



# CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr SE Grand Rapids, Michigan 49546-7140

## NOTICE OF PUBLIC MEETING VIA VIDEO CONFERENCE

In accordance with Public Act 228 of 2020, which declares that public bodies subject to the Open Meetings Act can use telephone and/or video conferencing technology to meet and conduct business during the ongoing COVID-19 pandemic, the Cascade Charter Township Planning Commission will conduct a regular meeting on Monday, April 19, 2021 at 7:00pm utilizing the Zoom video conferencing platform, for the purpose of conducting official business while complying with the Michigan Department of Health and Human Services orders and recommendations designed to help prevent the spread of COVID-19. For up-to-date information regarding the ongoing public health crisis, please visit:

<http://www.Michigan.gov/coronavirus> or <http://www.CDC.gov/coronavirus>

## INSTRUCTIONS FOR ACCESS AND PARTICIPATION

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/87944375936>

Or iPhone one-tap :

US: +13126266799,, 879 4437 5936 # or +19292056099,, 879 4437 5936#

Or Telephone:

Dial (for higher quality, dial a number based on your current location):

US: +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1  
669 900 6833 or +1 253 215 8782

Webinar ID: 879 4437 5936

International numbers available: <https://us02web.zoom.us/j/87944375936>

*\*\*Members of the public with disabilities may utilize the Michigan Relay System (7-1-1) to participate in the meeting. If other aids or services are needed for individuals with disabilities please contact the Township Manager, Ben Swayze at [bswayze@cascadetwp.com](mailto:bswayze@cascadetwp.com) or 616-949-1500 at least 24 hours prior to the meeting\*\**

## PUBLIC PARTICIPATION

Members of the public will be able to listen to and view all discussion by the Planning Commission, and all official materials for this meeting prepared for the Planning Commission

will be included in the meeting packet and available to the public on the Township website.

[www.cascadetwp.com](http://www.cascadetwp.com)

Individuals will be permitted to speak during public comment periods in accordance with the Township Remote Public Meeting Procedure Policy.

If you would like to contact the Township about any matter, on the agenda or otherwise, please do so via email at the addresses below a minimum of 8 hours prior to the meeting. If you wish comments to be read into the public record during the public comment period, you must indicate so and draft communication that can be read in the allotted 3-minute timeframe.

Clerk Sue Slater: [sslater@cascadetwp.com](mailto:sslater@cascadetwp.com)

Manager Ben Swayze: [bswayze@cascadetwp.com](mailto:bswayze@cascadetwp.com)

Community Dev. Director: [speterson@cascadetwp.com](mailto:speterson@cascadetwp.com)

**AGENDA**  
**Cascade Charter Township Planning Commission**  
**Monday, April 19, 2021**  
**7:00 pm**  
**Virtual Meeting**

- ARTICLE 1. Call the meeting to order  
Record the attendance**
- ARTICLE 2. Pledge of Allegiance to the Flag**
- ARTICLE 3. Approve the current agenda**
- ARTICLE 4. Approve the minutes of the March 1, 2021 meeting**
- ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.  
(Comments are limited to five minutes per speaker.)**
- ARTICLE 6. Case # 21-3625/Randall Burri Builder  
Public Hearing  
Property Address: 4670 Quiggle Ave SE  
Requested Action: The applicant is requesting a special use permit to construct an accessory building larger than 832 square feet.**
- ARTICLE 7. Case #21-3631/Bigger, Cory & Karla  
Public Hearing  
Property Address: 4983 Clear Ridge Dr SE  
Requested Action: The applicant is requesting a special use permit to construct an accessory building larger than 832 square feet.**
- ARTICLE 8. Case #21-3629/Morse, Bob  
Property Address: 6390 & 6420 28<sup>th</sup> St SE  
Requested Action: Basic Plan Review for an amendment to the PUD to accommodate a new car wash.**
- ARTICLE 9. Case #21-3632/Gole Dental Properties  
Property Address: 3636 Kraft Ave SE  
Requested Action: Basic Plan Review for an amendment to the PUD Ordinance to accommodate a dental office in the existing building.**
- ARTICLE 10. Discuss and Consider Virtual or In-Person (Hybrid) Meetings**
- ARTICLE 11. Any other business**
- ARTICLE 12. Adjournment**

**Meeting format**

1. **Staff Presentation** Staff report and recommendation
2. **Project presentation-** Applicant presentation and explanation of project
  - a. **PUBLIC HEARINGS**
    - i. **Open Public Hearing.** Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants
    - ii. **Close public hearing**
3. **Commission discussion –** May ask for clarification from applicant, staff or public
4. **Commission decision - Options**
  - a. **Table the decision**
  - b. **Deny**
  - c. **Approve**
  - d. **Approve with conditions**
  - e. **Recommendation to Township Board**

**MINUTES**  
Cascade Charter Township  
Planning Commission  
Monday, March 1, 2021  
7:00 P.M. Virtual Meeting

**ARTICLE 1.** Chairman Rissi called the meeting to order at 7:00 P.M.  
Members Present: Johnson, Katsma, Noordhoek, Rapin, Deering, Rissi, Moxley, and Noordyke  
Members Absent: None  
Others Present: Planner Brian Hilbrands

Chairman Rissi stated the resignation of Member Krieter effective immediately, and thanked her for her time with the Planning Commission.

**ARTICLE 2. Pledge of Allegiance.**

**ARTICLE 3. Approve the current Agenda.**

**Motion was made by Member Johnson to approve the Agenda. Supported by Member Deering. Motion carried 8 to 0.**

**ARTICLE 4. Approve the Minutes of the February 22, 2021 meeting.**

**Motion was made by Member Katsma to approve the Minutes of February 22, 2021. Supported by Member Rapin. Motion carried 8 to 0.**

**ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.**

There were no comments made.

**ARTICLE 6. Case #20-3623/Lacks Enterprises, Inc.**

**Property Address: 5711 Kraft Ave**

**Requested Action: The applicant is requesting a site plan review for a 45,000 square foot addition.**

Planner Hilbrands that the addition will be added to an existing 150,000 square foot building that was built in 2016 and is used as a distribution center and warehouse.

Planner Hilbrands stated that the addition complies with all required height, setback, and parking regulations of the Meadowbrook PUD zoning that it is part of.

Planner Hilbrands stated that the Fire Department has reviewed and approved of the plans, and the airport has been made aware of the request to build an addition. Planner Hilbrands stated that the airport made comment relative to construction permits involving the use of cranes. The Township Engineer has reviewed and approved the plan, and the stormwater maintenance agreement is already in place for the existing development. Stormwater drains to an existing detention basin to the north of the site, and the proposed addition was included in the original stormwater calculations.

Planner Hilbrands stated that the applicant has indicated they may add exterior lighting on the west side of the addition, and if they do so a lighting plan will need to be submitted.

Planner Hilbrands stated that the Meadowbrook Review Board has reviewed and approved the applicants plan for an addition.

Planner Hilbrands stated that Staff is recommending site plan approval of the applicants request for a 45,000 square foot addition with the following conditions:

1. The applicant complies with the Township Engineer letter dated 2/17/21 and all necessary permits are obtained before construction begins.
2. A photometric plan be submitted if any exterior lighting is added.

Chairman Rissi invited the applicant to comment.

The applicant in attendance did not comment.

Member Rapin and Member Noordyke both commented that the Staff Report was very thorough and informative.

**Motion was made by Member Johnson to approve Case # 20-3623 with the conditions recommended by Staff that the applicant complies with the Township Engineer letter dated 2/17/21 and obtains all necessary permits before construction begins, and that a photometric plan is submitted if any exterior lighting is added. Supported by Member Noordyke. Motion carried 8 to 0.**

**ARTICLE 7. Any Other Business**

Planner Hilbrands stated that the meeting scheduled for March 15<sup>th</sup> will likely be cancelled, and noted that there is only one meeting scheduled for April.

**ARTICLE 8. Adjournment**

**Motion was made by Member Katsma to adjourn. Supported by Member Rapin. Motion carried 8 to 0. The meeting was adjourned at 7:07 p.m.**

Respectfully submitted,  
Brett Katsma, Secretary

## STAFF REPORT

STAFF REPORT: Case #21-3625/Randall Burri Builder  
REPORT DATE: April 12, 2021  
PREPARED FOR: Cascade Charter Township Planning Commission  
MEETING DATE: April 19, 2021  
PREPARED BY: Brian Hilbrands, Planner

OWNER:  
Long and Thy Tran  
4670 Quiggle Ave SE  
Ada, MI 49301

STATUS  
OF APPLICANT: Builder for the owner.

REQUESTED ACTION: The applicant is requesting a special use permit to construct an accessory building larger than 832 square feet.

EXISTING ZONING OF  
SUBJECT PARCEL(S): FP (Farmland Preservation)

GENERAL LOCATION: East side of Quiggle Ave between Cascade Rd and I-96.

PARCEL SIZE: Approximately 3.6 acres

EXISTING LAND USE  
ON THE PROPERTY: Residential

ADJACENT AREA  
LAND USES: N,S – Residential  
E,W – Vacant/Agriculture

ZONING ON  
ADJOINING PARCELS: All FP

### STAFF COMMENTS:

1. The applicant is requesting permission to construct an accessory building on the property. The building will be 36' x 48' (1,728 sq ft).
2. The building will be 14' tall as measured to the midpoint of the roof.

3. This requires a minimum of a 10-foot setback from the side property line and a 25' setback to the rear property line. The applicant shows a setback of 12' to the side property line, and the setback to the rear property line will be at least a few hundred feet. The building will also have to be at least 10' from the house.
4. With between 3-6 acres the applicant is permitted to have up to two accessory buildings on the property. This will be the first accessory building.
5. The applicant has indicated that the building will be used for storage of recreational equipment.
6. The size of the building is "normal" for the area.
7. The building is planned to have steel roofing and siding. This is not unusual for the agricultural areas of the Township.
8. Any outdoor lighting will have to meet our standards, requiring it to be shielded and downcast or at a level that is exempted.
9. It should be noted that accessory buildings cannot be used for living space or to run a business.

**Conditions for Special Use Permit Approval**

Upon review of a Type 1 Special Use Permit for an accessory building, Section 17.03(1)(a) of the Zoning Ordinance requires the Planning Commission to consider several factors. I have listed those items for your consideration followed by my comments for each.

| Factors  | Comment   |
|--|---|
| The intended use of the building.  | The applicant has indicated that the building will be used for storage of recreational equipment. |
| The proposed location, type and kind of construction and general architectural character of the building.                                | The building is planned to have steel siding and roofing.   |
| The size of the building in relation to the house, lot and zoning district.  | The property is about 3.6 acres and the home has about 1,742 sq. ft. of finished living space.    |
| The type and kind of principal and accessory buildings and structures located on properties which are adjoining and in the general area. | There are other detached buildings in the general area.   |
| The topography and vegetation in the area.   | Hilly and open.   |
| Whether the proposed building will affect the light and air circulation of any adjoining properties.                                     | No impact.  |

|  |  |
|--|--|
| Whether the proposed building will adversely affect the view of any adjoining property owner or occupant.                        | The location of the building would not have an adverse effect on adjoining property views. |
| Points of access to the proposed building and their relationship to adjoining properties and the view from the adjacent streets. | No new access to the street will be created.   |

**STAFF RECOMMENDATION:**

I recommend that you approve the special use permit as requested with the following conditions:

1. The building is not used for living space or to run a business.
2. Any outdoor lighting meets our regulations.

Attachments: application package, accessory building inventory





# CASCADe CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan  
49546-7140

## PLANNING & ZONING APPLICATION

APPLICANT:

Name: Randall BURR, Builder  
Address: 2415 Rhodora Dr  
City & Zip Code: Zeeland, MI 49464  
Telephone: 616-307-6028  
Email Address: randallburri@yahoo.com

OWNER: \* (If different from Applicant)

Name: LONG + THY TRAN  
Address: 4670 Quiggle Ave SE  
City & Zip Code: ADA 49301  
Telephone: 616 70-0668  
Email Address: Vtran4600@gmail.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- |  |  |
|--|--|
| <input type="checkbox"/> Administrative Appeal         | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking              | <input type="checkbox"/> P.U.D. -- Rezoning *            |
| <input type="checkbox"/> P.U.D. -- Site Condominium *  | <input type="checkbox"/> Rezoning                        |
| <input type="checkbox"/> Site Plan Review *            | <input type="checkbox"/> Sign Variance                   |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Subdivision Plat Review *       |
| <input type="checkbox"/> Zoning Variance               | <input type="checkbox"/> Other: _____ *                  |

*\* Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:\*\*

Building a 36x48 Pole barn for Storage of rec. equipment total 1728 sq. ft

(\*\*Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY\*\*:

"SEE Survey"

(\*\*Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 25-100-034

ADDRESS OF PROPERTY: 4670 Quiggle Ave SE ADA MI. 49301

PRESENT USE OF THE PROPERTY: Residence

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

Randall Burri Builder

only as a building permit.

2415 Rhodora Dr  
Zeeland, MI 49464

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

LONG VAN TRAN

Owner - Print or Type Name  
(\*If different from Applicant)



Owner's Signature & Date  
(\*If different from Applicant)

Randall Burri

Applicant - Print or Type Name



Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET - THANK YOU

Project No.190706

Date: July 9, 2019

For: Kogelschatz, Rich  
Heartland Builders LLC  
2900 E Beltline, Ste D  
Grand Rapids, MI 49525

RE: Partial boundary, easement survey  
Prop. Address: 4690 & 4670 Quiggle

Revised: September 9, 2019  
(staked house, drive, p/l)

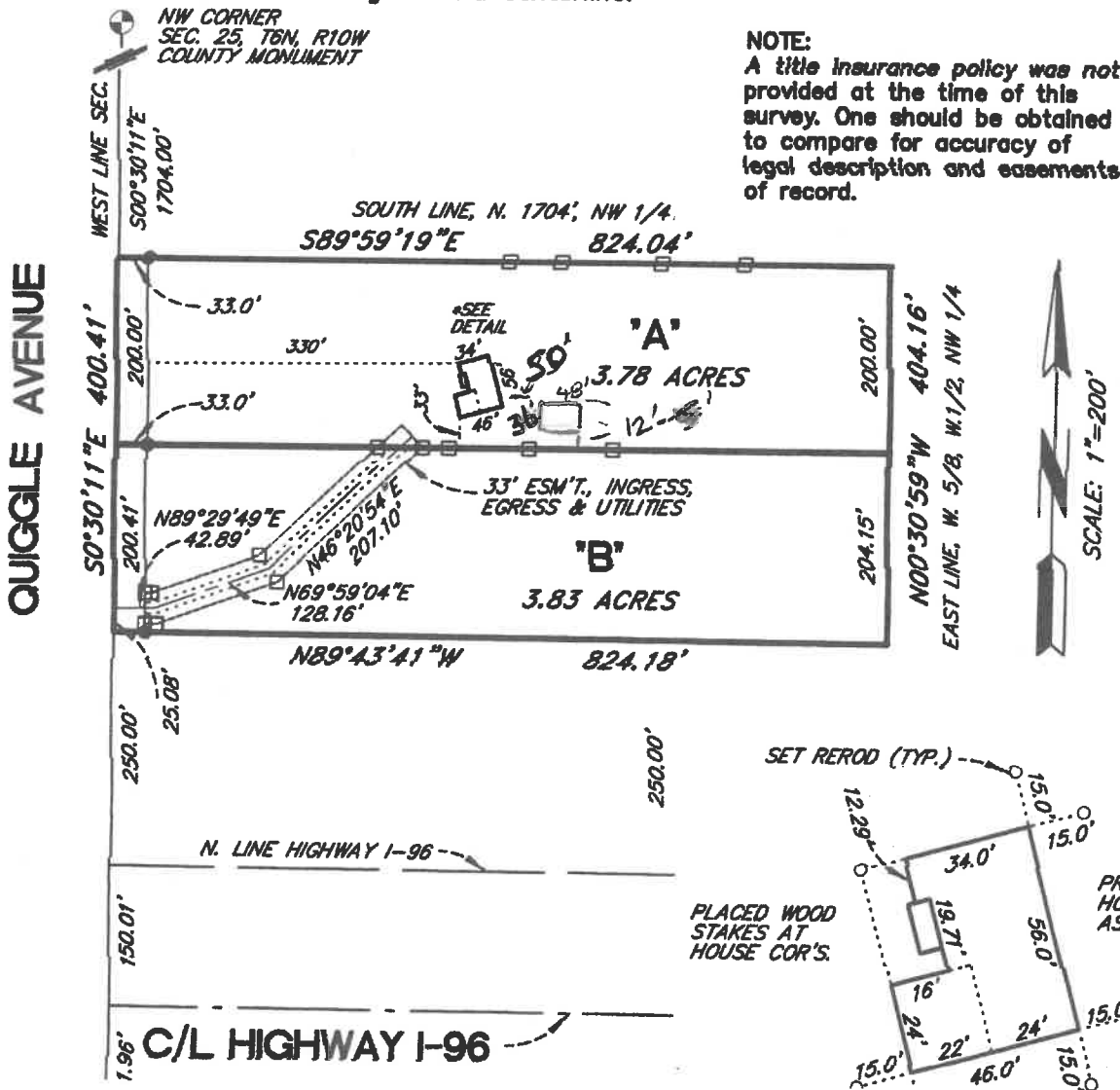
LEGAL DESCRIPTION

PARCEL A per tax records: The South 200.0 feet of the North 1904.0 feet of the West 5/8 of the West 1/2 of the NW 1/4 of Section 25, T6N, R10W, Cascade Township, Kent County, Michigan.

Subject to and together with a 33.0 foot wide easement for ingress, egress, and utilities in part of the NW 1/4 of Section 25, T6N, R10W, Cascade Township, Kent County, Michigan, the centerline of which is described as: Commencing at the NW corner of said Section; thence S0°30'11"E 2079.33 feet along the West line of said Section to the Place of Beginning of said centerline; thence N89°29'49"E 42.89 feet; thence N69°59'04"E 128.16 feet; thence N46°20'54"E 207.1 feet to the Place of Ending of said centerline.

PARCEL B per tax records: That part of the West 5/8 of the West 1/2 of the NW 1/4 of Section 25, T6N, R10W, Cascade Township, Kent County, Michigan, lying North of the North line of Highway I-96, except the North 1904 feet, and except the South 250 feet thereof.

Subject to and together with a 33.0 foot wide easement for ingress, egress, and utilities in part of the NW 1/4 of Section 25, T6N, R10W, Cascade Township, Kent County, Michigan, the centerline of which is described as: Commencing at the NW corner of said Section; thence S0°30'11"E 2079.33 feet along the West line of said Section to the Place of Beginning of said centerline; thence N89°29'49"E 42.89 feet; thence N69°59'04"E 128.16 feet; thence N46°20'54"E 207.1 feet to the Place of Ending of said centerline.



House

4/12 Pitch

14'

10"

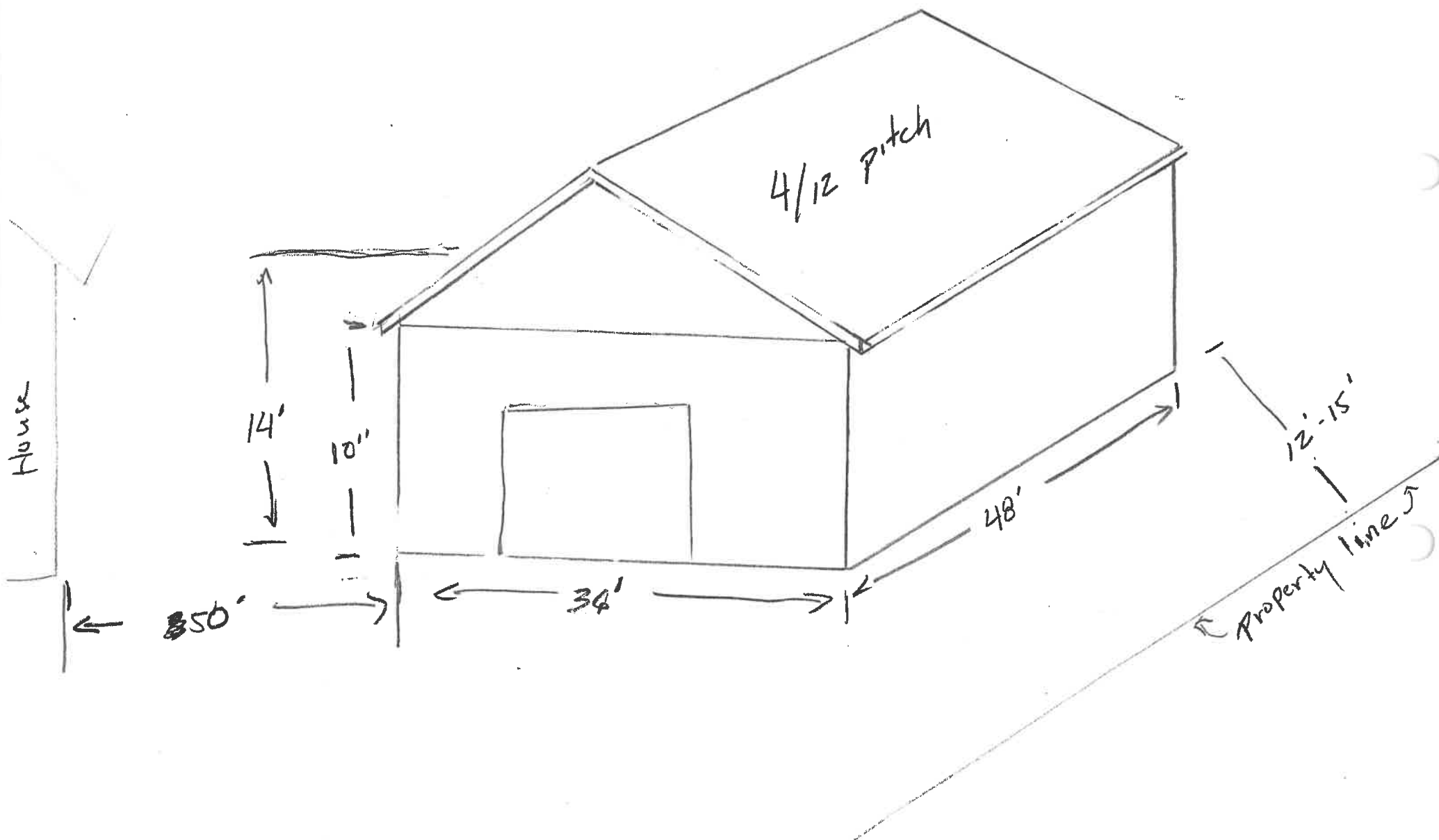
50'

