827.47 feet; thence North 00 degrees 50'19" West 549.43 feet; thence North 89 degrees 30'01" East 499.99 feet; thence North 00 degrees 50'19" West 574.90 feet along the West line of the East one-half of the southeast one-quarter of Section 6; thence South 89 degrees 30'01" West 500.00 feet along the South line of the Northwest one-quarter of the Southwest one-quarter of Section 6; thence North 00 degrees 50'19" West 824.53 feet; thence North 89 degrees 30'01" East 440.00' thence North 00 degrees 50'19" West 315.84 feet to a point being 185.00 feet South 00 degrees 50'19" East from the East – West one-quarter line; thence North 89 degrees 21'53" East 60.00 feet to a point being south 00 degrees 50'19" East 185.00 feet from the Southwest corner of Lot 32 of Cascade Gardens; thence continuing North 89 degrees 21'53" East 320.00 feet parallel with the East – West one-quarter line; thence North 08 degrees 53'53" East 170.38 feet to the extended south line of Lot 32; thence south 87 degrees 50'58" East 15.13 feet along said line to the East right of way line of Galbraith Avenue (as platted); thence Northerly along said Avenue 171.40 feet on a 1205.02 foot radius curve to the right, the chord of which bears North 04 degrees 24'39" East 171.26 feet; thence North 08 degrees 29'09" East 950.26 feet along said Avenue; thence Northeasterly 71.28 feet along said Avenue on a 33.80 foot radius curve to the right, the chord of which bears North 68 degrees 54'05" East 58.79 feet; thence south 50 degrees 41'00" East 769.59 feet along the South right of way line of Cascade Road; thence southeasterly 47.12 feet along said right of way on a 30.00 foot radius curve to the right, the chord of which bears South 05 degrees 41'00" East 42.42 feet; thence South 39 degrees 19'00" West 337.99 feet along the Westerly right of way line of MacNider Avenue (as platted); thence South 00 degrees 56'34" East 262.72 feet along said right of way and extension thereof; thence south 00 degrees 52'59" East 150.00 feet to a point being 360.00 feet West of the East line of Section 6; thence South 44 degrees 08'34" East 138.78 feet to a point being 250.00 feet South of the South line of Lot 154 Cascade Gardens and 265.00 feet West of the East line of Section 6;p thence North 89 degrees 44'58" East 265.02 feet parallel with the South line of said Lot 154; thence North 00 degrees 56'34" West 83.52 feet along the East line of Section 5 to a point being 115.50 feet South of the East one-quarter corner of Section 5; thence North 89 degrees 03'26" East 300.00 feet; thence North 00 degrees 56'34" West 107.05 feet of the East – West one-quarter line; thence North 00 degrees 56'01" West 315.42 feet parallel with the West line of Section 5 to the centerline of Cascade Road (100.00 foot wide public right of way); thence South 50 degrees 41'00" East 475.91 feet along said centerline; thence south 00 degrees 51'02" East 2080.73 feet along the East line of the West one-half of the West one-half of the Southwest one-quarter of Section 5 to a meander line for Walden Lake; thence North 89 degrees 29'54" West 69.27 feet along said meander line; thence South 48 degrees 37'43" West 66.03 feet along said meander line; thence south 03 degrees 53'41" East 75.27 feet along said meander line; thence south 24 degrees 07'03" East 95.98 feet along said meander line for Walden Lake; thence South 19 degrees 25'50" West 196.07 feet along a line which if extended would intersect the South line of Section 5 at a point being North 89 degrees 34'10" West 218.87 feet (as measured along the South section line) from the Southeast corner of the West one-half of the Southwest one-quarter of said Section 5p thence North 89 degrees

34'10" West 100.00 feet; thence South 00 degrees 25'50" West 200.00 feet to a point being 250.00 feet West of the Southeast corner of the West one-quarter of the Southwest one-quarter of Section 5; thence North 89 degrees 34'10" West 409.11 feet along the South line of Section 5 to the place of beginning. Also including all land lying between the shore line of Walden Lake and the meander line for said lake.

(225 acres more or less including right of way and Consumers Energy Parcel)

The following described property shall be amended into the Watermark Condominium PUD As amended by Ord No 17 of 2000; October 18, 2000

Part of the Northwest one-quarter of the Southeast one-quarter of Section 6, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan, described as follows: Beginning North 88 degrees 31 minutes 00 seconds West 1382.97 feet (as measured along the East-West one-quarter line) and south 01 degrees 16 minutes 48 seconds West 185.00 feet (as measured along the West line of the East 60.00 feet of the Northwest one-quarter of the Southeast one-quarter of said section) from the East one-quarter corner of said Section 6; thence South 01 degrees 16 minutes 48 seconds West 315.84 feet; thence North 88 degrees 22 minutes 52 seconds West 440.00 feet along the North line of the South 824.53 feet of the Northwest one-quarter of the Southeast one-quarter of said section; thence North 01 degrees 16 minutes 47 seconds East 297.80 feet; thence South 88 degrees 31 minutes 00 seconds East 140.00 feet; thence South 01 degrees 29 minutes 00 seconds West 16.00 feet; thence South 88 degrees, 31 minutes 00 seconds East 163.00 feet; thence North 01 degrees 29 minutes 00 seconds East 21 feet; thence South 88 degrees 31 minutes 00 seconds East 47.00 feet; thence North 83 degrees 53 minutes 00 seconds East 90.73 feet to the place of beginning.

2.9815 acres

The following legal description describes a parcel to be leased from Consumers Energy

Part of the Northwest one-quarter of the Southeast one-quarter and part of the Southwest one-quarter of the Northeast one-quarter of Section 6, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan, described as follows: Beginning on the East-West one-quarter line at a point being North 88 degrees 31 minutes 00 seconds West 1822.96 feet from the East one-quarter corner of said Section 6; thence South 01 degrees 16 minutes 47 seconds West 270.00 feet along the West line of the East 500.00 feet of the Northwest one-quarter of the Southeast one-quarter of said section; thence North 88 degrees 31 minutes 00 seconds West 230.00 feet; thence North 01 degrees 16 minutes 47 seconds East 409.92 feet; thence South 88 degrees 31 minutes 00 seconds East 225.83 feet; thence South 00 degrees 25 minutes 43 seconds East 140.00 feet (along a line which goes through a point being 101.65 feet Northwesterly (as measured along a line being parallel with and 70.00 feet Southwesterly of the centerline of Cascade Road) of the West line of the East 500.00 feet of the West one-half of the Northeast one-quarter of said section) to the place of beginning.

2.1577 acres

The following described properties shall be added into the Watermark Condominium PUD: As amended by Ord No 8 of 2003; June 11, 2003

The North Project Site:

Part of the Northwest one-quarter of the Southwest one-quarter of Section 5 and part of the Northeast one-quarter of the southeast one-quarter of Section 6, all being in Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan, described as: Beginning on the West section line at a point being south 00 degrees 56 minutes, 34 seconds East 15.50 feet from the West one-quarter corner of said Section 5; thence North 89 degrees, 03 minutes, 26 seconds, East 300.00 feet; thence south 00 degrees, 56 minutes, 34 seconds East 83.52 feet along aforesaid West section line; thence south 89 degrees, 44 minutes, 58 seconds West 100.00 feet along a line being parallel with and south 250.00 feet of the south line of Lot 154, Cascade Gardens; thence North aforesaid West section line to the place of beginning.

36,375 square feet

The South Project Site:

The East 500.00 feet of the South 246.40 feet of the North 574.90 feet of the Southwest one-quarter of the Southeast one-quarter of Section 6, Town 6 North, Range 10 West, Township of Cascade, Kent County, Michigan.

2.828 Acres.

Section III. General Provisions

The following provisions shall hereby apply to the Project, in addition to those Provisions outlined in Chapter 16 of the Cascade Charter Township Zoning Ordinance (Ordinance No. 11 of 1988, as amended).