34'

48'

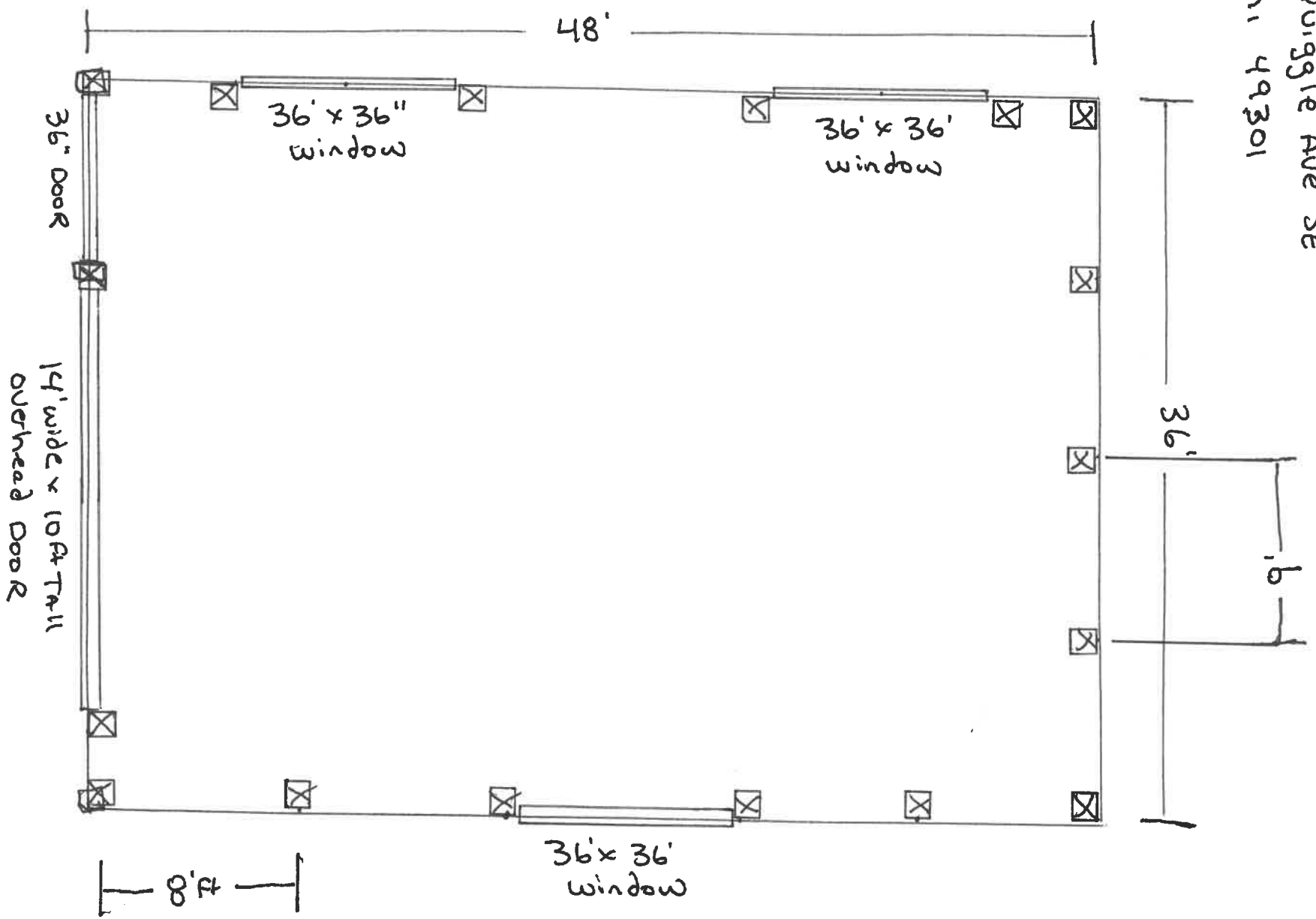
12'-15'

Property line





Long & Thy Tran  
4570 Quiggle Ave SE  
Ada, MI 49301



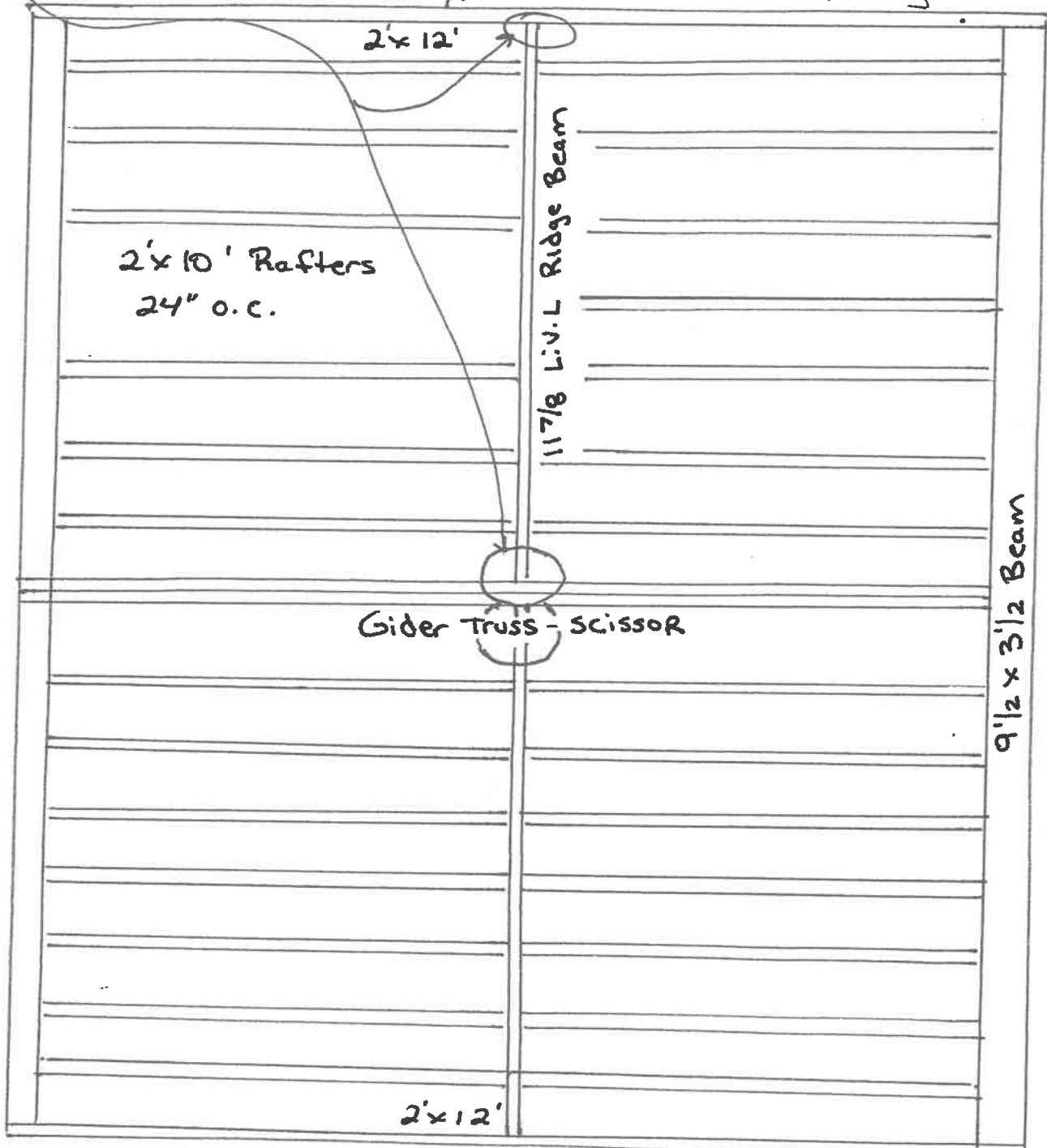
☒ = 4' x 6' post.

☒ All outside wall 8ft on center.

Long & Thy tran  
4570 Quiggle Ave SE  
Ada, MI 49301

Hangers on all trusses  
Simpson Strong-tie  
HUS1.81/10 Joist Hanger

All trusses NO  
Hand Frames 48' o.c.  
4/12 Gable End



2x10 Rafters  
24" o.c.

2x12'

1 1/8 L.V.-L Ridge Beam

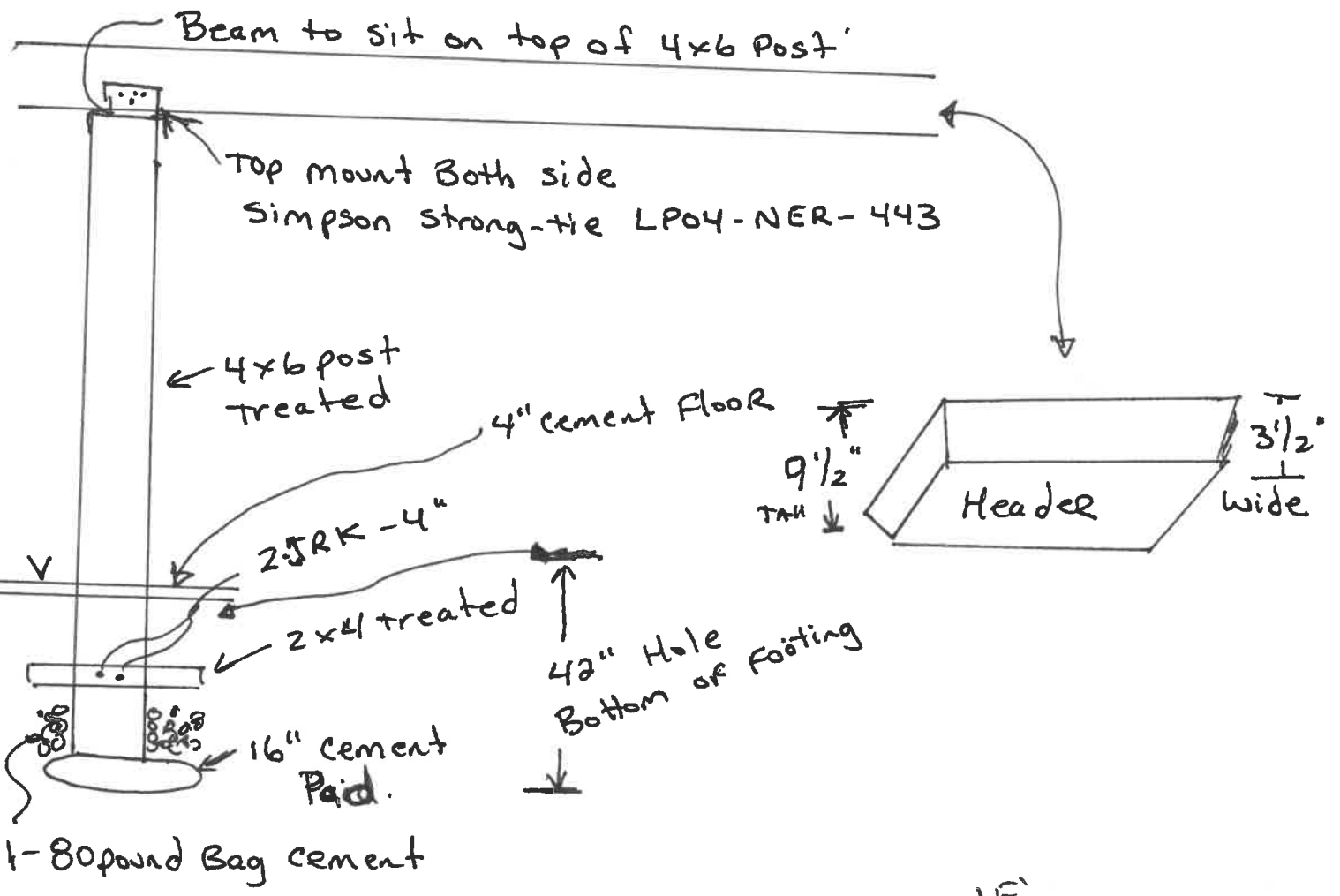
Gider Truss - Scissor

9 1/2 x 3 1/2 Beam

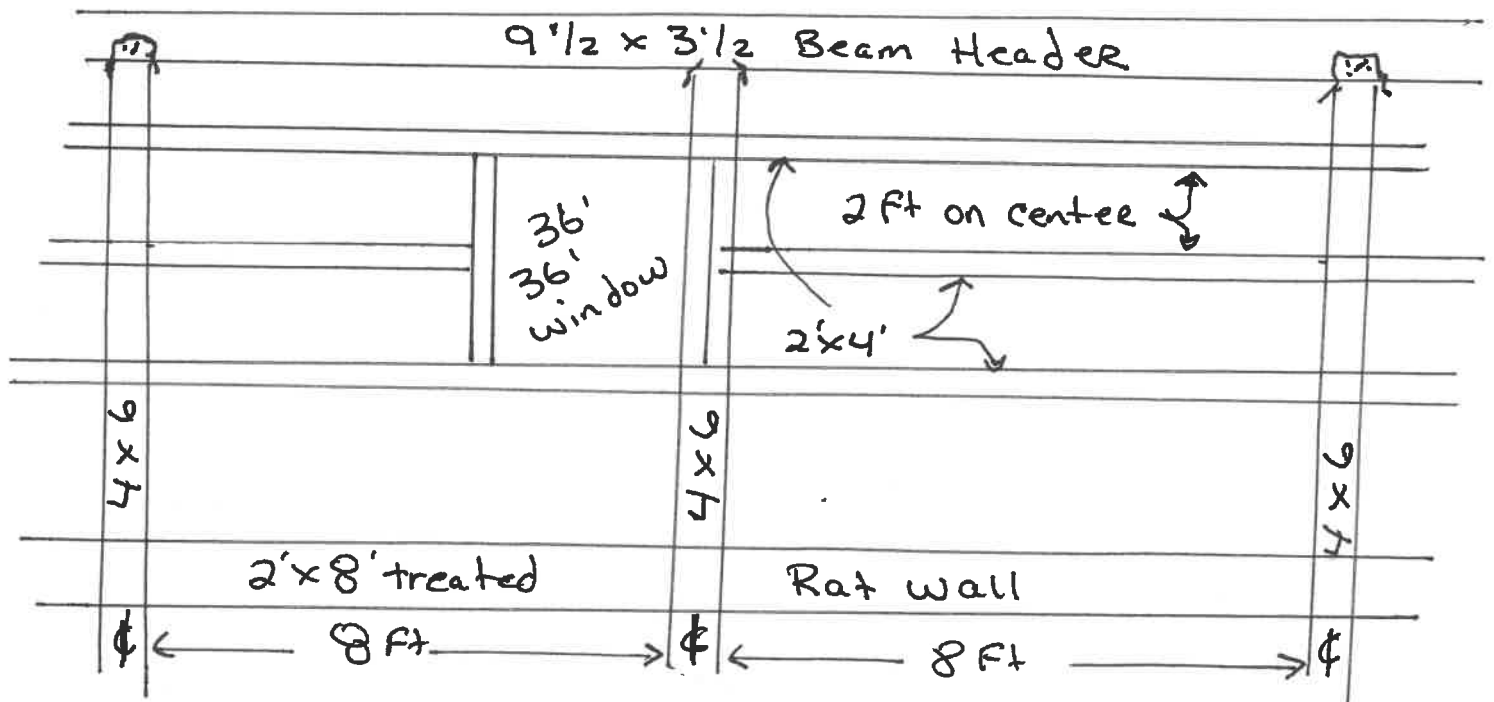
2x12'

4/12 Gable End

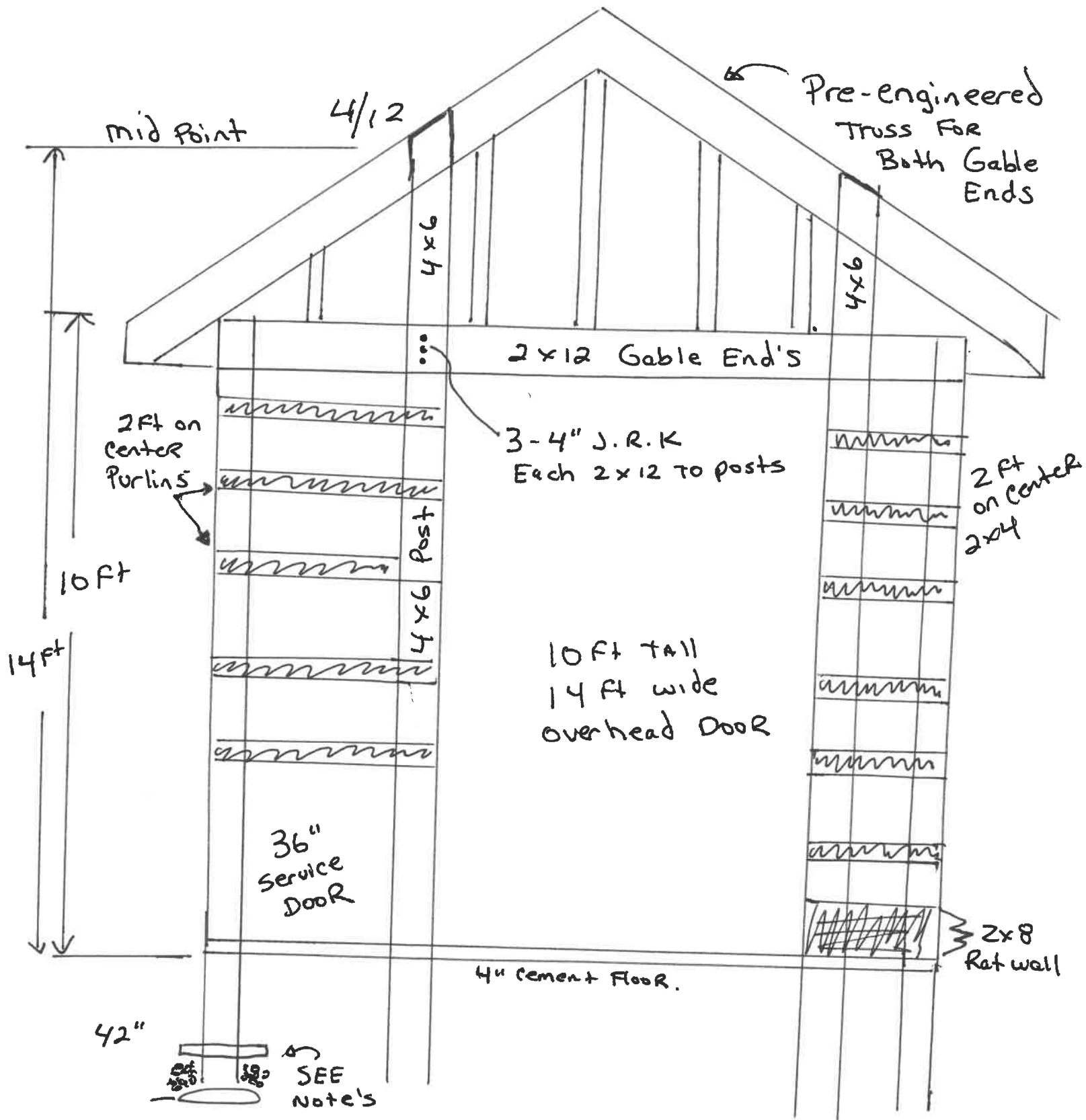
King & Thy Tran  
 4570 Quiggle Ave SE  
 Ada, MI 49301



NOTE:  
 will Be All  
 trusses 48" o.c.