Section IV. Purpose

The Project occupies approximately 225 acres of land that presently contains a golf course, club house, and a few single family residential homes. The project is proposed to be developed into a revised golf course, a new club house and restaurant building, two office buildings, and condominium units around some of the golf holes. The Planned Unit Development technique has been chosen by the Developer to provide more control over the Project's aesthetics and appearance. This development technique provides the Developer with the ability to develop the Project in a manner to meet market expectations and develop the project in a unified manner.

The regulations contained herein are established to define the procedures necessary to insure high quality development in the Project. Additionally, they are designed to achieve integration of this development with adjacent land uses.

Section V. Approval Limitations

A. The provisions of this Ordinance are not intended as a substitute for the Cascade Charter Township Zoning Ordinance and the General Development plan, nor do they in any way relieve the Developer from obtaining all approvals and permits required by the township, except as otherwise expressly provided herein. In the event that a development issue or site plan element is not addressed by this Ordinance, the specifications and requirements of the Cascade Charter Township Zoning Ordinance shall be enforced.

B. Except as otherwise provided herein, the Developer and his assigns must meet all applicable provisions and regulations of Cascade Charter Township, as well as federal and state law, and must obtain all necessary approvals from state and county governmental agencies that are required for operation or use.

C. This PUD approval is expressly contingent upon all conditions of approval herein remaining fully effective and valid. If any condition imposed herein is determined to be illegal or contrary to law as a result of a successful legal challenge by the Developer or its assigns, or any other party, the Township reserves the right to review the entire Project under the PUD provisions of the Cascade Charter Township Zoning Ordinance, and further, to withdraw its approval of this PUD if it finds that, absent the effect of any condition imposed herein, the PUD no longer meets the standards for PUD approval contained in the Zoning Ordinance.

D. All conditions contained herein shall be binding upon the Developer, as well as its successors, tenants and assigns. The conditions may be modified or amended only pursuant to a formal amendment of the PUD approval and ordinance amendment.

E. This approval document shall be recorded with the Kent County Register of Deeds by the Developer prior to construction occurring on site and shall run with and bind the lands involved. Copies of this recorded document shall be supplied by the Developer to the Cascade Charter Township Clerk.

F. Failure to comply with the site plan or any condition of approval herein shall be deemed a violation of the Cascade Charter Township Zoning Ordinance.

Section VI. Development Areas. (amended by Ord #3 of 2019)

The Project consists of three different development areas as follows:

Development Area A”	Condominiums, site condominiums, and golf course.
Development Area “B”	Clubhouse, restaurant, driving range, office building, swim center/health club, and other associated facilities.
Development Area “C”	Office buildings along Cascade Road frontage.

These three development areas shall be governed by specific regulations contained within this PUD Ordinance as described in Section VIII in addition to the regulations found in the other Sections of this Ordinance which apply to the development in its entirety.

Section VII. Permitted Uses.

The permitted uses for the Forest Hills “Golf Course/Watermark Condominium PUD are as follows:

- A. Single Family Residences.
- B. Accessory buildings customarily incidental to a single family residence, subject to the provisions of Section 4.08 and 4.09 of the Cascade Charter Township Zoning Ordinance, as may be amended.
- C. Signs. Subject to the provisions of the Cascade Charter Township Sign Ordinance (Ordinance 12 of 1988, as amended) and this Ordinance.
- D. One (1) clubhouse/restaurant/pro shop/cart storage building with a maximum size of 30,000 square feet.**
- E. One combined office building located west of the clubhouse with a maximum size of 14,000 sq ft. The building shall be consistent with the approved elevation plan approved dated 8/14/09.(Amended by of #3 of 2019)
- F. Two (2) office buildings. No individual building shall contain more than 10,000 square feet.
- G. One (1) 18 hole golf course with associated practice, maintenance, and accessory facilities no larger than 1,000 square feet.
- H. Swim Center/Healthclub (Amended by Ord #3 of 2019)

Section VIII. Specific Development Regulations.

The Project shall be developed in accordance with the site plan approved by the Township. No alterations, expansions or additions may take place to the Project without an amendment to this Ordinance, unless authorized otherwise herein.