Long & thy tran  
4570 Quiggle Ave SE  
Ada, mi 49301



Accessory Building Inventory 2010-2021 (2/23/21)

| Case    | Name                 | address                | Zoning | accessory building sq.ft | acres | home (FLS) |
|---------|----------------------|------------------------|--------|--------------------------|-------|------------|
| 11-3029 | Korhorn              | 3480 Buttrick Ave      | ARC    | 900                      | 2.5   | 1,800      |
| 11-3052 | Buckius              | 4900 Streamside Point  | ARC    | 2,304                    | 4.5   | 3,500      |
| 10 2999 | Downing              | 1400 Windy Ridge       | ARC    | 1,728                    | 5.6   | 2,600      |
| 10 3010 | Pepin                | 5640 McCords           | ARC    | 2,400                    | 10    | 3,000      |
| 10 3017 | Halfmann             | 4590 Quiggle Ave       | ARC    | 1,020                    | 3.6   | 3,000      |
| 12-3070 | Thornapple Pointe GC | 7211 48th St           | ARC    |                          |       |            |
| 12-3073 | Burd                 | 5630 Buttrick Ave      | ARC    | 1,200                    | 4.9   | 2,700      |
| 12-3077 | Morris               | 5225 Buttrick Ave      | ARC    | 2,432                    | 5     | 2,000      |
| 12-3101 | Hilbrands            | 6482 52nd St           | ARC    | 1,536                    | 80    | 1,500      |
| 13-3145 | harold Cornelisse    | 8773 Running Deer Lane | ARC    | 1,440                    | 10    | 2,200      |
| 14-3216 | Gary Jehnke          | 5766 Buttrick Ave      | ARC    | 1,920                    | 7.6   | 1,800      |
| 15-3239 | Chad Weldy           | 9575 52nd St           | ARC    | 1,728                    | 2.3   | 2,400      |
| 15-3256 | Robert Harmon        | 4150 Cherry Lane       | ARC    | 1,536                    | 7.8   | 3,100      |
| 15-3260 | Jay Nehls            | 3100 Foxfire Lane      | ARC    | 1,575                    | 5     | 4,000      |
| 15-3267 | Paul Kucharczyk      | 9150 52nd St           | ARC    | 1,728                    | 2.9   | 1,500      |
| 16-3315 | Roelofs              | 9554 52nd St           | ARC    | 4,864                    | 4.4   | 3,700      |
| 17-3379 | Shaffer              | 8665 28th st           | ARC    | 1,066                    | 2.5   | 2,500      |
| 17-3404 | Teppo                | 3777 Cherry Lane       | ARC    | 2,720                    | 8.3   | 3,000      |
| 17-3411 | Ruby                 | 8358 28th St           | ARC    | 2,192                    | 1.9   | 2,500      |
| 18-3439 | McConnell            | 5470 McCords           | ARC    | 15,120                   | 160   | 1,600      |
| 18-3448 | Van note             | 8233 28th St           | ARC    | 1,800                    | 4.3   | 2,500      |
| 18-3482 | Seeley               | 9404 28th St           | ARC    | 1,680                    | 17    | 2,800      |
| 18-3483 | Hillman              | 8790 52nd St           | ARC    | 2,688                    | 4     | 2,800      |
| 18-3486 | DeMeester            | 9478 Grand River Dr    | ARC    | 3,136                    | 12    | 3,300      |
| 18-3496 | Eisen                | 7233 60th              | ARC    | 1,728                    | 4.4   | 2,300      |
| 19-3511 | Doering              | 5500 McCords Ave       | ARC    | 1,200                    | 160   | 1,600      |
| 19-3524 | Tolan                | 8505 60th St           | ARC    | 1,600                    | 11    | 2,100      |
| 19-3529 | Hulst                | 3717 Cherry Lane       | ARC    | 1,600                    | 8     | 3,300      |
| 19-3530 | Howard               | 8125 45th St           | ARC    | 1,200                    | 2.9   | 2,900      |
| 19-3546 | Swift                | 8730 52nd St           | ARC    | 1,344                    | 2.5   | 2,600      |
| 20-3589 | Dykhouse             | 2645 Meadow Crossing   | ARC    | 1,634                    | 13    | 7,900      |
| 20-3598 | Maslowski            | 9585 60th St           | ARC    | 1,296                    | 2     | 1,900      |
| 20-3601 | Poolman              | 6667 60th St           | ARC    | 4,288                    | 4.5   | 3,800      |
| 20-3616 | Staples              | 5288 Buttrick Ave      | ARC    | 1,300                    | 2.3   | 4,489      |
| 12-3076 | Lash                 | 8951 Cascade Rd        | FP     | 1,680                    | 2.4   | 1,800      |
| 15-3265 | Randy Gaskin         | 3505 Snow Ave          | FP     | 1,536                    | 2     | 1,400      |

Accessory Building Inventory 2010-2021 (2/23/21)

|         |                |                          |        |                          |       |            |
|---------|----------------|--------------------------|--------|--------------------------|-------|------------|
| 18-3443 | Carpenter      | 8650 36th St             | FP     | 1,560                    | 15    | 3,400      |
| 19-3531 | Beatson        | 9100 Cascade Rd          | FP     | 3,200                    | 15    | 2,600      |
| 20-3600 | Grzywacz       | 8683 Cascade Rd          | FP     | 1,440                    | 3.7   | 4,000      |
| 13-3161 | Epique Homes   | 1415 Ballybunion Dr      | PUD    | 4,500                    | 6     | 6,600      |
| 16-3314 | Reynolds       | 5701 Buttrick Ave        | PUD 52 | 1,256                    | 2.2   | 2,500      |
| 18-3494 | Stibitz        | 3494 Bloomington Hills   | PUD 66 | 1,500                    | 1.39  | 2,200      |
| 10 3008 | Koetje/Proos   | 8091 Ashwood Dr          | PUD 89 | 1,120                    | 2.5   | 4,520      |
| 19-3561 | Hayes          | 3570 Buttrick Ave        | PUD 61 | 1,200                    | 2.2   | 2,600      |
| 21-3619 | Krause         | 2439 Sturbridge Dr       | PUD 65 | 1,728                    | 6.6   | 4,000      |
| 10 3001 | Ike            | 4390 Whitneyville        | R1     | 1,200                    | 3.8   | 1,000      |
| 10 3014 | Borisch        | 5333/5200 Dayenu         | R1     | 2,304                    | 44    | 6,000      |
| 12-3082 | DeVos          | 2020 Devonwood Lane      | R1     | 8,500                    | 35    | 17,000     |
| 14-3184 | Jon DeGraff    | 6960 Thornview           | R1     | 1,520                    | 4.6   | 3,500      |
| 14-3185 | James Hacket   | 1547 Briarcliff Dr       | R1     | 1,400                    | 2.2   | 7,500      |
| 14-3190 | Aaron Schaap   | 1910 Laraway Lake Dr     | R1     | 2,604                    | 13    | 8,200      |
| 14-3197 | John Shipley   | 7373 Biscyane Way        | R1     | 1,000                    | 2.6   | 3,200      |
| 15-3241 | John Borisch   | 5200 Dayenu Dr           | R1     | 3,000                    | 9     | 6,000      |
| 15-3253 | Derek Benedict | 1961 Steketee Woods Lane | R1     | 1,936                    | 2.9   | 6,900      |
| 15-3257 | Jeff Shull     | 7500 Buttrick Park Dr    | R1     | 1,440                    | 3.03  | 3,600      |
| 15-3290 | Hockstra       | 1350 Briarcliff          | R1     | 1,232                    | 1     | 4,000      |
| 16-3301 | Keeler         | 8100 45th st             | R1     | 1,504                    | 1.2   | 2,500      |
| 16-3311 | Borisch        | 5292 Dayenu              | R1     | 5,000                    | 3.8   | 5,000      |
| 16-3337 | Romence        | 5752 Hall St             | R1     | 1,200                    | 1.7   | 2,200      |
| 16-3352 | Rise           | 8200 48th st             | R1     | 1,600                    | 1.05  | 3,000      |
| 17-3383 | Popp           | 1360 Briarcliff          | R1     | 1,200                    | 1.16  | 4,800      |
| 17-3417 | Salmon         | 6350 Cascade Rd          | R1     | 1,440                    | 4.6   | 1,300      |
| 18-3452 | Kortman        | 4555 Little Harbor Dr    | R1     | 1,296                    | 0.95  | 3,000      |
| 18-3474 | Rowland        | 4250 Whitneyville Ave    | R1     | 1,300                    | 5     | 2,800      |
| 18-3480 | Stachowiak     | 7871 Shadybrook          | R1     | 1,800                    | 2     | 2,200      |
| 18-3481 | Doezema        | 5625 Alaska Ave          | R1     | 1,944                    | 5     | 2,000      |
| 19-3567 | Brinks         | 1596 Buttrick Ave        | R1     | 1,296                    | 1.5   | 2,700      |
| 20-3595 | Mayton         | 1468 Buttrick Ave        | R1     | 1,326                    | 1.8   | 4,700      |
| 21-3621 | Engler         | 7080 Hidden Ridge        | R1     | 3,312                    | 4.4   | 7,039      |
| 11-3028 | Slauer         | 3824 Goodwood Dr         | R2     | 900                      | 0.88  | 3,500      |
| Case    | Name           | address                  | Zoning | accessory building sq.ft | acres | home (FLS) |
| Avg     |                |                          |        | 2,143                    | 11.48 | 3,506      |

Accessory Building Inventory 2010-2021 (2/23/21)

|         |  |  |  |  |       |       |       |
|---------|--|--|--|--|-------|-------|-------|
| Avg ARC |  |  |  |  | 2,300 | 17.48 | 2,809 |
| Avg FP  |  |  |  |  | 1,883 | 7.62  | 2,640 |
| Avg PUD |  |  |  |  | 1,884 | 3.48  | 3,737 |
| Avg R1  |  |  |  |  | 2,098 | 6.47  | 4,589 |
|         |  |  |  |  |       |       |       |
|         |  |  |  |  |       |       |       |

**STAFF REPORT**

STAFF REPORT: Case #21-3631/Bigger  
REPORT DATE: April 12, 2021  
PREPARED FOR: Cascade Charter Township Planning Commission  
MEETING DATE: April 19, 2021  
PREPARED BY: Brian Hilbrands, Planner

APPLICANT:  
Cory and Karla Bigger  
4983 Clear Ridge Dr  
Ada, MI 49301

STATUS OF APPLICANT: Property owner

REQUESTED ACTION: The applicant is requesting a special use permit to construct an accessory building larger than 832 square feet.

EXISTING ZONING OF SUBJECT PARCEL(S): PUD 72

GENERAL LOCATION: West of Snow Ave and south of I-96

PARCEL SIZE: Approximately 1.2 acres

EXISTING LAND USE ON THE PROPERTY: Residential

ADJACENT AREA LAND USES: S,W – Residential  
N,E - Vacant

ZONING ON ADJOINING PARCELS: All PUD 72

**STAFF COMMENTS:**

1. The applicant is requesting permission to construct an accessory building on the property. The building will be 30' x 40' (1,200 sq ft).
2. The building will be 14'10" tall as measured to the midpoint of the roof.

3. This requires a minimum of a 40-foot setback to the side and rear property lines. The applicant shows a setback of 49' to the nearest side property line, and a setback of 45' to the rear property line. The building will also have to be at least 10' from the house.
4. With less than 3 acres the applicant is only permitted to have one accessory building on the property. This will be the first accessory building.
5. The applicant has indicated that the building will be used for storage of general household items and lawn equipment.
6. The size of the building is "normal" for the area.
7. The building is planned to have asphalt shingle roofing and white vinyl siding to match the house. This is normal for the area.
8. Any outdoor lighting will have to meet our standards, requiring it to be shielded and downcast or at a level that is exempted.
9. It should be noted that accessory buildings cannot be used for living space or to run a business.

**Conditions for Special Use Permit Approval**

Upon review of a Type 1 Special Use Permit for an accessory building, Section 17.03(1)(a) of the Zoning Ordinance requires the Planning Commission to consider several factors. I have listed those items for your consideration followed by my comments for each.

| Factors  | Comment   |
|--|---|
| The intended use of the building.  | The applicant has indicated that the building will be used for storage of general household items and lawn equipment. |
| The proposed location, type and kind of construction and general architectural character of the building.                                | The building is planned to have white vinyl siding and asphalt shingle roofing to match the house.                    |
| The size of the building in relation to the house, lot and zoning district.  | The property is about 1.2 acres and the home has about 2,800 sq. ft. of finished living space.                        |
| The type and kind of principal and accessory buildings and structures located on properties which are adjoining and in the general area. | There are other detached buildings in the general area.   |
| The topography and vegetation in the area.   | Flat and open.  |
| Whether the proposed building will affect the light and air circulation of any adjoining properties.                                     | No impact.  |
| Whether the proposed building will adversely affect the view of any adjoining property owner or occupant.                                | The location of the building would not have an adverse effect on adjoining property views.                            |

|  |  |
|--|--|
| Points of access to the proposed building and their relationship to adjoining properties and the view from the adjacent streets. | No new access to the street will be created. |
|--|--|

**STAFF RECOMMENDATION:**

I recommend that you approve the special use permit as requested with the following conditions:

1. The building is not used for living space or to run a business.
2. Any outdoor lighting meets our regulations.

Attachments: application package, accessory building inventory





# CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan  
49546-7140

## PLANNING & ZONING APPLICATION

**APPLICANT:**

Name: Cory & Karla Bigger  
Address: 4983 Clear Ridge Dr. SE  
City & Zip Code: Ada, 49301  
Telephone: 616.437.1976  
Email Address: Kcbigger34@sbcglobal.net

**OWNER: \* (If different from Applicant)**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City & Zip Code: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Email Address: \_\_\_\_\_

**NATURE OF THE REQUEST: (Please check the appropriate box or boxes)**

- |                                     |                             |                          |                                 |
|-------------------------------------|-----------------------------|--------------------------|---------------------------------|
| <input type="checkbox"/>            | Administrative Appeal       | <input type="checkbox"/> | Administrative Site Plan Review |
| <input type="checkbox"/>            | Deferred Parking            | <input type="checkbox"/> | P.U.D. - Rezoning *             |
| <input type="checkbox"/>            | P.U.D. - Site Condominium * | <input type="checkbox"/> | Rezoning                        |
| <input type="checkbox"/>            | Site Plan Review *          | <input type="checkbox"/> | Sign Variance                   |
| <input checked="" type="checkbox"/> | Special Use Permit          | <input type="checkbox"/> | Subdivision Plat Review *       |
| <input type="checkbox"/>            | Zoning Variance             | <input type="checkbox"/> | Other: _____ *                  |

**\* Requires an initial submission of 5 copies of the completed site plan**

**BRIEFLY DESCRIBE YOUR REQUEST:\*\***

We would like to put in a 30' x 40' x 12' pole barn that exceeds 832 sq. ft. The barn would have white siding and shingles to match house- It will be used for storage only and not for commercial purposes.

(\*\*Use Attachments if Necessary)

**-SEE OTHER SIDE-**

**LEGAL DESCRIPTION OF PROPERTY\*\*:**

411925426015 Unit No. 15 Clear Meadow Kent County  
Condominium Subdivision Plan No. 622 Liber  
6928 Page 928 & as amended by replat no. 1  
Instrument No. 20041201-0156374

(\*\*Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19-25-426-015

ADDRESS OF PROPERTY: 4983 Clear Ridge Dr. SE

PRESENT USE OF THE PROPERTY: Residential

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**SIGNATURES**

*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.*

*I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)*

Cory Bigger Karla Bigger

Owner - Print or Type Name  
(\*If different from Applicant)

Cory Bigger Karla Bigger

Applicant - Print or Type Name

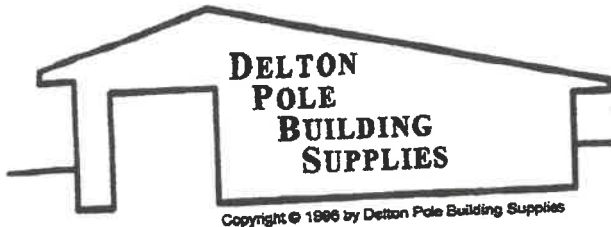
\* \_\_\_\_\_

Owner's Signature & Date  
(\*If different from Applicant)

Karla Bigger  
C Bigger 3.22.21

Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET - THANK YOU

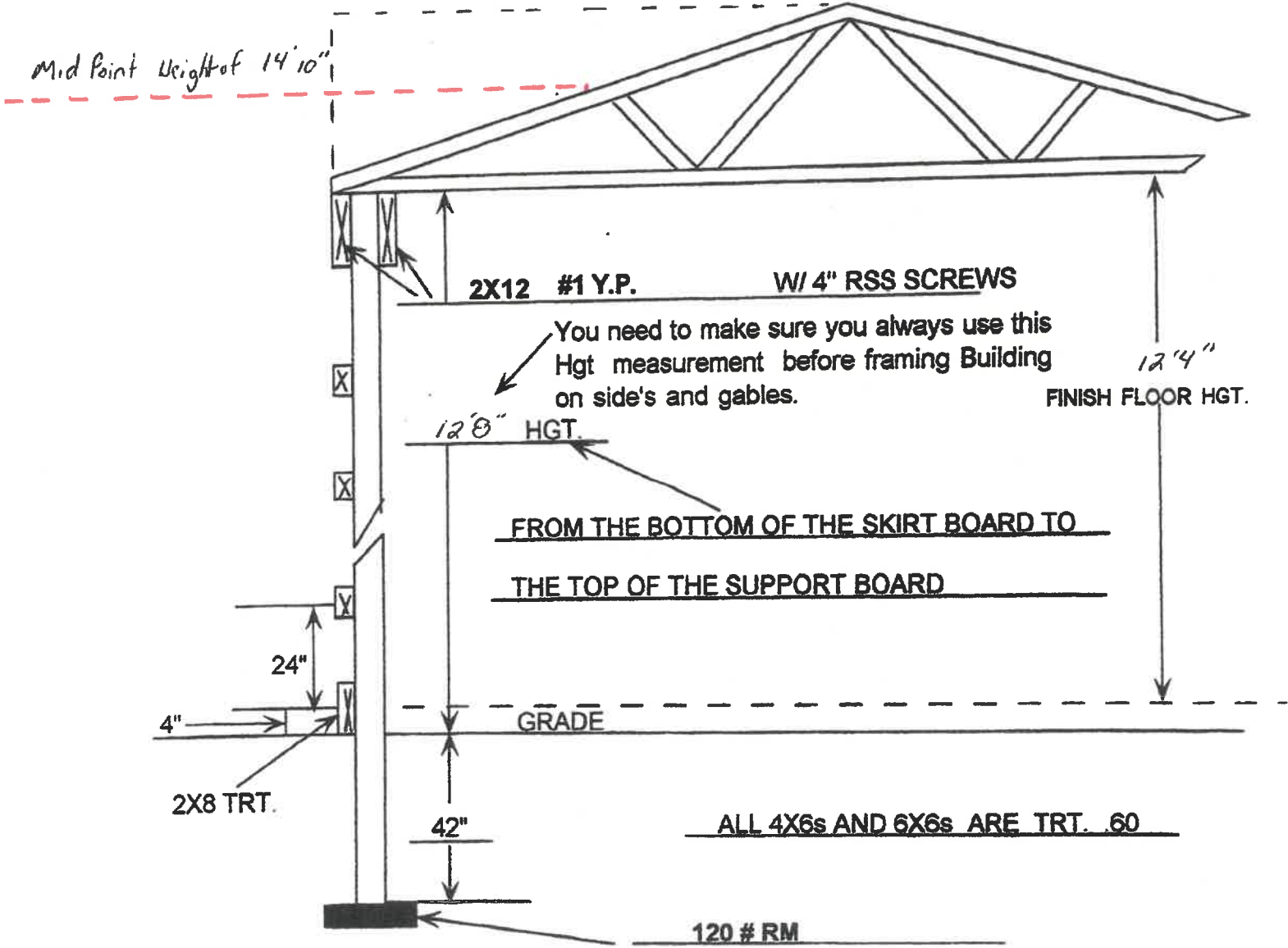


**DELTON  
POLE  
BUILDING  
SUPPLIES**

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**10036 M-43  
Delton, MI 49046  
(616) 623-3300**

|          |       |
|----------|-------|
| Drawing  |       |
| Building |       |
| Revision | Scale |



|               |       |            |     |     |      |
|---------------|-------|------------|-----|-----|------|
| Job           | Truss | Truss Type | Qty | Ply | Roof |
| 12103-02215-A | B     | GABLE      | 2   | 1   |      |

Truss Technologies Inc., Cedar Springs, MI 48319

Job Reference (optional)

8.420 s Nov 10 2020 MITek Industries, Inc. Fri Mar 19 14:54:11 2021 Page 1  
 ID: Srus\_6L15z8Qw\_kLmsV1byzahAB-IVV0sdPlmZgww/fhlZ4xuVO81fz4Vvk2zsW2JbzZLag



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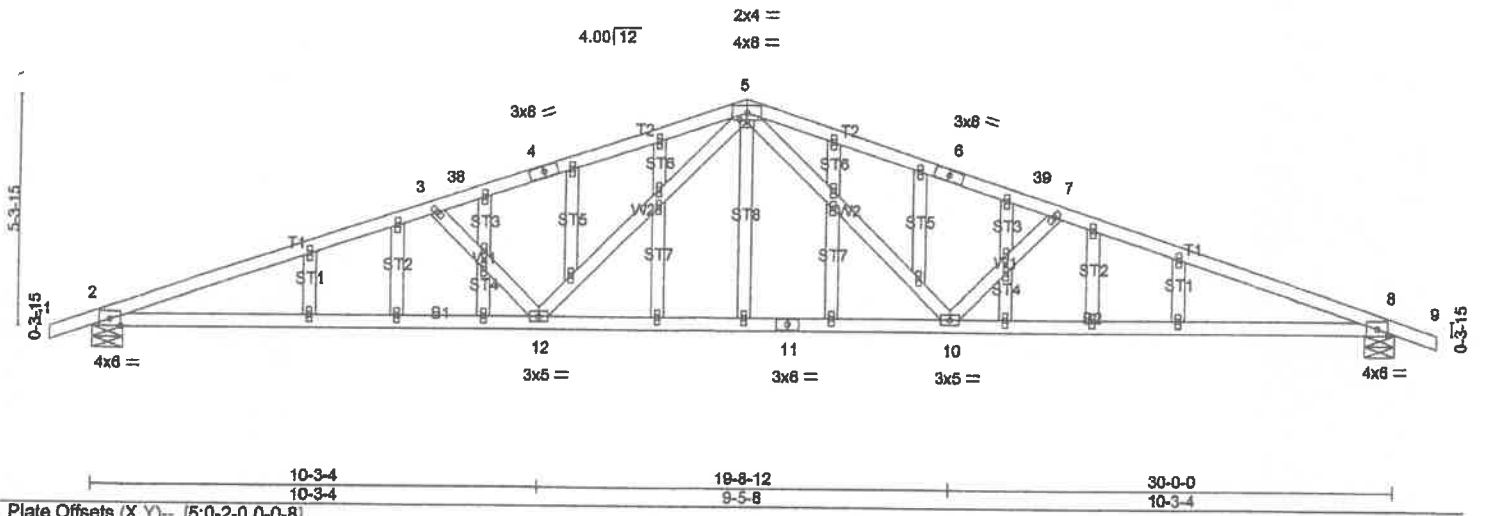


Plate Offsets (X, Y) -- [5:0-2-0, 0-0-8]

| LOADING (psf)                 | SPACING-             | CSI.      | DEFL.                        | PLATES         | GRIP     |
|-------------------------------|----------------------|-----------|------------------------------|----------------|----------|
| TCLL 35.0<br>(Roof Snow=35.0) | 2-0-0                | TC 0.85   | in (loc) l/def L/d           | MT20           | 197/144  |
| TCDL 7.0                      | Plate Grip DOL 1.15  | BC 0.73   | Vert(LL) -0.30 2-12 >999 360 |                |          |
| BCLL 0.0                      | Lumber DOL 1.15      | WB 0.41   | Vert(CT) -0.47 2-12 >747 180 |                |          |
| BCDL 5.0                      | Rep Stress Incr YES  | Matrix-SH | Horz(CT) 0.12 8 n/a n/a      |                |          |
|                               | Code IBC2015/TPI2014 |           |                              | Weight: 130 lb | FT = 20% |

| LUMBER-                               | BRACING-  |
|---------------------------------------|---|
| TOP CHORD 2x4 SPF 1650F 1.5E *Except* | TOP CHORD Structural wood sheathing directly applied or 2-2-0 oc purlins. |
| T2: 2x4 SPF 2100F 1.8E                | BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.            |
| BOT CHORD 2x4 SPF 1650F 1.5E          |   |
| WEBS 2x4 SPF Stud                     |   |
| OTHERS 2x4 SPF Stud                   |   |

MITek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. (lb/size) 2=1491/0-8-8 (min. 0-2-5), 8=1491/0-8-8 (min. 0-2-5)  
 Max Horz 2=45(LC 12)  
 Max Uplift 2=-136(LC 8), 8=-136(LC 9)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
 TOP CHORD 2-3=-3312/408, 3-38=-2833/344, 4-38=-2814/351, 4-5=-2726/363, 5-6=-2726/363,  
 6-39=-2814/351, 7-39=-2833/344, 7-8=-3312/408  
 BOT CHORD 2-12=-323/3037, 11-12=-166/2029, 10-11=-166/2029, 8-10=-323/3037  
 WEBS 3-12=-787/155, 5-12=-75/942, 5-10=-75/942, 7-10=-787/155

- NOTES- (11)
- 1) Wind: ASCE 7-10; Vult=120mph Vasd=95mph; TCDL=4.2psf, BCDL=3.0psf, h=22ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) and C-C Interior(1) zone; cantilever left and right exposed ; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
  - 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
  - 3) TCLL: ASCE 7-10; Pf=35.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.20
  - 4) Unbalanced snow loads have been considered for this design.
  - 5) This truss has been designed for greater of min roof live load of 20.0 psf or 1.00 times flat roof load of 35.0 psf on overhangs non-concurrent with other live loads.
  - 6) All plates are 1.5x4 MT20 unless otherwise indicated.
  - 7) Gable studs spaced at 2-0-0 oc.
  - 8) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
  - 9) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 136 lb uplift at joint 2 and 136 lb uplift at joint 8.
  - 10) This truss is designed in accordance with the 2015 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
  - 11) TT1 quotes and drawings are PROPRIETARY and CONFIDENTIAL. Do not copy or distribute without the consent of Truss Technologies Inc.