**A. Development Area “A”
Condominiums, Site Condominiums, Golf Course**

1. Site Condominium/Condominium Documents and Plans.

- a. Specific controls relating to architectural elements, common elements of the site condominium and condominium projects, construction materials, size and space requirements, improvements and out buildings, specific prohibitions and rules of conduct shall be governed by site condominium and condominium

bylaws and master deeds. These restrictions shall become part of this Ordinance by reference.

b. The Project shall be developed in accordance with the site plan approved and signed by the Township. The site plan shall indicate where each condominium unit will be located and provide appropriate measurements demonstrating compliance with Section 16.11(2) of the Zoning Ordinance. Engineering plans and documents relating to utilities, topography, drainage, and the survey of the Project shall be reviewed and approved by the Township Engineer. Approval of these documents shall be based upon their meeting the requirements of Section 16.11(4) of the Zoning Ordinance and meeting recognized, acceptable engineering standards and practices. Once it has been determined that the plans have met Township requirements, the Township Engineer shall sign and mark these plan documents as “Approved”, and forward them to the Developer. Only approved plan documents shall be recorded with the appropriate county and state agencies.

c. The number of building sites may be reduced or consolidated with the Project upon review and approval of the Township Planning Department. The proposed changes to the site/survey plan to reduce or consolidate building sites shall be reviewed by the Planning Department to insure compliance with the Cascade Charter Township zoning Ordinance and this PUD Ordinance. Once approved by the Planning Department, the amended site/survey shall then be recorded with the Kent County Register of Deeds Office and the appropriate State agencies by the Developer at his cost. A copy of the recorded site/survey plan shall be forwarded to the Planning Department, so that accurate files regarding the development can be maintained.

2. Design Guidelines, Requirements and Limitations (As amended by Ord No 8 of 2000; May 31, 2000) and (As amended by Ord No 8 of 2003; June 11, 2003)

a. Maximum Number of Residential Units – The Project shall be limited to 91 building sites for single-family detached condominium units, 50 sites for traditional condominiums and 24 sites for Estate Homes, which will contain a maximum of three (3) units per building. The number of building sites within the Project shall not be increased by the Township Board. (As amended by Ord No 8 of 2003; June 11, 2003)

b. Maximum Building Height – 35 feet or 2-1/2 stories whichever is the lesser.

c. Setback Requirements – All site condominiums shall meet the following minimum setback requirements:

1. Front Yard Setback: 35 feet from the front yard area line. The following site condominium units shall maintain a minimum setback of 25

feet from the front yard area line: Sites 17 through 25, 45 through 51, and 93 through 97.

Front Yard Averaging – where the average front yard setback of two (2) or more condominium units within two-hundred (200) feet of the site in question and on the same side of the street is greater than the minimum front yard setback prescribed above, then the required front yard setback of such unit shall not be less than the average existing front yard setback of such condominium units.

2. Side Yard Setback – 10 feet minimum from the side yard area line for one side and 25 feet minimum with both sides combined.
3. Rear Yard Setback – 25 feet from the rear yard area line.

d. All clubhouse condominium units shall be separated from each other by at least 25 feet. All Estate Homes shall be setback and separated from each other as shown on the site plan dated 5-31-00. (As amended by Ord No 8 of 2000; May 31, 2000)

e. Minimum Floor Area – Each site condominium unit shall contain a minimum of 2,000 square feet of finished livable area above grade level, exclusive of the garage, decks, porches and breezeways. Each club home condominium shall contain a minimum of 1,600 square feet of livable area above grade level, exclusive of the garage, decks, porches and breezeways. Each estate home shall contain a maximum of three (3) units per building, with one unit containing a minimum of 1,200 square feet of livable area above grade level, exclusive of the garage, decks, porches and breezeways. The remaining two units shall contain a minimum of 1,800 square feet of livable area above grade level, exclusive of the garage, decks, porches and breezeways. (As amended by Ord No 8 of 2000; May 31, 2000)

f. Minimum Parking Requirements – Each site condominium dwelling unit shall have a minimum of two (2) enclosed off-street parking spaces.

g. Signs. The following signs shall be permitted for the residential and golf course development:

1. One (1) freestanding ground mounted development identification sign for each public street frontage of the development. One along Cascade Road and one along Spaulding Avenue. Such signs shall contain no more than 32 square feet and shall not be lighted in any manner.
2. Within the development each of the club home developments shall be permitted one ground mounted freestanding sign with a maximum sign area of 32 square feet.

3. The golf course shall be permitted one ground mounted freestanding identification sign with a maximum sign area of 50 square feet. This sign may be used to advertise the golf course, clubhouse, and restaurant. This sign may be installed in lieu of the existing sign that must be removed from the site. If the Developer desires to light this sign, he must first bring the proposed sign to the Planning Commission for final review and approval.

B. DEVELOPMENT AREA “B”

Clubhouse, Restaurant, Driving Range, office building, Swim center/healthclub and other associated facilities. Amended by Ord No 3 of 2019 & No 6 of 2019

Design Guidelines, Requirements and Limitations

1. All of the requirements of the Cascade Township Zoning Ordinance, as may be amended, must be complied with for site plan review for any redevelopment within the Project. Those associated facilities that are existing on site may remain and are considered acceptable (maintenance buildings).

2. The maximum size of the clubhouse/restaurant facility shall be limited to 30,000 square feet.

3. The maximum size of the professional office shall be 14,000 sq ft. as shown on the approved floor plans dated 9.3.09. This building is not to be used for any tenant or third party other than Watermark employees with the exception that the existing tenant space of no more than 3,100 sq ft may be leased out for professional office use. Examples of professional office include: attorney, engineer, accountant or other low impact type offices as determined by the Planning Commission.

The swim center building shall be built consistent with the approved site plan/elevation plan dated 7/12/19 and the approved engineering plan dated 8/7/19.

(Amended by Ord 6 of 2019)

4. Signs Amended by Ord No 11 of 2010

a. The existing Forest Hills Golf Course and Club East Restaurant identification sign along Cascade Road shall be permanently removed from its existing location by the time any building permits are issued for the clubhouse/restaurant.

b. The clubhouse/restaurant building shall be permitted 50 square feet of wall sign area. This sign area may be divided into multiple signs.

c. The office building shall be permitted 50 square feet of wall sign. In lieu of the 50 sq ft wall sign the owner can choose to install a 30 sq ft wall sign and a 20 sq ft ground sign in the location shown on the approved site plan dated 1/13/10. (Amended by Ord 3 of 2019)

d. A 12 sq ft directional sign at the south end of Galbraith is permitted in the location shown on the approved site plan dated 1/13/10.

**C. DEVELOPMENT AREA “C”
Office Buildings along Cascade Road**

In addition to meeting the criteria found in the Cascade Township Zoning Ordinance, as may be amended, the development of any offices within the Project must comply with the following design criteria. Some of these criteria were derived from the Cascade Road/Spaulding Avenue Corridor Study.

1. Maximum Building size of 10,000 square feet.
2. The building must be constructed with an actual sloped or pitched roof.
3. The building must be at least 50% owner occupied.
4. Parking shall not be permitted in the front yard between the building and Cascade Road.
5. Maximum building height of 25 feet.
6. Increased landscaping where necessary.
7. Low profile freestanding monument sign with no lighting of any kind.
8. Controlled access to site.
9. Front yard setback of 100 feet from any public right of way line.
10. One office building shall be permitted to be constructed during Phase I of the residential development. The second office building can not be constructed until the Phase I residential development is complete and/or Phase II has commenced.