LOAD CASE(S) Standard

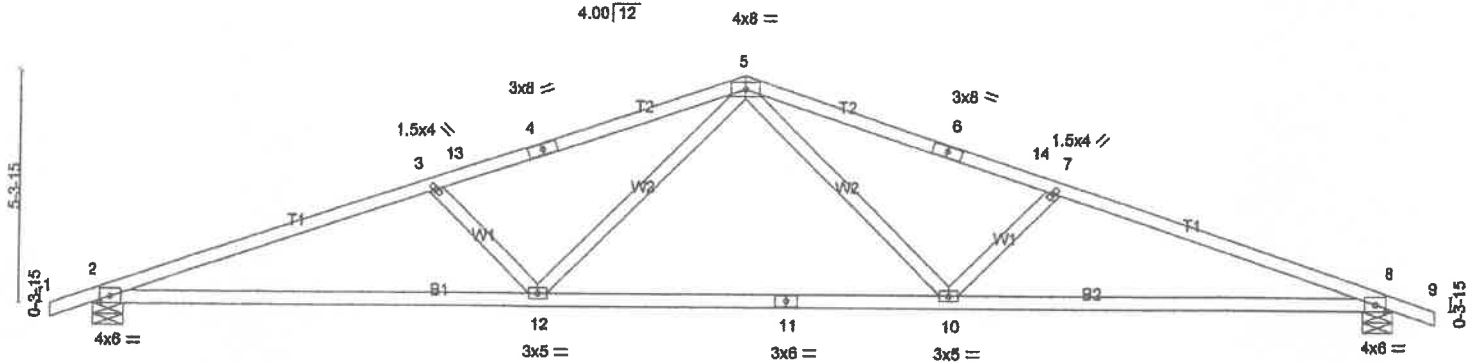
|               |       |            |     |     |                          |
|---------------|-------|------------|-----|-----|--------------------------|
| JOB           | TRUSS | JOB TYPE   | QTY | PLY | Job Reference (Optional) |
| 12103-02216-A | A     | ROOF TRUSS | 19  | 1   |                          |

Truss Technologies Inc., Cedar Springs, MI 49319

ID: Srva\_6Ll5z8Qw\_kLmeV1byzahAB-EJx0fHO4?FY3ib4UlsZiMlaziGdkL2UukCnVm9zZLsh  
8.420 s Nov 10 2020 MITek Industries, Inc. Fri Mar 19 14:54:10 2021 Page 1



Scale = 1:50.9



|                               |  |  |   |                  |             |
|-------------------------------|--|--|---|------------------|-------------|
| 10-3-4<br>10-3-4              |  | 19-8-12<br>9-5-8                           |   | 30-0-0<br>10-3-4 |             |
| <b>LOADING (psf)</b>          | <b>SPACING-</b>  | <b>CSI.</b>                                | <b>DEFL.</b>  | <b>PLATES</b>    | <b>GRIP</b> |
| TCLL 35.0<br>(Roof Snow=35.0) | 2-0-0<br>Plate Grip DOL 1.15<br>Lumber DOL 1.15<br>Rep Stress Incr YES<br>Code IBC2015/TPI2014 | TC 0.85<br>BC 0.73<br>WB 0.41<br>Matrix-SH | in (loc) l/def L/d<br>Vert(LL) -0.30 2-12 >999 360<br>Vert(CT) -0.47 8-10 >747 180<br>Horz(CT) 0.12 8 n/a n/a | MT20             | 197/144     |
| TCDL 7.0                      |  |  |   |                  |             |
| BCLL 0.0                      |  |  |   |                  |             |
| BCDL 5.0                      |  |  |   |                  |             |
|                               |  |  |   | Weight: 96 lb    | FT = 20%    |

**LUMBER-**  
**TOP CHORD** 2x4 SPF 1650F 1.5E \*Except\*  
T2: 2x4 SPF 2100F 1.8E  
**BOT CHORD** 2x4 SPF 1650F 1.5E  
**WEBS** 2x4 SPF Stud

**BRACING-**  
**TOP CHORD** Structural wood sheathing directly applied or 2-2-0 oc purlins.  
**BOT CHORD** Rigid ceiling directly applied or 10-0-0 oc bracing.

MITek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

**REACTIONS.** (lb/size) 2=1491/0-8-8 (min. 0-2-5), 8=1491/0-8-8 (min. 0-2-5)  
Max Horz 2=45(LC 12)  
Max Uplift 2=-136(LC 8), 8=-136(LC 9)

**FORCES.** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
**TOP CHORD** 2-3=-3312/408, 3-13=-2833/344, 4-13=-2814/351, 4-5=-2726/363, 5-8=-2726/363,  
6-14=-2814/351, 7-14=-2833/344, 7-8=-3312/408  
**BOT CHORD** 2-12=-323/3037, 11-12=-166/2029, 10-11=-166/2029, 8-10=-323/3037  
**WEBS** 3-12=-787/155, 5-12=-75/942, 5-10=-75/942, 7-10=-787/155

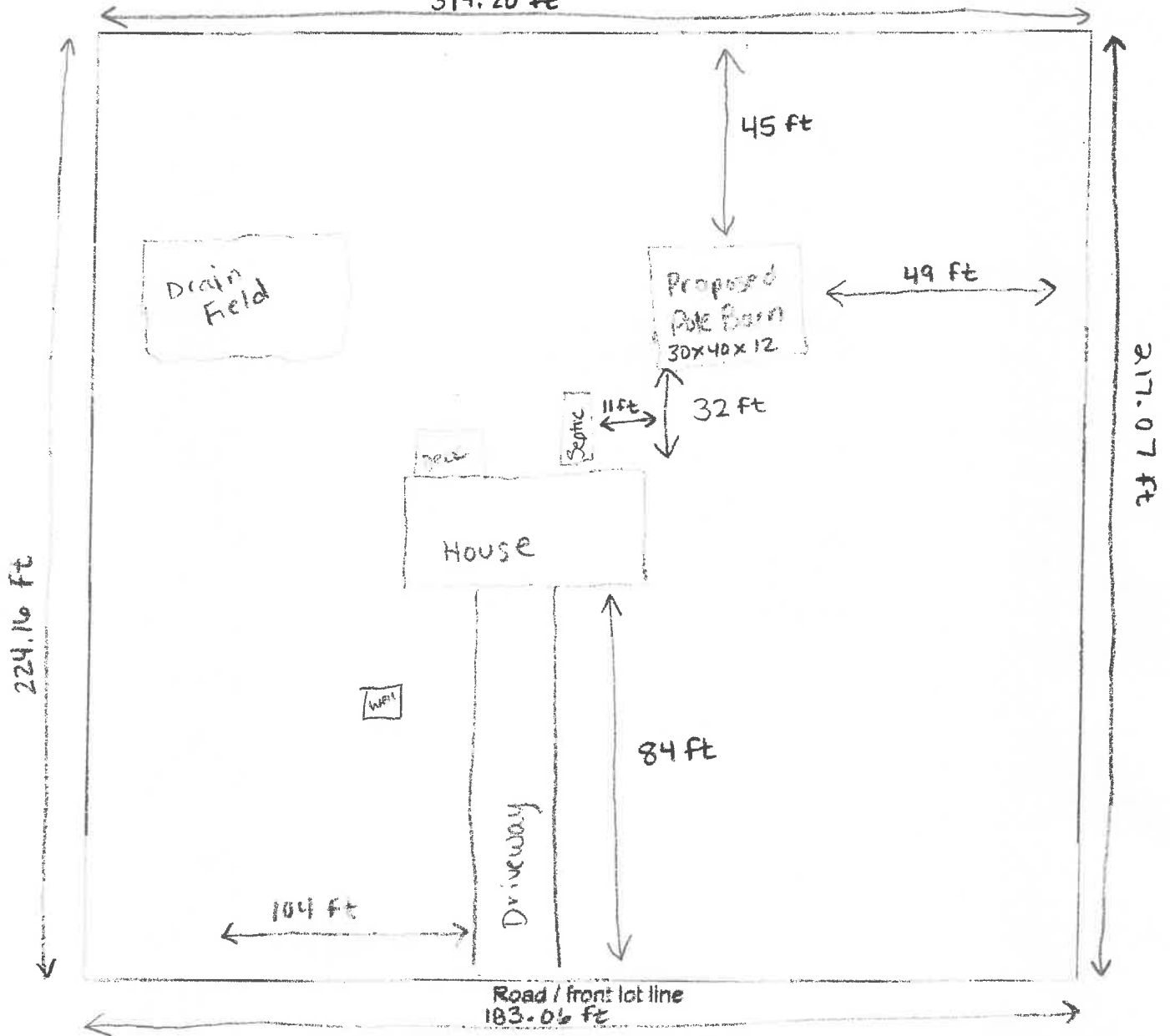
- NOTES- (8)**
- 1) Wind: ASCE 7-10; Vult=120mph Vasd=95mph; TCCL=4.2psf; BCDL=3.0psf; h=22ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) and C-C Interior(1) zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
  - 2) TCCL: ASCE 7-10; PF=35.0 psf (flat roof snow); Category II; Exp B; Partially Exp.; Ct=1.20
  - 3) Unbalanced snow loads have been considered for this design.
  - 4) This truss has been designed for greater of min roof live load of 20.0 psf or 1.00 times flat roof load of 35.0 psf on overhangs non-concurrent with other live loads.
  - 5) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
  - 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 136 lb uplift at joint 2 and 136 lb uplift at joint 8.
  - 7) This truss is designed in accordance with the 2015 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
  - 8) TTI quotes and drawings are PROPRIETARY and CONFIDENTIAL. Do not copy or distribute without the consent of Truss Technologies Inc.

**LOAD CASE(S)** Standard

# Site Plan

Address: 4983 Clear Ridge Dr

Contact name/number: Cory Bigger 616.437.1976  
319.20 ft



Clear Ridge Dr.

\*\*Please note existing building locations and distances from lot lines for any additions or decks.

\*\*For swimming pools - include the required barrier location

## Factors

- The intended use of the building.
  - To be used for storage for general household items and lawn equipment.
- The proposed location, type and kind of construction and general architectural character of the building.
  - The building is planned to have vinyl siding and asphalt shingle roofing. No lighting will be installed.
- The size of the building in relation to the house, lot and zoning district.
  - The property is 1.16 acres and the home has about 2688 sq. ft. of finished living space.
- The type and kind of principal and accessory buildings and structures located on properties which are adjoining and in the general area.
  - There are other detached buildings in the general area.
- Whether the proposed building will affect the light and air circulation of any adjoining properties.
  - No impact.
- Whether the proposed building will adversely affect the view of any adjoining property owner or occupant.
  - The location of the building would not have an adverse effect on adjoining property views.
- Points of access to the proposed building and their relationship to adjoining properties and view from the adjacent streets.
  - No new access to the street will be created.

Accessory Building Inventory 2010-2021 (2/23/21)

| Case    | Name                 | address                | Zoning | accessory building sq.ft | acres | home (FLS) |
|---------|----------------------|------------------------|--------|--------------------------|-------|------------|
| 11-3029 | Korhorn              | 3480 Buttrick Ave      | ARC    | 900                      | 2.5   | 1,800      |
| 11-3052 | Buckius              | 4900 Streamside Point  | ARC    | 2,304                    | 4.5   | 3,500      |
| 10 2999 | Downing              | 1400 Windy Ridge       | ARC    | 1,728                    | 5.6   | 2,600      |
| 10 3010 | Pepin                | 5640 McCords           | ARC    | 2,400                    | 10    | 3,000      |
| 10 3017 | Halfmann             | 4590 Quiggle Ave       | ARC    | 1,020                    | 3.6   | 3,000      |
| 12-3070 | Thornapple Pointe GC | 7211 48th St           | ARC    |                          |       |            |
| 12-3073 | Burd                 | 5630 Buttrick Ave      | ARC    | 1,200                    | 4.9   | 2,700      |
| 12-3077 | Morris               | 5225 Buttrick Ave      | ARC    | 2,432                    | 5     | 2,000      |
| 12-3101 | Hilbrands            | 6482 52nd St           | ARC    | 1,536                    | 80    | 1,500      |
| 13-3145 | harold Cornelisse    | 8773 Running Deer Lane | ARC    | 1,440                    | 10    | 2,200      |
| 14-3216 | Gary Jehnke          | 5766 Buttrick Ave      | ARC    | 1,920                    | 7.6   | 1,800      |
| 15-3239 | Chad Weldy           | 9575 52nd St           | ARC    | 1,728                    | 2.3   | 2,400      |
| 15-3256 | Robert Harmon        | 4150 Cherry Lane       | ARC    | 1,536                    | 7.8   | 3,100      |
| 15-3260 | Jay Nehls            | 3100 Foxfire Lane      | ARC    | 1,575                    | 5     | 4,000      |
| 15-3267 | Paul Kucharczyk      | 9150 52nd St           | ARC    | 1,728                    | 2.9   | 1,500      |
| 16-3315 | Roelofs              | 9554 52nd St           | ARC    | 4,864                    | 4.4   | 3,700      |
| 17-3379 | Shaffer              | 8665 28th st           | ARC    | 1,066                    | 2.5   | 2,500      |
| 17-3404 | Teppo                | 3777 Cherry Lane       | ARC    | 2,720                    | 8.3   | 3,000      |
| 17-3411 | Ruby                 | 8358 28th St           | ARC    | 2,192                    | 1.9   | 2,500      |
| 18-3439 | McConnell            | 5470 McCords           | ARC    | 15,120                   | 160   | 1,600      |
| 18-3448 | Van note             | 8233 28th St           | ARC    | 1,800                    | 4.3   | 2,500      |
| 18-3482 | Seeley               | 9404 28th St           | ARC    | 1,680                    | 17    | 2,800      |
| 18-3483 | Hillman              | 8790 52nd St           | ARC    | 2,688                    | 4     | 2,800      |
| 18-3486 | DeMeester            | 9478 Grand River Dr    | ARC    | 3,136                    | 12    | 3,300      |
| 18-3496 | Eisen                | 7233 60th              | ARC    | 1,728                    | 4.4   | 2,300      |
| 19-3511 | Doering              | 5500 McCords Ave       | ARC    | 1,200                    | 160   | 1,600      |
| 19-3524 | Tolan                | 8505 60th St           | ARC    | 1,600                    | 11    | 2,100      |
| 19-3529 | Hulst                | 3717 Cherry Lane       | ARC    | 1,600                    | 8     | 3,300      |
| 19-3530 | Howard               | 8125 45th St           | ARC    | 1,200                    | 2.9   | 2,900      |
| 19-3546 | Swift                | 8730 52nd St           | ARC    | 1,344                    | 2.5   | 2,600      |
| 20-3589 | Dykhouse             | 2645 Meadow Crossing   | ARC    | 1,634                    | 13    | 7,900      |
| 20-3598 | Maslowski            | 9585 60th St           | ARC    | 1,296                    | 2     | 1,900      |
| 20-3601 | Poolman              | 6667 60th St           | ARC    | 4,288                    | 4.5   | 3,800      |
| 20-3616 | Staples              | 5288 Buttrick Ave      | ARC    | 1,300                    | 2.3   | 4,489      |
| 12-3076 | Lash                 | 8951 Cascade Rd        | FP     | 1,680                    | 2.4   | 1,800      |
| 15-3265 | Randy Gaskin         | 3505 Snow Ave          | FP     | 1,536                    | 2     | 1,400      |

Accessory Building Inventory 2010-2021 (2/23/21)

|         |                |                          |        |                          |       |            |
|---------|----------------|--------------------------|--------|--------------------------|-------|------------|
| 18-3443 | Carpenter      | 8650 36th St             | FP     | 1,560                    | 15    | 3,400      |
| 19-3531 | Beatson        | 9100 Cascade Rd          | FP     | 3,200                    | 15    | 2,600      |
| 20-3600 | Grzywacz       | 8683 Cascade Rd          | FP     | 1,440                    | 3.7   | 4,000      |
| 13-3161 | Epique Homes   | 1415 Ballybunion Dr      | PUD    | 4,500                    | 6     | 6,600      |
| 16-3314 | Reynolds       | 5701 Buttrick Ave        | PUD 52 | 1,256                    | 2.2   | 2,500      |
| 18-3494 | Stibitz        | 3494 Bloomington Hills   | PUD 66 | 1,500                    | 1.39  | 2,200      |
| 10 3008 | Koetje/Proos   | 8091 Ashwood Dr          | PUD 89 | 1,120                    | 2.5   | 4,520      |
| 19-3561 | Hayes          | 3570 Buttrick Ave        | PUD 61 | 1,200                    | 2.2   | 2,600      |
| 21-3619 | Krause         | 2439 Sturbridge Dr       | PUD 65 | 1,728                    | 6.6   | 4,000      |
| 10 3001 | Ike            | 4390 Whitneyville        | R1     | 1,200                    | 3.8   | 1,000      |
| 10 3014 | Borisch        | 5333/5200 Dayenu         | R1     | 2,304                    | 44    | 6,000      |
| 12-3082 | DeVos          | 2020 Devonwood Lane      | R1     | 8,500                    | 35    | 17,000     |
| 14-3184 | Jon DeGraff    | 6960 Thornview           | R1     | 1,520                    | 4.6   | 3,500      |
| 14-3185 | James Hackett  | 1547 Briarcliff Dr       | R1     | 1,400                    | 2.2   | 7,500      |
| 14-3190 | Aaron Schaap   | 1910 Laraway Lake Dr     | R1     | 2,604                    | 13    | 8,200      |
| 14-3197 | John Shipley   | 7373 Biscyane Way        | R1     | 1,000                    | 2.6   | 3,200      |
| 15-3241 | John Borisch   | 5200 Dayenu Dr           | R1     | 3,000                    | 9     | 6,000      |
| 15-3253 | Derek Benedict | 1961 Steketee Woods Lane | R1     | 1,936                    | 2.9   | 6,900      |
| 15-3257 | Jeff Shull     | 7500 Buttrick Park Dr    | R1     | 1,440                    | 3.03  | 3,600      |
| 15-3290 | Hockstra       | 1350 Briarcliff          | R1     | 1,232                    | 1     | 4,000      |
| 16-3301 | Keeler         | 8100 45th st             | R1     | 1,504                    | 1.2   | 2,500      |
| 16-3311 | Borisch        | 5292 Dayenu              | R1     | 5,000                    | 3.8   | 5,000      |
| 16-3337 | Romence        | 5752 Hall St             | R1     | 1,200                    | 1.7   | 2,200      |
| 16-3352 | Rise           | 8200 48th st             | R1     | 1,600                    | 1.05  | 3,000      |
| 17-3383 | Popp           | 1360 Briarcliff          | R1     | 1,200                    | 1.16  | 4,800      |
| 17-3417 | Salmon         | 6350 Cascade Rd          | R1     | 1,440                    | 4.6   | 1,300      |
| 18-3452 | Kortman        | 4555 Little Harbor Dr    | R1     | 1,296                    | 0.95  | 3,000      |
| 18-3474 | Rowland        | 4250 Whitneyville Ave    | R1     | 1,300                    | 5     | 2,800      |
| 18-3480 | Stachowiak     | 7871 Shadybrook          | R1     | 1,800                    | 2     | 2,200      |
| 18-3481 | Doezema        | 5625 Alaska Ave          | R1     | 1,944                    | 5     | 2,000      |
| 19-3567 | Brinks         | 1596 Buttrick Ave        | R1     | 1,296                    | 1.5   | 2,700      |
| 20-3595 | Mayton         | 1468 Buttrick Ave        | R1     | 1,326                    | 1.8   | 4,700      |
| 21-3621 | Engler         | 7080 Hidden Ridge        | R1     | 3,312                    | 4.4   | 7,039      |
| 11-3028 | Slauer         | 3824 Goodwood Dr         | R2     | 900                      | 0.88  | 3,500      |
| Case    | Name           | address                  | Zoning | accessory building sq.ft | acres | home (FLS) |
| Avg     |                |                          |        | 2,143                    | 11.48 | 3,506      |



## STAFF REPORT

STAFF REPORT: Case #21-3629/Bob Morse  
REPORT DATE: April 15, 2021  
PREPARED FOR: Cascade Charter Township Planning Commission  
MEETING DATE: April 19, 2021  
PREPARED BY: Brian Hilbrands, Planner

APPLICANT:  
Bob Morse  
PO Box 633  
Grandville, MI 494

STATUS  
OF APPLICANT: Owner

ADDRESS  
OF PROPERTY: 6390 and 6420 28<sup>th</sup> Street, Grand Rapids, MI 49546

REQUESTED ACTION: Basic Plan Review for an amendment to the PUD to accommodate  
a new car wash.