Section XIX. Private Street Development As amended by Ord No 8 of 2003; June 11, 2003

A. The Developer shall submit a street construction, maintenance and pavement plan consistent with Section 16.11(4)(f) of the Zoning Ordinance. The Developer may establish private streets to serve the Project provided the roads are constructed in accordance with the “Cascade Charter Township Engineering Design Requirements and Standards for Private Streets” and the following specifications:

1. The road grades shall not exceed an 8 percent grade. All grades shall be sufficient to allow safe ingress/egress of emergency vehicles.
2. The private streets shall be posted with signs stating the street names. These signs shall be consistent with Kent County Road Commission standards and requirements and shall be installed at the Developer’s cost.
3. A clear vision triangle shall be established by the Developer to insure safe turning movements to and from the Project onto Cascade Road and Spaulding Avenue. This

clear vision triangle shall be developed to the specifications established by the Kent County Road Commission.

4. Any private street shall intersect any public road at a 90 degree angle.
5. Copies of any permits required by the Kent County Road Commission to connect the private street to any public road shall be provided to the Township Planning Department by the Developer.
6. Street lighting within the Project shall be provided at the developer's expense. Street lighting shall not extend more than 20 feet in height. Luminaires shall be shrouded to minimize the emission of light rays.
7. All condominium units shall be served by the internal private roads. No direct access shall be permitted to Spaulding Avenue or Cascade Road by any individual condominium unit.
8. The use of speed bumps on the private road shall be prohibited.
9. Sidewalks shall be provided on one side of the private road within the Project at the Developer's expense. The sidewalks in Phase I, II and III must be completed within thirty-six (36) months after the date on which a Master Deed for each phase of Watermark is recorded. The sidewalk along Watermark Drive within the Project shall be open for public use at all times. **As amended by Ord No 8 of 2000; May 31, 2000**
10. Overhead street lights shall be placed at the existing Cascade Road and Watermark Drive intersection and at the proposed Spaulding Road and Watermark Drive intersection, at the developer's expense, by December 2000. **As amended by Ord No 8 of 2000; May 31, 2000**
11. The Developer, at their expense, shall install a left turn lane on Spaulding Road, at the Spaulding Road and Watermark Drive intersection and shall install a deceleration lane on Spaulding Road. The Developer shall also install a deceleration lane 12 feet wide for 125 feet on Cascade Road. **As amended by Ord No 8 of 2000; May 31, 2000**
12. The North Project site of Phase IV occupies approximately 36,375 square feet of land that presently contains vacant property. This will create three new lots. The Project is proposed to be developed into single-family site condominiums. This will create an additional private street to be named Sunnybank Court. This road must comply with VIX (B). **As amended by Ord No 8 of 2003; June 11, 2003**
13. The South Project site of Phase IV occupies approximately 2.828 acres of land that presently contains a single-family residence and vacant property. This will create 5 new lots and will extend Talamore Court north to service these new lots. The dead end portion of Talamore Court is not to service more than 21 units and no new secondary access to Spaulding Road is to be constructed. **As amended by Ord No 8 of 2003; June 11, 2003**

B. In accordance with Section G of the “Cascade Charter Township engineering design Requirements and Standards for Private Streets”, the Developer of the Project shall provide a disclosure statement on all property deeds to all owners of the private street, all those who utilize the private street and all persons securing a building permit to construct a building or structure served by the private street, by applying for and securing a building permit for construction of a building or structure that utilizes the private street, all such persons shall use the private street at their own risk and the township shall not be responsible for any aspect of the private street.

C. In accordance with Section I of the “Cascade Charter Township Engineering Design Requirements and Standards for Private Streets”, it shall be the responsibility of the Developer and its successors or the individual property owners to fully maintain and keep the private access street in good repair at all times and to ensure that snow and ice is removed in a timely fashion during the winter.

D. No combustible building materials may be erected on the Project until a temporary access road is constructed to within 100 feet of the furthest point of the structure. Such road shall be a minimum 18 feet wide and be able to support 20 tons on a single axle with dual wheels and standard road tires.

Section X. Temporary Buildings.

No structure of a temporary nature; trailer, tent or construction shack shall be constructed, placed or maintained within the Project except accessory to and during construction of buildings or infrastructure improvements.

Section XI. Utilities.

A. Public Water and Sanitary Sewer – All buildings within the Project shall be served by public sanitary sewer and water at the developer’s expense. No occupancy permits will be issued for any construction within the Project until the public utility system is approved and accepted by the City of Grand Rapids and Cascade Township.