EXISTING ZONING OF  
SUBJECT PARCEL(S): PUD 80, B-2

GENERAL LOCATION: South side of 28<sup>th</sup> St, west of Thornhills Ave

PARCEL SIZE: Approximately 2.1 acres

EXISTING LAND USE  
ON THE PROPERTY: Commercial – a Pizza Hut and a motel

ADJACENT AREA  
LAND USES: N – Commercial, 28<sup>th</sup> Street  
S – Commercial & Residential  
E – Commercial  
W – Commercial – Macatawa Bank

ZONING ON  
ADJOINING PARCELS: N,E – B-2  
S,W – PUD 80

### STAFF COMMENTS:

1. The applicant is requesting Basic Plan Review to amend the existing Planned Unit Development to allow for the development of a new 5,243 sq ft car wash. They are also proposing a 600 sq ft coffee shop on the same parcel.
2. The site was rezoned to PUD in 2005 to permit a variety of commercial uses and amended to the current PUD in 2017 to also permit a 61-unit multi-family residential apartment development in the south of the PUD.
3. The applicant is proposing combining the two parcels at 6390 and 6420 28<sup>th</sup> Street, along with the road right-of-way that is between them. This combined parcel would then be added to the PUD. Vacating the road right-of-way is subject to approval from the Kent County Road Commission, as well as a resolution of support being passed by the Township Board. The applicant will need to provide these approvals before we can schedule a public hearing.
4. The site is currently the location of a Pizza Hut at 6390 28<sup>th</sup> Street and a motel at 6420 28<sup>th</sup> Street.
5. The developer is proposing an approximately 5,243 sq ft building for a car wash, with 18 parking spaces and 16 vacuums also on the site. The building would have a maximum height of 28 feet. Vacuums cannot be located in the front yard and must be setback at least 50 feet from side or rear property lines. The applicant has noted that they are asking for a deviation for one vacuum that is located 45 feet from the rear property line.
6. The applicant is also proposing an approximately 600 sq ft building for a coffee shop with a drive-thru on the same parcel. Our zoning ordinance allows for one building with a primary use on a parcel. A coffee shop would be considered to be a second building with a primary use along with the car wash. Staff informed the applicant that the coffee shop would not be a permitted use since there is already a primary use on the site, but they chose to include it on the site plan.
7. The proposed plan allows for cross-access to all the neighboring parcels. The plan shows a one-way drive accessing the commercial parcel to the southeast. Staff would recommend that this be a two-way drive for better access.
8. The proposed combined parcel currently has two curb cuts along 28<sup>th</sup> Street, one from the original Pizza Hut parcel and one from the motel parcel. The applicant is proposing eliminating one curb cut and shifting the other to align with a curb cut across the street. This would be subject to approval from the road commission. The PUD Ordinance as currently written states that the Pizza Hut parcel is not permitted to have access directly to 28<sup>th</sup> Street. However, with the curb cut from the motel parcel being added it seems to be a good tradeoff to allow this curb cut to remain if it is being realigned with one across the street.
9. A lighting photometric plan is required.

10. A landscaping plan is required. This should include bufferyard setback distances. Currently there is no bufferyard being shown along the east property line. Staff would prefer to see at least a small bufferyard, similar to what is between Culver's and Macatawa Bank.
11. The proposed plan shows a setback of 94' for the car wash building to 28<sup>th</sup> Street. This is below the 100' setback required in the B2 zoning district, but is consistent with the other buildings along 28<sup>th</sup> Street in the PUD.
12. There have not been any stormwater or utility plans submitted. A full civil plan set will be required so that the township engineer can review it. The stormwater system will need to be finalized before proceeding to the preliminary development plan review.
13. Car washes are subject to the special use requirements found in Section 17.07(2)(k) of the Zoning Ordinance.
14. The applicant has submitted this package as required by Section 16.05 (2) of the Zoning Ordinance for Basic Plan Review.
15. If you find that all the procedural information has been provided, this application should proceed to a public hearing and consideration of a Preliminary Development Plan. It will be at that stage of the review process that the *merits* of the request will be considered, and the detailed site plans will be required and reviewed.

Before proceeding to the Preliminary Development Plan review (Public Hearing), I would recommend that the applicant submit the following information:

1. Approval from the KCRC and the Township Board for vacating the right-of-way.
2. The different parcels should be combined into one parcel
3. A full civil plan set
4. Removal of the coffee shop building from the site plan
5. Access drive in the southeast corner be revised to be two-way
6. Provisions in the general notes of the site plan for screening of the dumpster
7. Landscape plan that includes bufferyard setbacks. Include bufferyard along east property line
8. The location and type of any signs being proposed
9. Photometric plan
10. KCRC review and approval of the curb cut on 28<sup>th</sup> Street
11. Approval from the township engineer of all proposed stormwater drainage facilities or improvements

ATTACHMENTS:                      Application  
    Site Plan  
    Current PUD Ordinance East Imports #1 of 2004  
    Zoning Ordinance Section 17.07(2)(k)



# RJM Design Inc.

Land Planning • Landscape Architecture

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**Transmittal**

**Date:** March 16, 2021

**To:** Brian Hilbrands, Planner  
Cascade Charter Township  
2865 Thornhills SE  
Grand Rapids, MI 49546

**From:** R. James Morgan  
RJM Design, Inc.

**Project:** Tommy Carwash PUD

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Enclosed are the following documents:

- Zoning Application
- Zoning Application Fees \$500.00
- Sketch Plan (4 copies)

Please place this request for PUD Zoning on your April 19, 2021  
Planning Commission Agenda for a Work Session

Thank you,

Jim

**Cc:** Bob Morse, w/ attachments  
Doug Stalsonburg, Exxel Engineering



# CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan  
49546-7140

## PLANNING & ZONING APPLICATION

**APPLICANT:** Name: Bob Morse  
Address: PO Box 633  
City & Zip Code Grandville, MI 49418  
Telephone: (616) 889-0373  
Email Address: bob@creativeproducts.com

**OWNER: \* (If different from Applicant)**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City & Zip Code: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Email Address: \_\_\_\_\_

**NATURE OF THE REQUEST: (Please check the appropriate box or boxes)**

- |  |  |
|--|--|
| <input type="checkbox"/> Administrative Appeal         | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking              | <input checked="" type="checkbox"/> P.U.D. - Rezoning *  |
| <input type="checkbox"/> P.U.D. - Site Condominium *   | <input type="checkbox"/> Rezoning                        |
| <input checked="" type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance                   |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Subdivision Plat Review *       |
| <input type="checkbox"/> Zoning Variance               | <input type="checkbox"/> Other: _____ *                  |

*\* Requires an initial submission of 5 copies of the completed site plan*

**BRIEFLY DESCRIBE YOUR REQUEST:\*\***

We are proposing a new car wash and new coffee shop located at 6390 and 6420 28th Street SE, including removal of two existing buildings, removal of two existing curb-cuts and construction of one new curb cut. We are requesting an Amendment to an existing PUD and a Special Use Permit.

(\*\*Use Attachments if Necessary)  
-SEE OTHER SIDE-

**LEGAL DESCRIPTION OF PROPERTY\*\*:**

Four parcels have been assembled for this project and Legal Descriptions are currently in progress. They will be submitted to the Township as soon as they are completed. See Site Plan for Property Dimensions.

**PERMANENT PARCEL (TAX) NUMBER:** 41-19-17-229-004 & 41-19-16-101-012

**ADDRESS OF PROPERTY:** 6390 and 6420 28th Street SE

**PRESENT USE OF THE PROPERTY:** Former Pizza Hut Restaurant (vacant)  
and Strip Retail (old motel building)

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR  
EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

JMR PROPERTY 2 LLC

PO Box 633, Grandville, MI 49418

**SIGNATURES**

*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.*

*I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)*

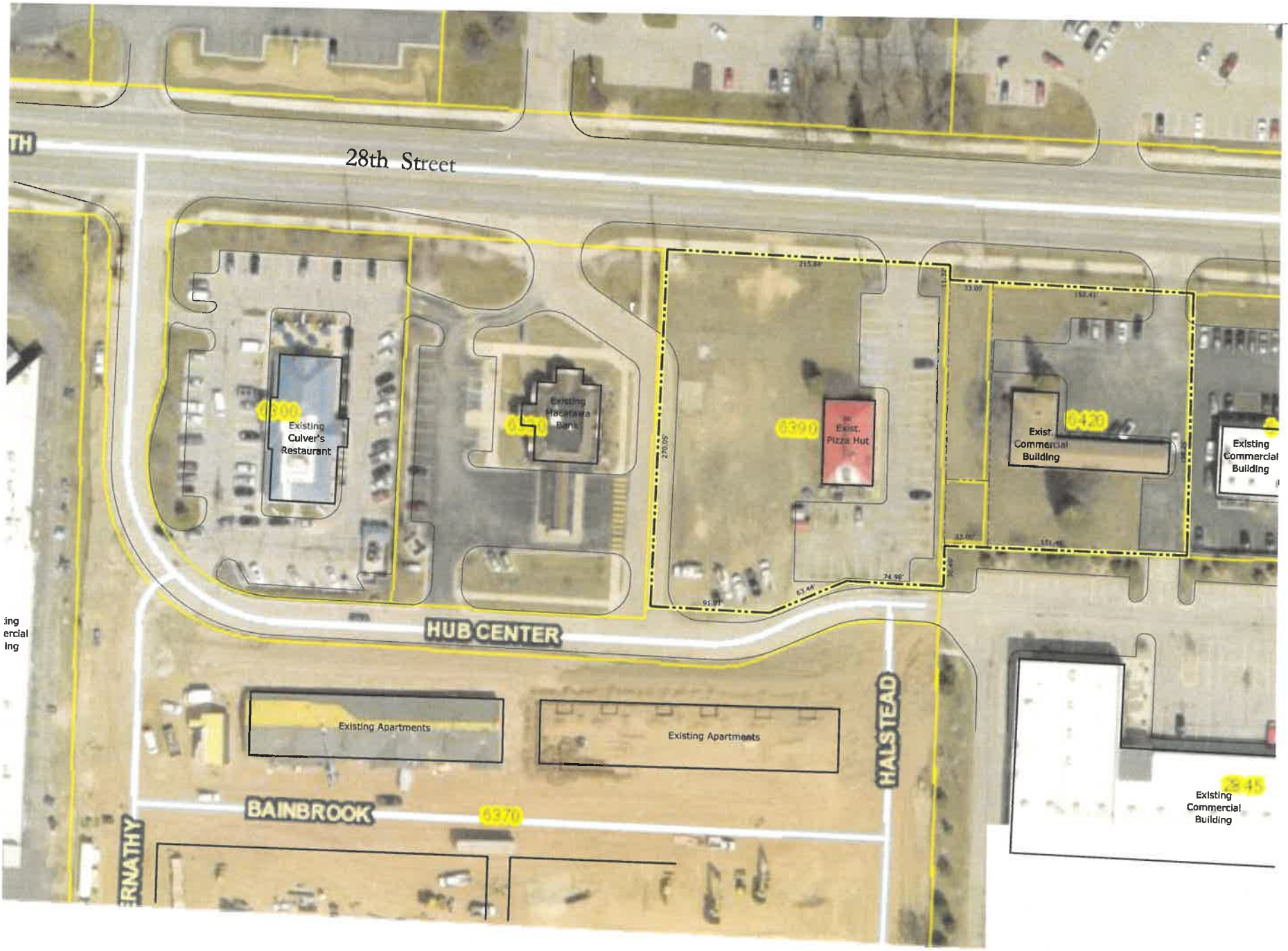
\_\_\_\_\_  
Owner – Print or Type Name  
(\*If different from Applicant)

Robert Morse  
Applicant – Print or Type Name

\* \_\_\_\_\_  
Owner's Signature & Date  
(\*If different from Applicant)

 3-11-21  
Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU



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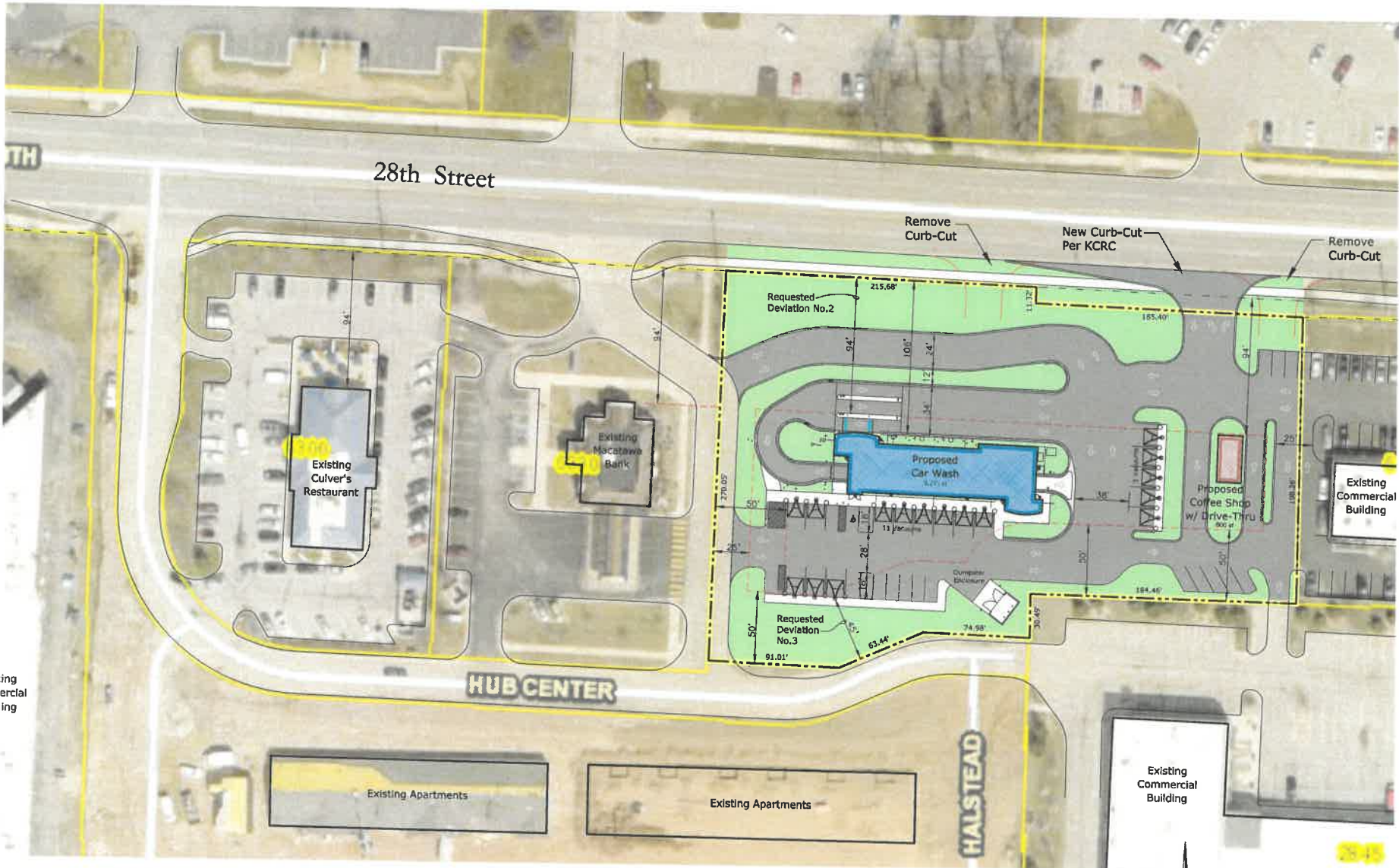
**RJM DESIGN**  
 10000 E. 14th Street, Suite 100  
 Grand Rapids, MI 49508  
 Tel: 616.223.1111  
 Fax: 616.223.1112

Survey by:  
 east engineering inc.  
 10000 E. 14th Street, Suite 100  
 Grand Rapids, MI 49508  
 Tel: 616.223.1111  
 Fax: 616.223.1112

Proposed PUD:  
  
**TOMMY**  
 CAR WASH SYSTEMS  
 Cascade Township, MI

|            |                 |
|------------|-----------------|
| DATE:      | ISSUED FOR:     |
| 02.13.2021 | PC WORK REVIEW  |
|            |                 |
|            |                 |
|            |                 |
|            |                 |
|            |                 |
| P.L.S.:    | R. JAMES MORROW |
|            |                 |
|            |                 |

PROJECT NUMBER  
**20016**  
 SHEET NAME  
**EXISTING  
 CONDITIONS PLAN**  
 SHEET NUMBER  
**C-100**



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ing

**DEVELOPMENT DATA:**

|                            |                         |
|----------------------------|-------------------------|
| SITE AREA                  | 53,274 SF<br>2.14 ACRES |
| BUILDINGS TO REMOVE        |                         |
| 1922A MET                  | 3,500 SF                |
| STRIP RETAIL (ACORN)       | 4,000 SF                |
| TOTAL                      | 7,500 SF                |
| PROPOSED BUILDINGS         |                         |
| CAR WASH                   | 3,200 SF                |
| COFFEE SHOP                | 800 SF                  |
| TOTAL                      | 4,000 SF (8%)           |
| PROPOSED PARKING AND DRIVE | 44,800 SF (84%)         |
| PROPOSED CONCRETE WAIRS    | 4,361 SF (8%)           |
| PROPOSED OPEN SPACE        | 34,530 SF (64%)         |

**REQUESTED DIVIATIONS:**

- TWO BUILDINGS ON ONE PARCEL CURRENTLY TWO BUILDINGS ON SAME LAND
- FRONT SETBACK BUILDING SETBACK TO CANOPY REQUIRED 100 FEET REQUESTED 40 FEET SAME AS BANK AND RESTAURANT WARE BUILDING IS 100 FEET
- SETBACK FOR ONE MAXIMUM REQUIRED 40 FEET REQUESTED 40 FEET

**LEGAL DESCRIPTIONS:**

PROPERTY DESCRIPTION FOR 6300 28TH STREET SE  
 UNIT A, CASCADE MARKET PLACE, A CONDOMINIUM ACCORDING TO THE MASTER DEED RECORDED IN INSTRUMENT NO. 20009814-008227 AND FIRST AMENDMENT TO MASTER DEED RECORDED IN INSTRUMENT NO. 20010200-000049 AND SECOND AMENDMENT TO MASTER DEED RECORDED IN INSTRUMENT NO. 20171204-0100872, AS AMENDED, IN THE OFFICE OF THE KENT COUNTY REGISTER OF DEEDS, AND DESCRIBED AS KENT COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 742, TOGETHER WITH RIGHTS IN SEVERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS AS SET FORTH IN SAID MASTER DEED, AND AMENDMENTS THEREIN, AND AS DESCRIBED IN ACT 20 OF THE PUBLIC ACTS OF 1976, AS AMENDED.  
 PERMANENT PROPERTY NO. 41-18-17-258-004  
 PROPERTY ADDRESS: 6300 28TH ST SE, GRAND RAPIDS, MI 49504

PROPERTY DESCRIPTION FOR 6420 28TH STREET SE  
 LOCATED IN THE TOWNSHIP OF CASCADE, COUNTY OF KENT, STATE OF MICHIGAN, LOTS 20 AND 21 OF ARDEN HILLS PLAT, SECTION 18, CASCADE TOWNSHIP, TOWN 8 NORTH, RANGE 10 WEST, KENT COUNTY, MICHIGAN ACCORDING TO THE RECORDED PLAT THEREIN.  
 ALSO, THAT PART OF THE N 1/2 OF NW 1/4 OF SECTION 16, TOWN 8 NORTH, RANGE 10 WEST, KENT COUNTY, MICHIGAN, AS DESCRIBED IN THE COMPLETION AT THE SOUTHWEST CORNER OF LOT 21, ARDEN HILLS PLAT, THENCE SOUTH 80 FEET ON A LINE 53 FEET EAST OF AND PARALLEL TO THE WEST LINE OF SECTION 18, THENCE SOUTHWESTERLY ALONG THE SOUTH LINE OF ARDEN HILLS PLAT TO A POINT WHICH INTERSECTS THE EAST LINE OF LOT 20, ARDEN HILLS PLAT 40 FEET SOUTH, THENCE SOUTH ALONG SAID EXTENDED LINE OF LOT 20 TO THE SOUTHWEST CORNER OF LOT 20, THENCE WESTERLY ALONG ARDEN HILLS PLAT TO THE PLACE OF BEGINNING.  
 PERMANENT PROPERTY NO. 41-18-18-101-012  
 PROPERTY ADDRESS: 6420 28TH ST SE, GRAND RAPIDS, MI 49504



Survey by:  
 east engineering inc.  
 10000 28th St SE  
 Grand Rapids, MI 49504  
 616.221.1111

Proposed PUD:  
 Proposed PUD:  
 Proposed PUD:



Proposed PUD:  
 Proposed PUD:  
 Proposed PUD:

|            |                 |
|------------|-----------------|
| DATE:      | WORK FOR:       |
| 03.18.2023 | PC WORK SESSION |
| P.L.C.:    | R. JAMES MORGAN |
| P.M.:      |                 |
| DESIGN:    |                 |

|                |             |
|----------------|-------------|
| PROJECT NUMBER | 20016       |
| SHEET NAME     | SKETCH PLAN |
| SHEET NUMBER   | C-101       |



R. James Morgan

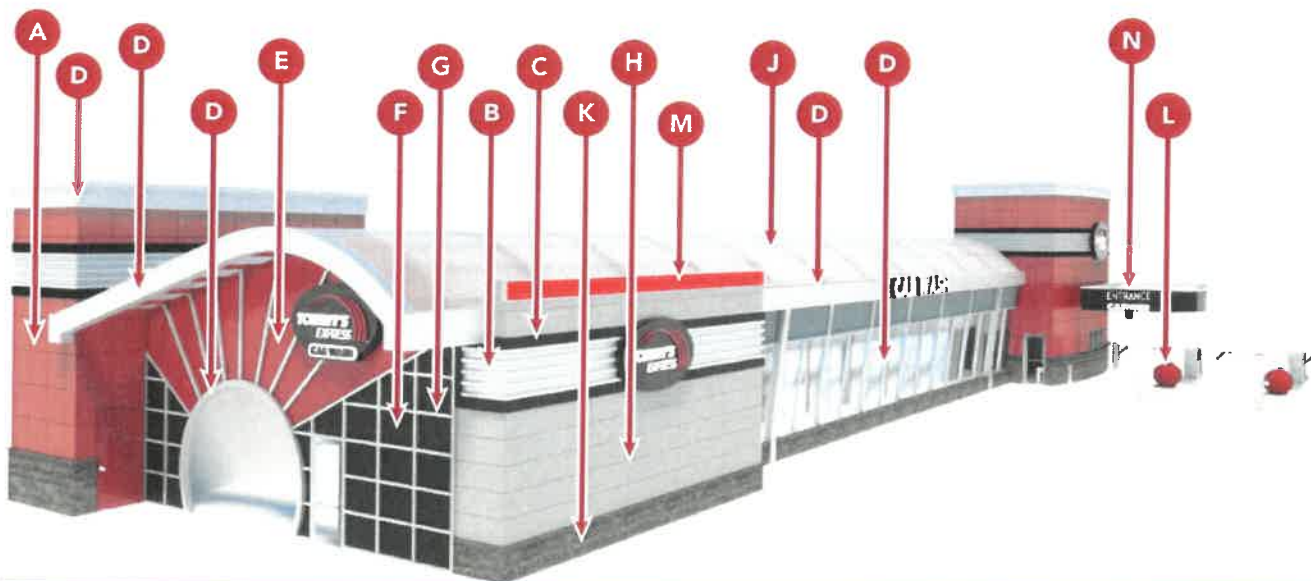
# Exterior Material Selections

## Tommy's Express Model M1

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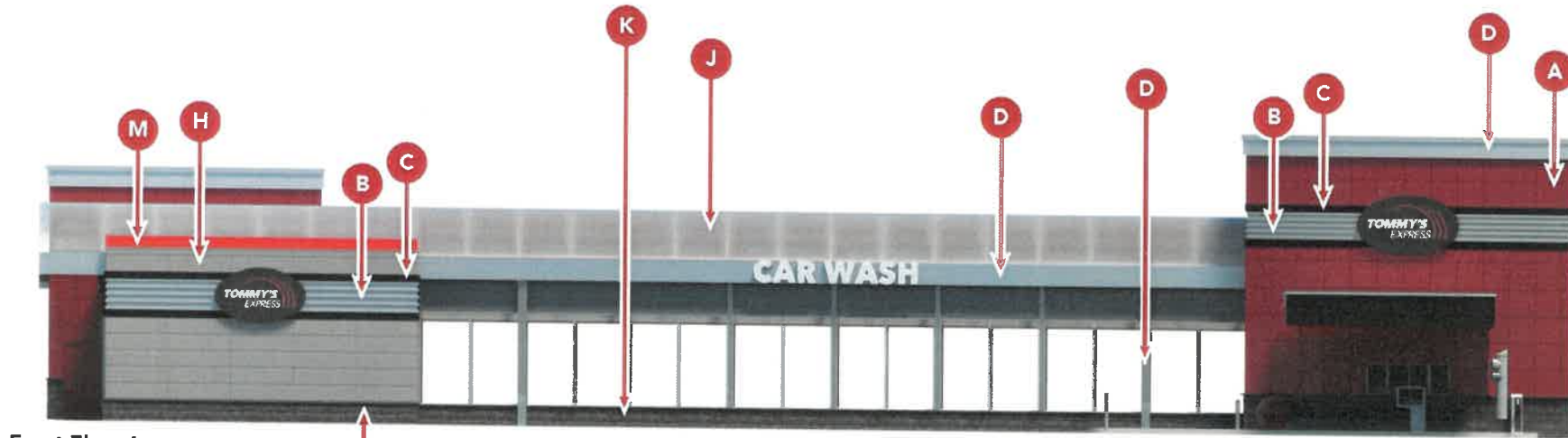
- A** Towers: Dri-Design Panel - 30" x 30" - Cardinal Red - RAL 3001  
<http://www.dri-design.com/products/painted-aluminum/#sizes>
- B** Ribbed Panel: ATAS 7.2 - Silversmith  
<http://www.atas.com/products/walls/exposed-fastener-atas-belvedere-rib-panel#ProductInfo>
- C** Ribbed Panel Trim: ATAS Flat Sheet - Black  
<http://www.atas.com/products/colors>
- D** Parapet Cap: Reynolux - Bright Silver Metallic  
[https://www.alcoa.com/aap/north\\_america/en/product.asp?cat\\_id=917&prod\\_id=1537](https://www.alcoa.com/aap/north_america/en/product.asp?cat_id=917&prod_id=1537)
- D** Fascia: Silver ACM  
N/A
- D** Downspout Covers: Silver ACM  
N/A
- E** Car Wash Ends (Upper): Laminators Omega Series - Sunset Red  
[http://www.laminatorsinc.com/sites/www.laminatorsinc.com/files/pdf/laminators\\_architectural\\_colors\\_sept8\\_2016.pdf](http://www.laminatorsinc.com/sites/www.laminatorsinc.com/files/pdf/laminators_architectural_colors_sept8_2016.pdf)
- F** Car Wash Ends (Lower): Citadel Glaze Guard - Ebony (Series F)  
<https://www.citadelap.com/finishes/series-f>
- G** Car Wash Ends (Aluminum Caps): Tubelite 200 Series Curtain Wall - Clear Anodized  
<https://www.tubeliteinc.com/200-series-curtainwall/>
- H** Dry Backroom: Nichiha Panel - Architectural Block - Gray - RAL 7044  
<http://www.nichiha.com/products/detail/architecturalblock>
- I** Steel: RAL3001 \*Interior Steel Not Shown\*  
<http://www.ralcolor.com/>
- J** Roof: Acrylic - 8mm ACRYLITE Heatstop - Cool Blue  
<http://www.acrylite.net/sites/lists/PM/Documents/AP/8mm-acrylite-heatstop-hi-ds-tech-jan2013.pdf>
- K** Masonry - Consumer's 4" Split Faced Block - Ash  
[http://www.consumersconcrete.com/split\\_face.html](http://www.consumersconcrete.com/split_face.html)
- L** Vacuums & Balls: Red  
<http://shop.tommycarwash.com/Tommy-Store/Vacuum-and-Vending>
- M** Dry Backroom Parapet: Lektron LED Linear Light - Leon - Red  
<http://www.lektroninc.com/leon/>
- N** Pay Canopy: Black ACM  
N/A



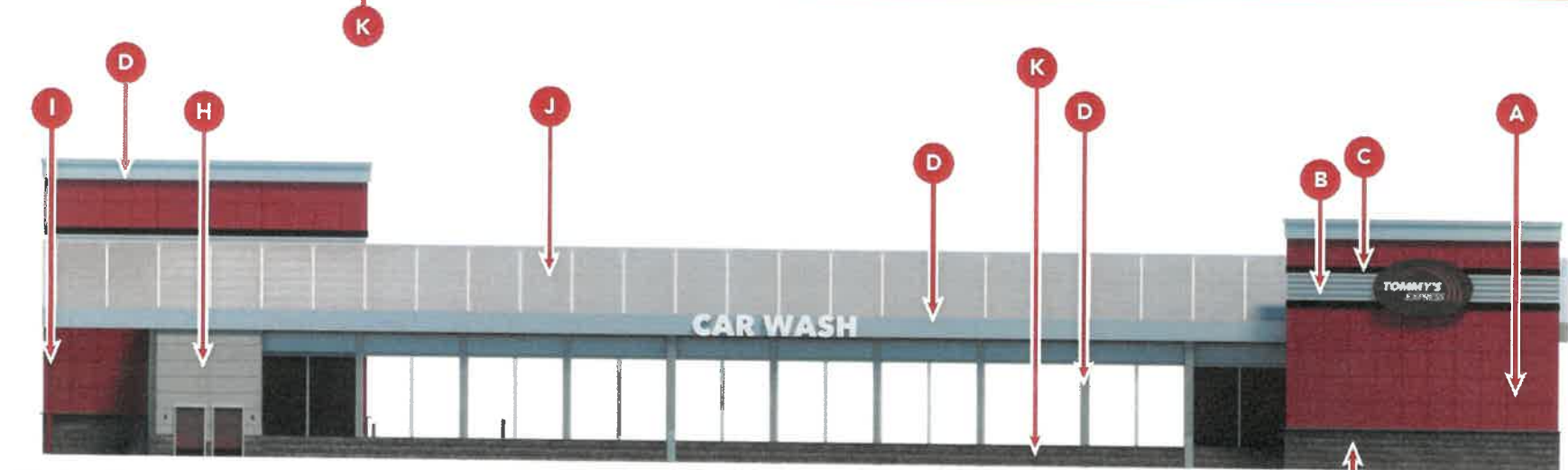
# Exterior Material Selections

## Tommy's Express Model M1

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Front Elevation



Back Elevation

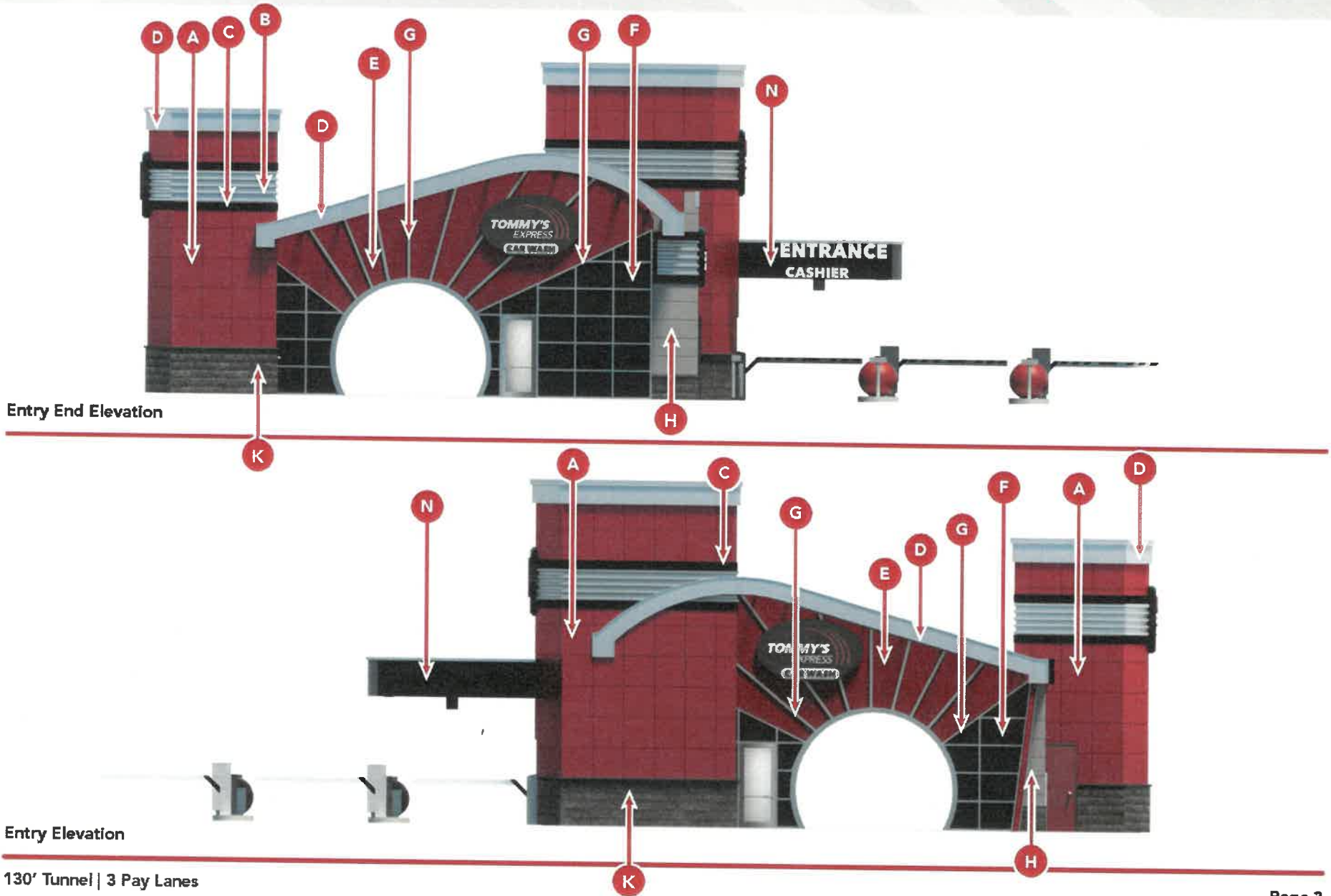
130' Tunnel | 3 Pay Lanes

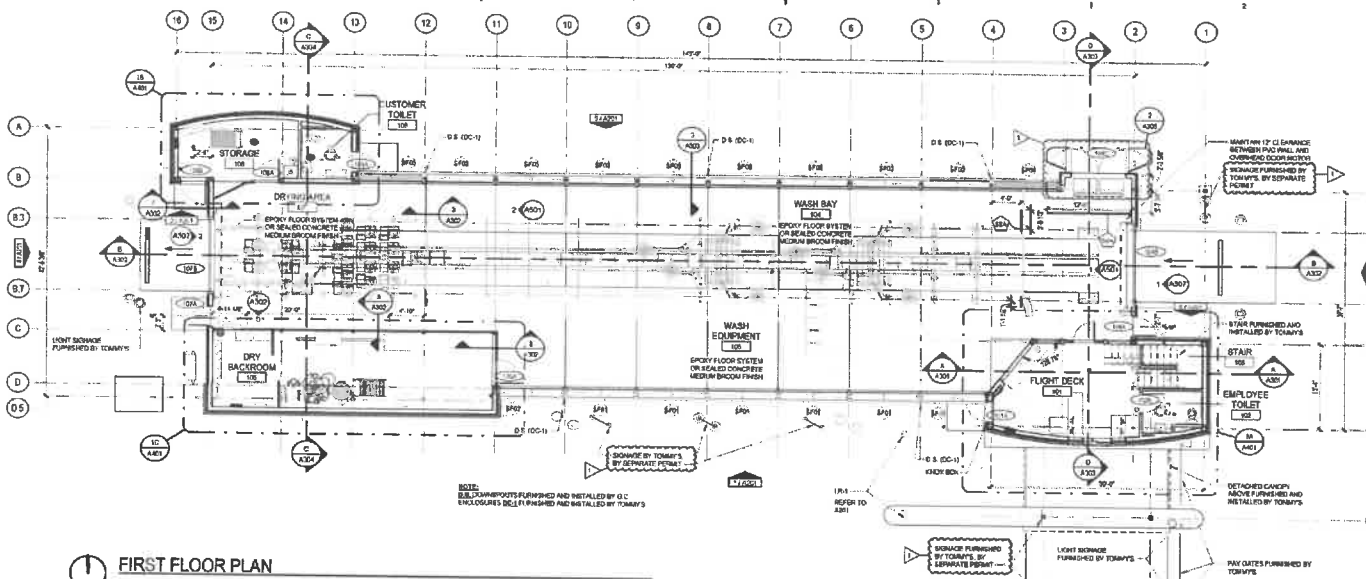
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# Exterior Material Selections

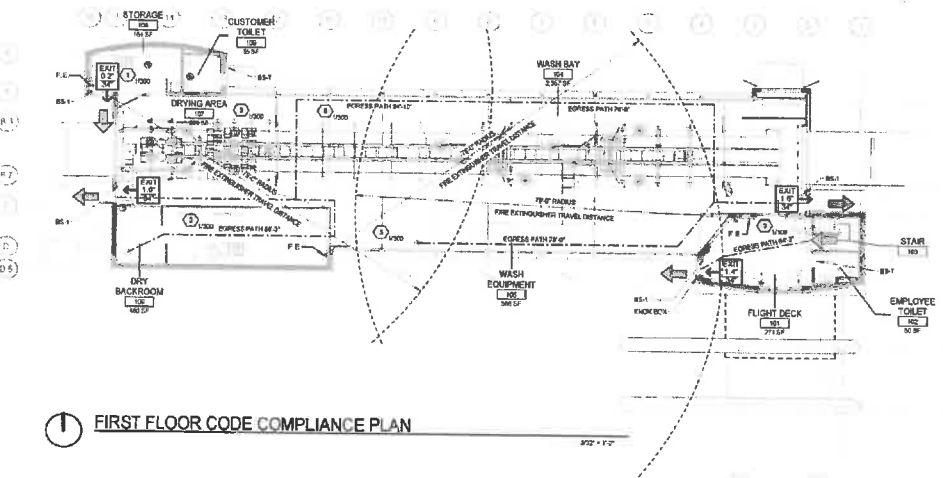
## Tommy's Express Model M1

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FIRST FLOOR PLAN



FIRST FLOOR CODE COMPLIANCE PLAN

**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS
2. FINISH FLOOR ELEVATION = 102'-0". REFER TO CIVIL DRAWING FOR ELEVATION ELEVATION EQUIVALENT.
3. DIMENSIONS INDICATE THAT THE CONTRACTOR HAS ACCEPTED AND AGREED TO THE TWO CONSTRUCTION.
4. REFER TO CODE COMPLIANCE DRAWINGS FOR LOCATIONS OF RATED ASSEMBLIES AND CODE DIMENSIONS.
5. ALL DIMENSIONS ARE TO FACE OF MEMBER. FACE OF CONCRETE FACE OF STEEL. DIMENSIONS ARE AS SHOWN UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE PERPENDICULAR AND PARALLEL, UNLESS NOTED OTHERWISE.
7. OWNER FURNISHED EQUIPMENT IS 8'-0" HIGH LIGHT GAUGE FOR REFERENCE ONLY. REFER TO EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.

**INTERIOR WALL GENERAL NOTES**

1. CONSTRUCT ALL WALLS TIGHT TO DECK ABOVE AND EXTEND INTO DECK FLANGES AND HOLES OF STEEL MEMBERS UNLESS OTHERWISE NOTED.
2. PROVIDE DEFLECTION TRIM AT THE TOP OF ALL INTERIOR NON-BEARING METAL STUD WALLS CONSISTENT WITH FLOOR DECK DEFLECTION.

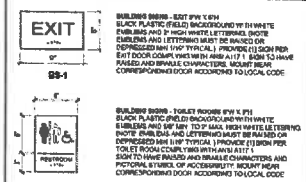
**INTERIOR WALL LEGEND**

- 1. METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" EPSIUM BOARD EACH SIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK.
  - S1A 3/8" METAL STUDS
- 2. METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" EPSIUM BOARD EACH SIDE AND 1/2" EXTERIOR GRADE PLYWOOD WITH INTERESTIVE BARRIER AND 1/2" P.C. PANELS IN TOILET ROOMS AS REQUIRED. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS OF TOILET ROOMS.
  - S2A 3/8" METAL STUDS
  - S2B 1/2" METAL STUDS
- 3. METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" EPSIUM BOARD ONE SIDE AND 1/2" EXTERIOR GRADE PLYWOOD WITH INTERESTIVE BARRIER AND 1/2" P.C. PANELS IN TOILET ROOMS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS OF DECK. UNLESS NOTED OTHERWISE.
  - S3A 3/8" METAL STUDS
  - S3B 1/2" METAL STUDS
- 4. METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" EPSIUM BOARD ONE SIDE AND 1/2" EXTERIOR GRADE PLYWOOD WITH INTERESTIVE BARRIER AND 1/2" P.C. PANELS IN TOILET ROOMS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS OF DECK. UNLESS NOTED OTHERWISE.
  - S4A 3/8" METAL STUDS
  - S4B 1/2" METAL STUDS
- 5. METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" EPSIUM BOARD ONE SIDE AND 1/2" EXTERIOR GRADE PLYWOOD WITH INTERESTIVE BARRIER AND 1/2" P.C. PANELS IN TOILET ROOMS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS OF DECK. UNLESS NOTED OTHERWISE.
  - S5A 3/8" METAL STUDS
  - S5B 1/2" METAL STUDS
- 6. METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" EPSIUM BOARD ONE SIDE AND 1/2" EXTERIOR GRADE PLYWOOD WITH INTERESTIVE BARRIER AND 1/2" P.C. PANELS IN TOILET ROOMS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS OF DECK. UNLESS NOTED OTHERWISE.
  - S6A 3/8" METAL STUDS
  - S6B 1/2" METAL STUDS
- 7. METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" EPSIUM BOARD ONE SIDE AND 1/2" EXTERIOR GRADE PLYWOOD WITH INTERESTIVE BARRIER AND 1/2" P.C. PANELS IN TOILET ROOMS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS OF DECK. UNLESS NOTED OTHERWISE.
  - S7A 3/8" METAL STUDS
  - S7B 1/2" METAL STUDS
- 8. METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" EPSIUM BOARD ONE SIDE AND 1/2" EXTERIOR GRADE PLYWOOD WITH INTERESTIVE BARRIER AND 1/2" P.C. PANELS IN TOILET ROOMS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS OF DECK. UNLESS NOTED OTHERWISE.
  - S8A 3/8" METAL STUDS
  - S8B 1/2" METAL STUDS
- 9. METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" EPSIUM BOARD ONE SIDE AND 1/2" EXTERIOR GRADE PLYWOOD WITH INTERESTIVE BARRIER AND 1/2" P.C. PANELS IN TOILET ROOMS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS OF DECK. UNLESS NOTED OTHERWISE.
  - S9A 3/8" METAL STUDS
  - S9B 1/2" METAL STUDS
- 10. METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" EPSIUM BOARD ONE SIDE AND 1/2" EXTERIOR GRADE PLYWOOD WITH INTERESTIVE BARRIER AND 1/2" P.C. PANELS IN TOILET ROOMS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS OF DECK. UNLESS NOTED OTHERWISE.
  - S10A 3/8" METAL STUDS
  - S10B 1/2" METAL STUDS
- 11. METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" EPSIUM BOARD ONE SIDE AND 1/2" EXTERIOR GRADE PLYWOOD WITH INTERESTIVE BARRIER AND 1/2" P.C. PANELS IN TOILET ROOMS. REFER TO INTERIOR ELEVATIONS FOR DIMENSIONS OF DECK. UNLESS NOTED OTHERWISE.
  - S11A 3/8" METAL STUDS
  - S11B 1/2" METAL STUDS