B. Stormwater Drainage – All proposed stormwater drainage facilities shall be reviewed and approved by the township engineer and the Kent County drain Commissioner’s office prior to the development of the Project. The developer shall provide the Township Planning Department with copies of all correspondence and permits received from the Kent County Drain Commissioner and Michigan Department of Environmental Quality regarding stormwater disposal and wetland issues. All stormwater drainage with the Project shall be continuously monitored by the Developer and Township Engineer to insure that there are no adverse impacts on the watersheds or adjacent properties as a result of this development. The Developer shall be responsible for any necessary improvements that are needed to control stormwater within this Project area that are caused as a result of this development.

C. The Developer shall provide all necessary easements within the Project for telephone, electricity, gas and cable television to the appropriate utility provider without cost. Said easements shall be recorded with the Kent County Register of Deeds and provided to each utility provider for their records.

Section XII. Soil Erosion Control Requirements

Prior to each phase of construction, the Developer shall submit a soil erosion control plan showing all temporary and permanent soil erosion control measures to be taken before, during, and after construction on the Project. This plan shall be reviewed and approved by the Township Engineer prior to commencing any building on the site.

Section XIII. Performance Guarantee.

To insure compliance with this Ordinance and any conditions herein, Cascade Township may require reasonable performance guarantees, as authorized under the Township Rural Zoning Enabling Act to insure completion of improvements such as, but not limited to, landscaping, drainage, lighting, roads, and utilities. The Township Board, Engineer, or Planning Department may require such guarantees at any time they deem necessary to insure completion of the improvements.

Section XI. Master Development Plan – Phasing.

The project shall conform in as much as reasonably possible to the master development plan approved by the Township Board and signed by the Township Supervisor on August 27, 1997. In the event that the developer elects to develop the project in separate and distinct phases, he shall be required to submit site plans of each phase. The Planning Commission shall review and approve these plans prior to the construction of the intended phase to insure consistency with the master development plan.

All phases of the Project shall comply with the Permitted Uses listed in section II and the Specific Development Regulations in Section VIII of this Ordinance. Site plan approval of each phase shall only be granted in accordance with Chapters 16 and 21 of the Zoning Ordinance, as may be amended.

Section XV. Consistency With Planned Unit Development (PUD) Standards.

The rezoning to Planned Unit Development will result in a recognizable benefit to the ultimate users of the Project and to the community. Current and future residents will recognize the benefits of a residential/golf development which offers a low density land use pattern while preserving open space and wetland areas around the golf course.

In relation to the underlying zoning (R1, Residential and PUD, Planned Unit Development) the Township finds the Project will not result in a material increase in the need for public services. Utility extensions and construction will be the responsibility of the Developer and will not place a material burden upon the subject property or the surrounding properties. The Project is not anticipated to cause undo impact to the stormwater drainage of the surrounding area. All stormwater and soil erosion control plans have been approved by the township engineer and the appropriate County and State agencies. All stormwater created by this development will be maintained on site. This

project should help improve the handling of stormwater within the Schoolhouse Creek Watershed.

The Project has been determined by the Township to be compatible with the General Development Plan of the Township and with the spirit and intent of the Planned Unit Development Chapter of the Zoning Ordinance.

The Township finds the Project will not result in an unreasonable negative economic impact upon surrounding properties.

The Township finds the Project to have more wetlands, green areas, and usable open space than would typically be required by the Township Zoning Ordinance. The golf course will remain as open space in the development.

Finally, the Township recognizes the Project will be under single ownership or control. The Township recognizes that the Developer or its assigns will retain ownership and control of the condominium portion of the Premises until a majority of the site condominium and condominium units are purchased for single family residential purposes.

Section XVI. Effective Date

This Ordinance shall become effective upon publication of the ordinance, or a summary thereof, in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

The foregoing Ordinance was offered by Board Member Carpenter, supported by Board Member Timmons. The roll call vote being as follows:

YEAS: Carpenter, Goodyke, Julien, Kleinheksel, Timmons, Van Strien

NAYS:

ABSENT: Johnson

Marlene Kleinheksel
Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 27th day of August, 1997.

Marlene Kleinheksel
Cascade Charter Township Clerk

MEMORANDUM

To: Cascade Charter Township Planning Commission
From: Brian Hilbrands, Planning Director
Subject: Draft of Potential Zoning Ordinance Amendments
Meeting Date: May 10, 2023

As mentioned at the previous Planning Commission meeting, staff have been compiling a list of potential amendments to the zoning ordinance. These have come up through a combination of past experiences, recommendations from Planning Commissioners and others, as well as items that were brought up in the most recent Strategic Plan.

Below is a list of potential amendments, as well as a brief description of why each item is being considered. At this time staff are looking for any comments from the Planning Commission before proceeding. The next step will be to incorporate any comments from the Planning Commission as well as refine the proposed amendments.

Revisions regarding Landscape Operations:

“Landscape Operations” – to be added to the list of “non-farm uses” in the definition of Farm in Chapter 3.

Landscape Operations to be allowed by Special Use Permit in ARC (Chapter 7) and Farmland Preservation (Chapter 7a).

Landscape Operations to be added to Section 17.07(2)(j) which provides special use requirements for nurseries and greenhouses.

Reasoning – there are a number of existing operations in the ARC/FP districts that may already be considered landscape operations. The ARC/FP districts would seem to be more appropriate districts for this use than residential, industrial, or commercial districts. Some additional special use requirements may also be added to Section 17.07(2)(j).

Outdoor Eating Areas in the B-2 District

Revise Section 10.04 to allow for outdoor “café” eating areas as a use by-right instead of a requiring a special use permit.

Reasoning – this simply mirrors the text in the B-1 district. Outdoor eating areas are already very common in both the B-1 and B-2 zoning districts. They would be reviewed as part of a typical site plan review.

Temporary Structures and Uses

Revise Section 4.18(4) so that “Other Temporary Structures” are reviewed by staff instead of the Zoning Board of Appeals.

Revise Section 23.07(4) so that “Temporary Uses” are reviewed by staff instead of the Zoning Board of Appeals.

Reasoning – the ZBA have requested that staff review this section to determine if this can be done administratively. They have seen a number of these cases for shipping containers that are being used during interior remodels of large stores, and would prefer that this be a staff review. The Strategic Plan also calls for staff to review temporary uses to lessen the workload of the ZBA.

Boat House Definition:

Boat House:

A one-story accessory building located at or near the water’s edge, having direct access to the water, and with the primary use of housing a boat.

Reasoning – the zoning ordinance currently allows boat houses to be placed at the water’s edge, but does not provide a definition of a boathouse or any additional guidance on what may or may not be permitted. Staff will continue to review examples from other jurisdictions and utilize legal counsel if needed. Most likely some additional restrictions will be added to the accessory building section (Section 4.08).

Administrative Plan Review

Revise Section 21.04 to allow for the following changes to a site plan to be approved administratively:

1. Change of location or type of landscape materials.

2. Minor changes to an approved site plan which involve the addition or relocation of any of the following items:

- a. Sidewalks
- b. Refuse containers
- c. Lighting
- d. Interior driveways
- e. Signs

3. Decrease in building size from an approved site.

4. Moving a proposed building on an approved site plan no more than 10 feet or 5% of the distance to the closest property line, whichever is smaller.

5. An increase in building size that does not exceed 5,000 square feet or 5% of the gross floor area, whichever is smaller.

6. A building or structure which does not exceed 5,000 SF of gross floor area and for any use which does not require a special use permit, as provided by Chapter 15 of this Ordinance.

7. Modifications to parking lots within 10% of original size.

Reasoning – these proposed changes come directly out of the recommendations made by the Process Implementation Subcommittee. They are slightly more restrictive regarding what can be approved administratively.

Accessory Buildings

Staff will continue working on creating a comprehensive review of the ways other municipalities review accessory buildings and will come back with possible revisions that can be made.