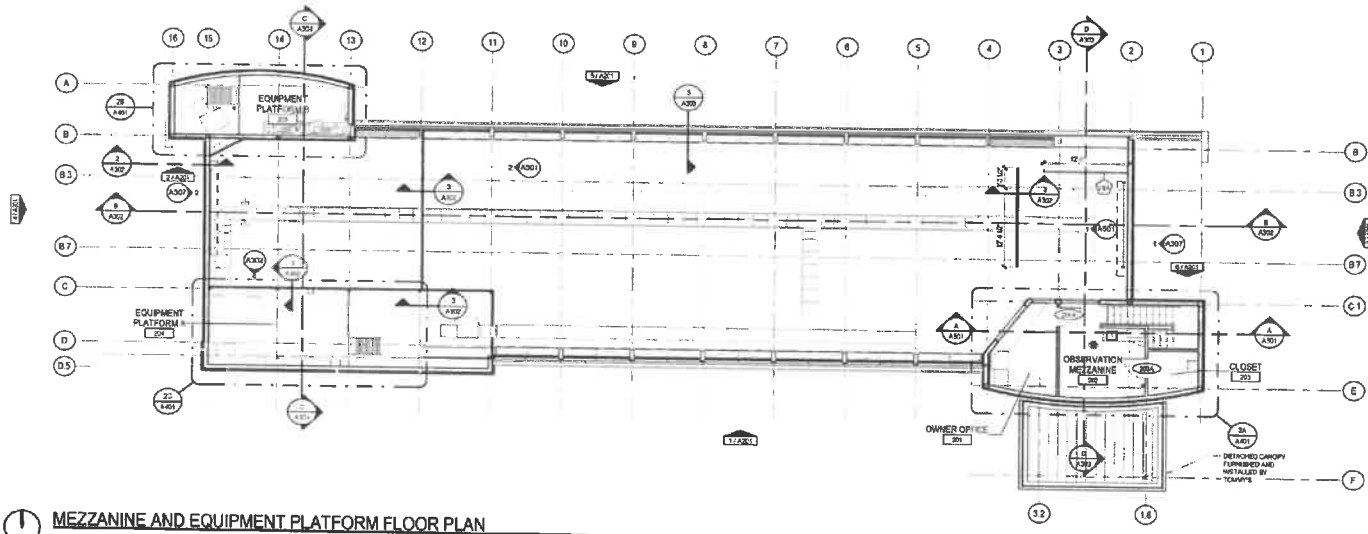
**CODE LEGEND**

- 1. EXISTENT ACCESS WITH CHIMNEY SERVED
- 2. DIRECTION OF EGRESS INCLUDING BARRICADE EGRESS EXIT ACCESS
- 3. CORRIDOR LOAD OF SPACE AND BASIS FOR CALCULATION
- 4. REQUIRED FIRE RATED WALL WITH PROVIDED FIRE RATED DOOR
- 5. WALL MOUNTED FIRE EXTINGUISHER CLASS A Drychem ABC/404B, HANGS CORNER TO CORNER WITH CLEARANCE TO TOP OF CABINET PRIOR TO INSTALLATION PER TRAVEL DISTANCE

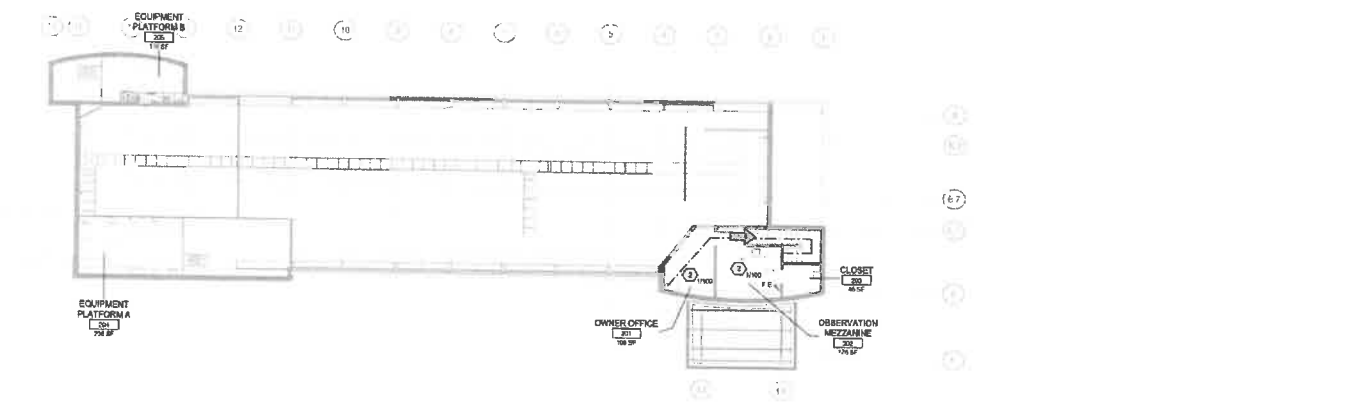
**SIGNAGE**



TOMPKINS CAR WASH SYSTEMS  
 NOT FOR CONSTRUCTION  
 COMPANY NAME Pxxxx  
 VERSION NUMBER: 01  
 PROGRAM: 01-17  
 SHEET: 01-17  
 FIRST FLOOR PLAN AND CODE COMPLIANCE PLAN  
**A101**



1 MEZZANINE AND EQUIPMENT PLATFORM FLOOR PLAN  
1/8" = 1'-0"



1 CODE COMPLIANCE PLAN MEZZANINE AND EQUIPMENT PLATFORMS  
3/32" = 1'-0"

- ### GENERAL NOTES
- DO NOT SCALE DRAWINGS
  - FIRM FLOOR ELEVATION 800'-0" REFER TO CIVIL DRAWINGS FOR SITE SPECIFIC ELEVATION REQUIREMENTS
  - REVISIONS WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS
  - REFER TO CODE COMPLIANCE DRAWINGS FOR LOCATIONS OF RATED ASSEMBLIES AND CODE REQUIREMENTS
  - ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
  - ALL DIMENSIONS ARE PERPENDICULAR UNLESS NOTED OTHERWISE
  - OWNER FURNISHED EQUIPMENT IS 3'-0" MIN LIGHT DASHED FOR REFERENCE ONLY. REFER TO EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION

- ### INTERIOR WALL GENERAL NOTES
- CONSTRUCT ALL WALLS RIGHT TO DECK ABOVE AND EXTEND INTO DECK PLATES AND WIND OF STEEL MEMBERS UNLESS OTHERWISE NOTED
  - PROVIDE 100% CONTINUITY AT THE TOP OF ALL INTERIOR NON-BEARING METAL STUD WALLS CAPABLE OF ACCOMMODATING 9" ROOF FLOOR DEFLECTION

- ### INTERIOR WALL LEGEND
- 1) METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" DEPRESSION BOARD BACKSIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK
    - 304 3/8" METAL STUDS
  - 2) METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" DEPRESSION BOARD BACKSIDE AND ACoustICAL BATT INSULATION. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK
    - 314 3/8" METAL STUDS
  - 3) METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" DEPRESSION BOARD ONE SIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK. PROVIDE 1/2" MIN. INSULATION TO TOP OF FINISH FLOOR FOR HEIGHTS OF FINISH FLOOR TO FLOOR JOIST ROOF.
    - 324 1/2" METAL STUDS
    - 334 3/8" METAL STUDS
  - 4) METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" DEPRESSION BOARD ONE SIDE AND 1/2" EXTERIOR GRADE PLYWOOD WITH WATER RESISTIVE SHEATHING AND 1/2" PVC PANELS INSTALLED ON WIND-TIGHT TURNOUT SIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK.
    - 344 1/2" METAL STUDS
  - 5) METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" EXTERIOR GRADE PLYWOOD AND WATER RESISTIVE SHEATHING ON TIGHT TURNOUT SIDE. REFER TO INTERIOR ELEVATION FOR HEIGHTS OF FINISH FLOOR. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK UNLESS NOTED OTHERWISE.
    - 348 1/2" METAL STUDS
  - 6) METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" EXTERIOR GRADE PLYWOOD ON TIGHT TURNOUT SIDE. REFER TO INTERIOR ELEVATION FOR HEIGHTS OF FINISH FLOOR. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK UNLESS NOTED OTHERWISE.
    - 354 3/8" METAL STUDS
    - 358 1/2" METAL STUDS
  - 7) METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" EXTERIOR GRADE PLYWOOD. ONE SIDE AND 5/8" DEPRESSION BOARD ON TIGHT TURNOUT SIDE. REFER TO INTERIOR ELEVATION FOR HEIGHTS OF FINISH FLOOR. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK UNLESS NOTED OTHERWISE.
    - 364 3/8" METAL STUDS
    - 374 3/8" METAL STUDS
  - 8) DISCOUNTABLE PVC WALL PANEL SYSTEM FURNISHED BY TOMBAY'S
    - 384 3/4" TRACK, 1/2" WIDE CHANNEL & GROOVE PANELS
  - 9) METAL FRAMING HORIZONTAL INSTALLATION OF 2" O.C. W/ 5/8" DEPRESSION BOARD WITH WATER RESISTIVE SHEATHING AND 1/2" THICK PVC PANELS
    - 388 7/8" METAL W/ CHANNEL HORIZONTAL METAL STUD 3/4" O.C.
  - 10) METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" EXTERIOR GRADE PLYWOOD ON BOTH SIDES. EXTEND ALL WALL COMPONENTS TO 1/2" ABOVE UPPER FINISH FLOOR
    - 394 3/8" METAL STUDS
  - 11) METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" DEPRESSION BOARD EACH SIDE. EXTEND ALL WALL COMPONENTS TO 1/2" ABOVE UPPER FINISH FLOOR
    - 311A 3/8" METAL STUDS
- NOTE: ALL PVC WALL PANELS ARE FURNISHED BY TOMBAY'S AND INSTALLED BY O.C.

- ### CODE LEGEND
- EXISTENT ACCESS WITH CAPACITY DERIVED
  - DIRECTION OF TRAFFIC INVOLVING SECONDARY EGRESS ACCESS
  - OCCUPANT LOAD OF SPACE AND BASIS FOR CALCULATION
  - REQUIRED EGRESS WIDTH PROVIDED CONCRETE WITH
  - WALL MOUNTED FIRE EXTINGUISHER OR GAS A Cylinder Mounted

TOMMY CAR WASH SYSTEMS  
ADDRESS: 11111 11111

NOT FOR CONSTRUCTION

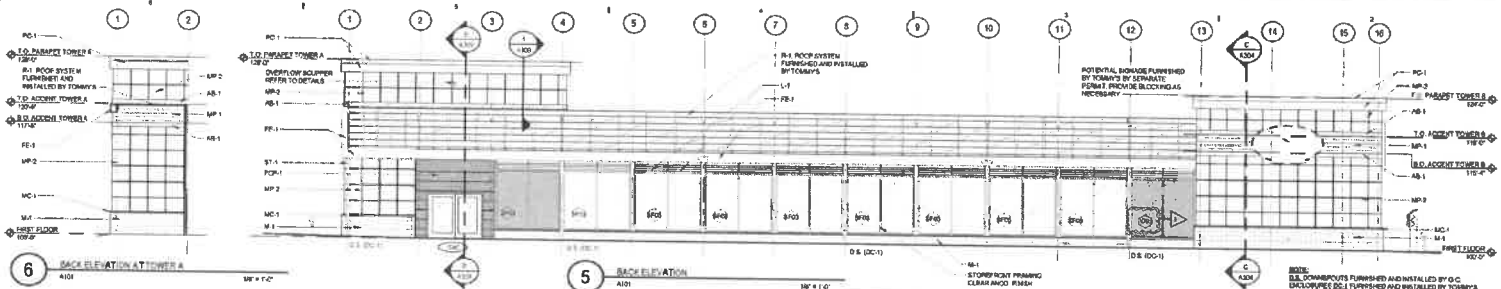
TOMMY CAR WASH SYSTEMS  
VERSION NUMBER: 01-01  
PROGRAM

ISSUANCE  
2021 01 14 13:22:01  
01/14/2021

REVISIONS  
NO DATE DESCRIPTION

FILE NUMBER  
PROJECT MANAGER  
PROJECT ENGINEER  
DRAWN BY  
CHECKED BY

MEZZANINE FLOOR PLAN AND CODE COMPLIANCE PLAN  
**A102**

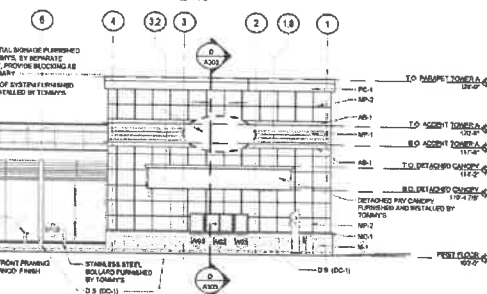
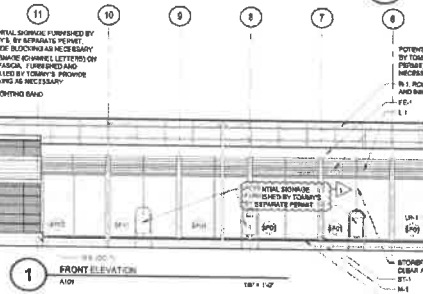
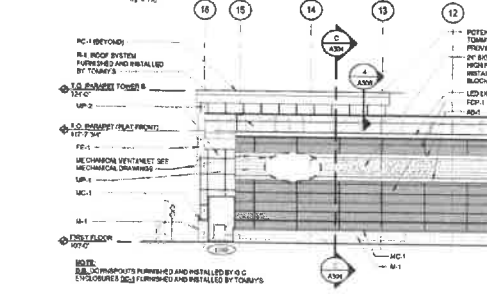
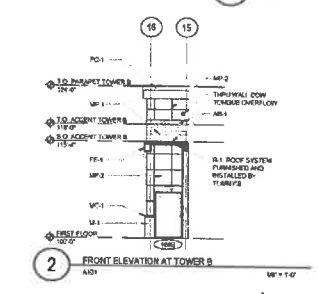
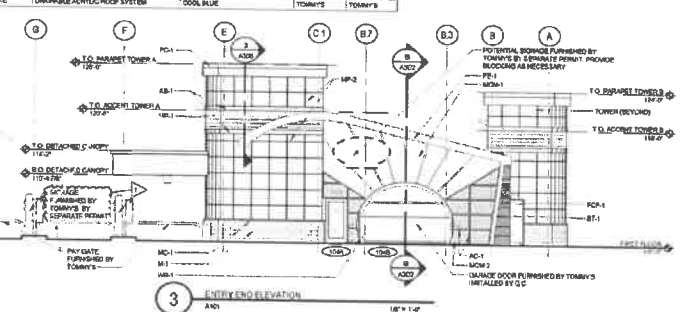
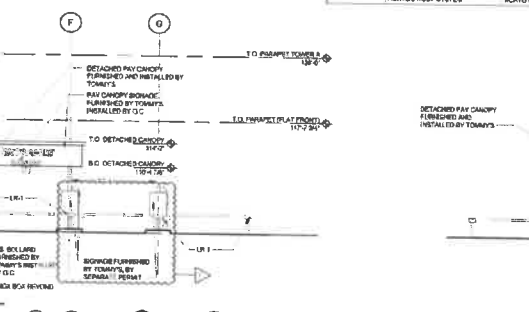
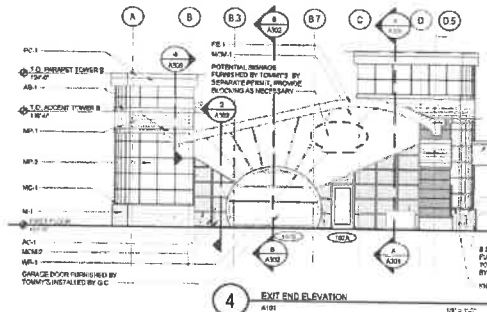


### EXTERIOR MATERIALS LEGEND

- PRE-FINISHED METAL PANELS
- FIBER CEMENT BOARD PANELS
- PRE-FINISHED METAL CORING
- ALUM. PLAT STOCK (BLACK)
- PROFIED METAL PANEL
- MCM PANEL (BLACK)
- GLAZING
- DRY IT FINDER CONCRETE MASONRY UNIT

NOTE: ALL PRE-FINISHED METAL PANEL ACCENT (P) SHALL BE GROUP CURVED AT CORNER FACE OF TOWER AND SHALL HAVE INTERIOR CORNER 90 DEGREE TURN. NO EXCEPTIONS.

| NO    | MATERIAL                          | MANUFACTURER                                   | DESCRIPTION                            | COLOR                      | FURNISHED BY   | INSTALLED BY |
|-------|-----------------------------------|--|--|----------------------------|----------------|--------------|
| ST-1  | STRUCTURAL STEEL                  | HP   | FURNISH LIMITED 2" THICK LOCAL STEEL   | BLACK                      | TOMAMY'S       | TOMAMY'S     |
| MP-1  | PROFIED ALUMINUM METAL PANEL      | ATAS   | ATAS 72 BROWNS BELLEVUE                | BLACK                      | TOMAMY'S       | TOMAMY'S     |
| MP-2  | PRE-FINISHED METAL PANEL          | ON-DENSON                                      | 3" X 9" PANEL, BZE                     | CARNIVAL, PEB 8 FINAL 3001 | TOMAMY'S       | G.C.         |
| MS-1  | SPRIT FACE CHU                    | CONSUMERS                                      | 4" MEMBER SPRIT FACED                  | ASH                        | G.C.           | G.C.         |
| MS-2  | PRECAST STONE                     | MASONRY  | MASONRY CAP                            | NATCHIKO/COLOR             | G.C.           | G.C.         |
| FC-1  | FIBER CEMENT PANELS               | MORNER   | JACOBS TEXTURAL BLOCK SERIES 1P H-22 W | BLACK                      | TOMAMY'S       | G.C.         |
| AB-1  | PRE-FIN. ALUM. ACCENT BANDING     | ATAS   | ATAS FLAT SHIRT                        | GRAY                       | TOMAMY'S       | G.C.         |
| PC-1  | PRE-FIN. ALUM. PARAPET COUSING    | ARCOCAM  | PRE-NOBOND COMPOSITE PANEL             | BRIGHT SILVER METALLIC     | TOMAMY'S       | G.C.         |
| MCM-1 | PRE-FIN. ALUM. COMPOSITE PANELS   | LAMINATION                                     | LAMINATION OMEGA SERIES                | WHITE RED                  | TOMAMY'S       | G.C.         |
| MCM-2 | PRE-FIN. ALUM. COMPOSITE PANELS   | CONCRETE                                       | CONCRETE OMEGA SERIES                  | BROOKLYN                   | TOMAMY'S       | G.C.         |
| MC-1  | PRE-FIN. ALUM. GLASS CURTAIN WALL | CLIMATE  | CLIMATE 88 SERIES STORM FRONT          | CLEAR ANODIZED             | TOMAMY'S       | G.C.         |
| SP-1  | SP-1 SP-2 SP-3                    | PRE-FIN. ALUM. STORM FRONT WITH HETALAND GLASS | FURNISHER                              | 1" INSULATED GLASS LON S   | CLEAR ANODIZED | G.C.         |
| SP-4  | SP-4                              | PRE-FIN. ALUM. STORM FRONT WITH HETALAND GLASS | FURNISHER                              | 1" INSULATED GLASS LON S   | CLEAR ANODIZED | G.C.         |
| DC-1  | PRE-FINISHED ALUMINUM             | MCM  | ALUM. TRIM PANELS DOWNSPOUT COVER      | BRIGHT SILVER              | TOMAMY'S       | G.C.         |
| LS-1  | LINENOTE PLATE HEADER             | TOMAMY'S                                       | BOLLARD                                | STAINLESS STEEL            | TOMAMY'S       | TOMAMY'S     |
| MR-1  | PRE-FIN. ALUM. COMPOSITE PANELS   | ARCOCAM  | MCM WRAP COVER FOR STEEL WING          | CLEAR ANODIZED             | TOMAMY'S       | G.C.         |
| FE-1  | FASCIA TRIM                       | ALPAC  | ALUM. PANELS AT EAVES AND FASCIA       | METALLIC SILVER            | TOMAMY'S       | TOMAMY'S     |
| RT-1  | PRE-FIN. ALUM. ROOF SYSTEM        | ALPAC  | ALUM. PANELS AT EAVES AND FASCIA       | METALLIC SILVER            | TOMAMY'S       | TOMAMY'S     |
| AC-1  | ACROBATIC ROOF SYSTEM             | ACROBATIC                                      | DRYWALL/ROOF SYSTEM                    | COOL BLUE                  | TOMAMY'S       | TOMAMY'S     |



TOMAMY CAR WASH SYSTEMS  
 COMPANY NAME Pxxxx  
 NOT FOR CONSTRUCTION  
 VERSION NUMBER: 000000  
 PROGRAM: 01-01-01  
 DATE: 01/11/2023  
 FILE NUMBER: 2021 01 11 10232 CH  
 PROJECT NUMBER: 01042023  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 EXTERIOR ELEVATIONS  
 A201

**CASCADE CHARTER TOWNSHIP**

**Ordinance # 2 of 2005  
Amended by Ord #7 of 2007  
Amended by Ord #7 of 2017**

**AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP  
ZONING ORDINANCE AND ZONING MAP TO ESTABLISH THE  
RIEBEL DEVELOPMENT  
PLANNED UNIT DEVELOPMENT PROJECT.**

**Cascade Charter Township Ordains:**

**Section I. An Amendment to The Cascade Charter Township Zoning Ordinance.**

The application received from Riebel Development, or assigns (hereinafter referred to as the "Developer"), for Planned Unit Development designation for the proposed Riebel Development project (herein after referred to as the "Project") was recommended by the Cascade Charter Township Planning Commission for approval on February 7, 2005. The Project is recommended for rezoning from the existing B-2 zoning to PUD, Planned Unit Development permitting this mixed use development. This action requires an amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission's recommendation and the Cascade Charter Township Board of Trustees' action on February 23, 2005.

**Section II. Legal Description.**

The legal description of the Project is as follows:

41-19-17-226-009

S 300 FT OF N 350 FT OF E 115 FT OF E 1/2 NE 1/4 \* SEC 17 T6N R10W 0.79 A.

41-19-17-226-008

N 1000 FT OF E 250 FT OF E 1/2 NE 1/4 EX S 300 FT OF N 350  
FT OF E 115 FT \* SEC 17 T6N R10W 4.94 A.

41-19-17-226-004

E 1/2 OF FOL DESC - N 1000 FT OF E 1/2 E 1/2 NE 1/4 EX E 250 FT  
\* SEC 17 T6N R10W 4.71 A.

41-19-17-226-003

W 1/2 OF FOL DESC - N 1000 FT OF E 1/2 E 1/2 NE 1/4 EX E 250  
FT \* SEC 17 T6N R10W 4.71 A.

**Section III. General Provisions.**

The following provisions shall hereby apply to the Project, in addition to those Provisions outlined in Chapter 16 of the Cascade Charter Township Zoning Ordinance (Ordinance No. 11 of 1988, as amended). In the event there is a conflict between the provisions of this Ordinance and those of the Cascade Charter Township Zoning Ordinance, the provisions of this Ordinance shall control and govern.

**Section IV. Purpose.** Amended by Ord #7 of 2007; 11/7/2007; Ord #7 of 2017

The Project occupies approximately 14.5 acres of land, that formally was is the site of a legal non-conforming industrial operation as well as an existing Pizza Hut restaurant. These existing uses currently occupy a total of 4 buildings on the 14.5 acres. The Project is comprised of two separate areas: "Area A" and "Area B" which may be developed by separate Developers. Area A is located upon land currently comprised of Units 2, 3 and 4 in the Cascade Market Place Condominium (the "Condominium") identified in the Master Deed of Cascade Market Place recorded June 14, 2005 as Instrument No. 20050614-0069327 and amended by Amendment No. 1 to Master Deed of Cascade Market Place recorded January 2, 2007 as Instrument No. 20070102-0000046 (together, the "Master Deed"), and is proposed to be developed into a mix of different uses involving general retail, restaurant, offices, and a bank. Area B is approximately 9.968 acres in size, located upon land currently comprised of Unit 1 of the Condominium identified in the Master Deed, and is proposed to be developed into a single story 61 unit multi-family residential apartment development. Due to its size, magnitude, mixture of land uses and the timing of development over a period of years, in which market conditions may change, special land use regulations are deemed necessary by Cascade Township to establish this Planned Unit Development (PUD) District for the Project.

The regulations contained herein are established to define the procedures necessary to insure high quality development on the Premises. Additionally, they are designed to achieve integration of the development with adjacent land uses and the natural environment; to permit flexibility in the regulation of land development; to encourage variety in design, lay-out and type of structures constructed within the development; to achieve economy and efficiency in the use of land; to encourage the provision of useful open space; and to provide improved employment opportunities particularly suited to the needs of the residents of Cascade Township and West Michigan.

This Ordinance is further intended to permit flexibility in the regulation of land development by allowing the Developer to modify the concept and design of the proposed development as the market may dictate in the future over the course of the development of the Premises. The provisions of this Ordinance are not intended as a substitute for the Cascade Township Zoning Ordinance and General Development Plan, nor do they in any way relieve the Developer from obtaining all approvals and permits required by the Township, except as provided herein.

**Section V. Approval Limitations.**

- A. The provisions of this Ordinance are not intended as a substitute for the Cascade Charter Township Zoning Ordinance and the General Development Plan, nor do they in any way relieve the Developer from obtaining all approvals and permits required by the Township, except as otherwise expressly provided herein. In the event that a development issue or site plan element is not addressed by this Ordinance, the specifications and requirements of the Cascade Charter Township Zoning Ordinance shall be enforced.
- B. Except as otherwise provided herein, the Developer and his assigns must meet all applicable provisions and regulations of Cascade Charter Township, as well as federal and state law, and must obtain all necessary approvals from state and county governmental agencies that are required for operation or use.

- C. This PUD approval is expressly contingent upon all conditions of approval herein remaining fully effective and valid. If any condition imposed herein is determined to be illegal or contrary to law as a result of a successful legal challenge by the Developer or its assigns, or any other party, the Township reserves the right to review the entire Project under the PUD provisions of the Cascade Charter Township Zoning Ordinance, and further, to withdraw its approval of this PUD if it finds that, absent the effect of any condition imposed herein, the PUD no longer meets the standards for PUD approval contained in the Zoning Ordinance.
- D. All conditions contained herein shall be binding upon the Developer, as well as its successors, tenants and assigns. The conditions may be modified or amended only pursuant to a formal amendment of the PUD approval and ordinance amendment. Provided, however, that minor or immaterial changes to the site plan shall not require formal amendment of the PUD approval and ordinance amendment if determined, by the Township Planning Director, to be minor site plan changes as defined by section 21.04 of the Zoning Ordinance as amended.
- E. This approval document shall be recorded with the Kent County Register of Deeds by the Developer prior to construction occurring on site and shall run with and bind the lands involved. Copies of this recorded document shall be supplied by the Developer to the Cascade Charter Township Clerk.
- F. Failure to comply with the site plan or any condition of approval herein shall be deemed a violation of the Cascade Charter Township Zoning Ordinance.

**SECTION VI. PERMITTED USES.** Amended by Ord #7 of 2007; Ord #7 of 2017  
 For land and buildings, the permitted uses for the Riebel PUD are as follows:

- A. Retail Uses;
- B. Offices/Fitness
- C. One stand alone bank identified as building F.
- D. Restaurants, not to include fast food<sup>1</sup>. The non fast food restaurant use is limited to a total of 19,588 sq.ft. This includes the stand-alone restaurants identified as buildings E and G on the approved PUD site plan as well as 11,168 sq.ft of non fast food restaurant within the rest of the development. The 11,168 sq ft should be based on seating capacity of the restaurant.
- E. Drive up window service for the restaurants shall be limited to Buildings E and G. A drive up window may also be included as a part of Building 1D . This use will be reviewed through the Special Land Use procedures of the Township. The use will only be permitted provided that the applicant can demonstrate, to the Township's satisfaction, that the user of the drive up window will be low impact user that will not result in creating any traffic problems with the rest of the development. The Drive up window and any of its infrastructure shall only be constructed after the approval of the Special Use.

For land and buildings, the permitted uses for the Riebel PUD within Area B are as follows:

- F. 61 unit apartment complex with one manager residence

**Section VII. Master Development Plan.** Amended by Ord #7 of 2007; Ord #7 of 2017

The Project shall conform in as much as reasonably possible to the master development plan approved by the Township Board and signed by the Township on November 7, 2007. The intent of the Developers is to develop the Project as 3 buildings within Area A and a 61 unit apartment project within Area B. Each building and its associated parking, landscaping, etc., will be required to submit site plans prior to any site work for each building, or site improvement, provided, however, that the Developer of Area B may submit one site plan for all buildings within Area B. This will allow the Township to ensure that all required infrastructure is constructed with the appropriate phase and that only those areas needed to be disturbed for each phase, are the areas planned to be disturbed. The Planning Commission shall review and approve all building or site improvement plans prior to the construction of each building or site improvement.

All buildings or site improvements of the Project shall comply with the Permitted Uses listed in Section VI and the Specific Development Regulations in Section VIII of this Ordinance. Site plan approval of each phase, building, or site improvement shall only be granted in accordance with Chapters 16 and 21 of the Zoning Ordinance, as may be amended.

Each building or site improvement shall be considered complete with the issuance of the required occupancy permit granted by the Township. Buildings or site improvements may be constructed concurrently with the approval of the planning commission.

**Section VIII. Specific Development Regulations.** Amended by Ord #7 of 2007; #7 of 2017

- A. The Project shall be developed in accordance with each site plan approved and signed by the Township. The site plan shall indicate where each building will be located and provide appropriate measurements demonstrating compliance with this ordinance. Engineering plans and documents relating to utilities, topography, drainage, and the survey of the Project shall be reviewed and approved by the Township Engineer. Approval of these documents shall be based upon their meeting recognized, acceptable engineering standards and practices. No alterations, expansions or additions may take place to the Project without an amendment to this Ordinance, unless authorized otherwise herein.
- B. It shall be unlawful for any person, firm or corporation to begin the construction of any building or other structure or to begin the alteration or moving of any building or structure within the Premises without receiving site plan review and approval from the Township Planning Commission.
- C. Elevation Plan – The elevations for the commercial buildings shall be consistent with the elevation plan dated 10/14/07 within Area A and with the elevation plan dated 7/27/17 within Area B. This will be ensured at the time of site plan approval for each building.
- D. Minimum Parking Requirements – Parking for each of the individual uses shall comply with the requirements of the Cascade Charter Township Zoning Ordinance Shared parking shall be allowed between all portions of the Project within Area A. Shared parking shall be allowed between all portions of the Project within Area B. There shall be no shared parking permitted between Area A and Area B of the Project.

E. Cross Access

- i. The Developer of Area A shall be responsible to provide and record

irrevocable cross access easements for this Project within Area A. Cross access shall be provided in two locations on the Project within and adjacent to Area A, including common area of the Condominium Project, sufficient to allow the Project within Area B to obtain access to 28<sup>th</sup> Street. These cross access easement areas must be constructed so they can easily be connected to the adjoining properties (i.e. grade and location). They must also be constructed and must be open and ready for any possible connection before a building permit is issued for the third building in the Project within Area A.

- ii. On the west side of the Project within Area A, the Riebel PUD Project shall allow for an irrevocable cross access to the Cascade Centre parcel (PPN 41-19-8-17-226- 002, 6250 - 28<sup>th</sup> Street) as shown on the approved site plan.
- iii. On the east side of the Project within Area A, the Riebel PUD Project shall allow for an irrevocable cross access to (PPN 41-19-8-16-101-014, 2845 Thornhills) as shown on the approved site plan.
- iv. Once the irrevocable access drives are constructed they shall remain open at all times, including the winter months and shall be free of snow and ice for clear passage. These cross access agreements shall be recorded prior to the occupancy of any portion of the Riebel PUD Project. This PUD Ordinance will provide the legal means to allow cross-access with these other parcels if and when the adjoining parcels are ever required to obtain Township approval.

#### F. Sidewalks

The Developer of Area A shall be responsible to design and construct a 7-foot wide, concrete sidewalk along the entire 28th Street frontage of the PUD property. The plans shall be reviewed and approved by the Township engineer prior to commencing any construction. The sidewalk along 28th St. shall be constructed prior to the issuance of the third building permit in the Project within Area A. The location of the sidewalk along 28th St. must be placed so it can easily be extended both east and west of Area A. The sidewalks within Area B shall be as shown on the approved site plan dated 4/17/17.

The interior network of sidewalks will be constructed along with each building. The sidewalks serving an apartment building within Area B must be completed before such apartment building is issued an occupancy permit. The entire interior network of sidewalks within Area B must be completed before the last apartment building within Area B is issued an occupancy permit.

#### G. 28<sup>th</sup> Street Access

Limit the number of drives to the site to a total of two. These drives to be reconstructed to meet the KCRC requirements as well as providing a deceleration lane that meets the KCRC standards for both drive entrances.

### **Section IX. Design Guidelines, Requirements and Limitations.**

With the exceptions listed below, all of the requirements of the Cascade Township Zoning Ordinance, as may be amended, must be complied with for site plan review for

any new construction within the Project. Landscaping shall be provided within each Phase consistent with the approved landscape plans for each site as their individual site plans are considered for approval.

**1. Building A, B, C and D**

This portion of the project shall be developed as follows:

- a. Maximum Building Height – 18.5 feet.
- b. Setbacks – No part of the buildings may extend closer to any lot line than shown on the approved and signed site plan dated 4/17/17.
- c. Parking – Each dwelling unit may have a 2-car enclosed garage. There may be a total of 10 guest parking spaces and 2 ADA parking spaces for the leasing office.
- d. Maximum number of dwelling units – 61; Leasing office -1.
- e. Setback Requirements – No part of the building shall extend closer to any lot line than shown on the approved and signed site plan.
- f. Pedestrian access shall be provided from the sidewalk along 28<sup>th</sup> Street into the building and through the site to the south for use in other phases per section VIII.F of this ordinance.

**2. Building E (Proposed Culvers Restaurant)**

- a. Maximum Building Height – 35 feet.
- b. Setbacks – No part of the building shall extend closer to any lot line than shown on the approved and signed site plan
- c. Parking – The total amount of parking for building E shall be a maximum of 68 parking spaces.
- d. Lighting – shall meet Section 19.19 of the Zoning Ordinance as amended.
- e. Pedestrian access shall be provided from the sidewalk along 28<sup>th</sup> Street into the building and through the site to the south for use in other phases per section VIII.F of this ordinance.
- f. No access directly to 28<sup>th</sup> Street shall be permitted for the site.

**3. Building F (Proposed Bank)**

- a. Maximum Building Height – 35 feet.
- b. Setbacks – No part of the building shall extend closer to any lot line than shown on the approved and signed site plan
- c. Parking – The total amount of parking for building F shall be a maximum of 23 parking spaces.
- d. Lighting – shall meet Section 19.19 of the Zoning Ordinance as amended..
- e. Pedestrian access shall be provided from the sidewalk along 28<sup>th</sup> Street into the building and through the site to the south for use in other phases per section VIII.F of this ordinance.
- f. No access directly to 28<sup>th</sup> Street shall be permitted for the site.

**4. Building G (Proposed Pizza Hut)**

- a. Maximum Building Height – 35 feet.

- b. Setbacks – No part of the building shall extend closer to any lot line than shown on the approved and signed site plan
- c. Parking – The total amount of parking for building G shall be a maximum of 49 parking spaces.
- d. Lighting – shall meet Section 19.19 of the Zoning Ordinance as amended..
- e. Pedestrian access shall be provided from the sidewalk along 28<sup>th</sup> Street into the building and through the site to the south for use in other phases per section VIII.F of this ordinance.
- f. No access directly to 28<sup>th</sup> Street shall be permitted for the site.

**Section X. Signs.** The following signs shall be permitted for the entire development:  
Amended by Ord #7 of 2007; #7 of 2017

- 1. One Pylon sign along 28<sup>th</sup> Street limited to the following:
  - a) This sign shall be limited to 25 feet tall. Measured from the grade to the top of the tallest part of the sign structure
  - b) Setback from the 28<sup>th</sup> Street right-of-way a minimum of 25 feet
  - c) Sign area shall be no larger than 120 sq.ft. in sign area.
  - d) One directional sign up to 10 sq ft may be used provided that the main sign is reduced by 10 sq ft.
  
- 2. Pizza Hut, Culvers and Macatawa shall be limited to the following:
  - a. One (1) wall sign or marquee per building, not to exceed one-hundred (100) square feet in total sign area, or;
  - b. Or, one (1) awning/canopy sign per building, not to exceed thirty-two (32) square feet in total sign area, or;
  - c. In the event the building has multiple commercial establishments, each commercial establishment's space will be permitted a sign area equal to one square foot for each lineal foot of building frontage (i.e., building frontage on the ground for the front of the building) that each respective commercial establishment occupies and no sign shall have a length of more than two-thirds of the subject frontage.
  - d. Window signs and displays, provided permanent window sign(s) shall not cover more than twenty-five (25) percent of the total window surface and temporary window signs shall not cover more than fifteen (15) percent of the total window surface.
  - e. One (1) directory wall sign per commercial establishment, not to exceed twenty (20) square feet in total sign area.

3. In exchange for not placing a second pylon sign out by 28<sup>th</sup> St the three buildings closest to 28<sup>th</sup> St also identified as buildings E, F and G. Shall be permitted one ground sign limited to the following:
  - a) Setback at least 80 feet from the 28<sup>th</sup> St right-of-way
  - b) No taller than 5 feet high, measured from the grade to the top of the tallest part of the sign structure.
  - c) Sign area limited to a maximum of 40 sq.ft.

#### **Section XI. Temporary Buildings.**

No structure of a temporary nature; trailer, tent or construction shack shall be constructed, placed or maintained within the Project except accessory to and during construction/ renovation of buildings or infrastructure improvements.

#### **Section XII. Land Splits**

The entire premises shall be under the control of one owner. Should the developer request smaller lots, permission to perform a Land Division must be granted by the Planning Department. The Planning Department will review the proposed land division under the criteria of the Land Division Act and the Cascade Charter Township Zoning Ordinance.

#### **Section XIII. Utilities .** Amended by Ord #7 of 2007

- A. Public Water and Sanitary Sewer - All buildings within the Project shall be served by public sanitary sewer and water at the developer's expense. No building permits will be issued for any construction within the Project until final approval of the public utility system is approved by the City of Grand Rapids and Cascade Township.
- B. Stormwater Drainage - All proposed stormwater drainage facilities shall be reviewed and approved by the Township Engineer. The Developer shall provide the Township Planning Department with copies of all correspondence and permits received regarding any stormwater disposal and/or wetland issues. Due to the design of the detention basin the developer shall be responsible to place guardrail along the entire perimeter of the basin.
- C. The Developer shall provide all necessary easements within the Project for telephone, electricity, gas and cable television to the appropriate utility provider without cost. Said easements shall be recorded with the Kent County Register of Deeds and provided to each utility provider for their records.

#### **Section XV. Soil Erosion Control Requirements.**

Prior to each phase of construction, the Developer shall submit a soil erosion control plan showing all temporary and permanent soil erosion control measures to be taken before, during, and after construction on the Project. This plan shall be reviewed and approved by the Township Engineer prior to commencing any building on the site.

**Section XVI. Performance Guarantee.**

To insure compliance with this Ordinance and any conditions herein, Cascade Township may require reasonable performance guarantees, as authorized under the Township Rural Zoning Enabling Act to insure completion of improvements such as, but not limited to, landscaping, drainage, lighting, roads, and utilities. The Township Board, Engineer, or Planning Department may require such guarantees at any time they deem necessary to insure completion of the improvements.

**Section XVII. Reimbursement of Review Fees.**

The Developer shall re-imburse the Township for all fees associated with the review of the Project. These fees may include, but not be limited to, legal, engineering, publishing, and planning review fees. The Township shall provide an itemized breakdown of the fees if requested by the applicant.

**Section XVIII. Consistency With Planned Unit Development (PUD) Standards.**

The rezoning to Planned Unit Development will result in a recognizable benefit to the ultimate users of the Project and to the community. The conversion of a manufacturing building to a mixed use general business complex is viewed as a more compatible use to adjacent land uses.

In relation to the underlying zoning (B2, General Business) the Township finds the Project will not result in a material increase in the need for public services. Utility extensions and construction will be the responsibility of the Developer and will not place a material burden upon the subject property or the surrounding properties. The Project is not anticipated to cause undo impact to the stormwater drainage of the surrounding area. All stormwater and soil erosion control plans have been approved by the Township Engineer and the appropriate County and State agencies. All stormwater created by this development will be maintained on site.

The Project has been determined by the Township to be compatible with the General Development Plan of the Township and with the spirit and intent of the Planned Unit Development Chapter of the Zoning Ordinance.

The Township finds the Project will not result in an unreasonable negative economic impact upon surrounding properties.

The Township finds the Project to have more wetlands, green areas, and usable open space than would typically be required by the Township Zoning Ordinance.

Finally, the Township recognizes the Project will be under single ownership or control. The Township recognizes that the Developer or its assigns will retain ownership and control of the project until some of the buildings may be sold to other parties.

**Section XIX. Effective Date.**

This Ordinance shall become effective upon publication of the ordinance, or a summary thereof, in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

The foregoing Ordinance was offered by Board Member Koessel, supported by Board Member Beahan. The roll call vote being as follows:

YEAS: Currier, Parrish, Goodyke, Julien, Carpenter, Koessel, Beahan  
NAYS: None  
ABSENT: None

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Ron Goodyke  
Cascade Charter Township Clerk

### **CERTIFICATION**

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 23<sup>rd</sup> day of February, 2005.

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Ron Goodyke  
Cascade Charter Township Clerk

# Chapter 17 Special Uses

- 6) Retail and wholesale sales on the premises to the general public shall be limited to nursery and/or greenhouse stock raised on site.
  - 7) No freestanding light poles shall be erected or lights placed on buildings unless deemed necessary in the special use permit review process for safety reasons. Light poles shall not exceed 20 feet in height. Light shall be directed downward and shall not reflect off the premises.
  - 8) Activities on the premises shall be limited to those associated with running a nursery or greenhouse, unless prior special approval is granted by the township.
  - 9) The storage of any fertilizer, chemical or loosely packed material shall be maintained and contained so as to prevent adverse effects upon adjacent properties. (This subsection added by Ordinance #2 of 1997)
- k. **Auto repair shops and garages and car washes.**
- 1) No subject facility existing on the effective date of this Ordinance shall be altered so as to provide a lesser degree of conformance with the provisions of this section than existed on said date.
  - 2) All repair lubrication and service work shall be done within an enclosed building.
  - 3) All storage and display of equipment, materials and merchandise, with the exception of fuel shall be within the building.
  - 4) All outside storage areas for trash, used tires, auto parts and similar items shall be enclosed by a six (6) foot high solid wall or fence.
  - 5) The storage of automobiles, trucks, or trailers for a period in excess of 72 hours or the sale or rental thereof is expressly prohibited without specific approval as part of the special use approval.
  - 6) Vacuuming activities shall not be located in the front yard and shall be at least 50 feet from any adjoining side or rear property line.
  - 7) No vehicle wash establishment shall permit patrons to extend lines of vehicles off the premises.
  - 8) All washing activities must be within a building.
  - 9) No more than two (2) curb-cuts shall be constructed to provide ingress and egress. (This subsection amended by Ordinance #6 of 1993)
- l. **New and used car sales and rentals.**
- 1) The display of new and used cars shall not be carried out within any required front yard greenstrip area.
  - 2) All outdoor vehicle display areas shall be of an improved paved surface.
  - 3) Vehicle display or storage shall not be carried out within areas required for visitor, employee or service parking.
  - 4) Vehicle service and repair shall be carried out in accordance with the provisions of Section 17.07(2k) above.
- m. **Roadside stands as defined in Chapter 3.**
- 1) All structures and uses associated with the operation which are of a temporary nature shall be removed when the operation is not active.
  - 2) Adequate off-street parking maintained in a dust free condition shall be provided.
  - 3) The operation is located no less than one hundred (100) feet from any adjacent residential dwelling.
  - 4) The minimum setback for all uses and structures associated with the operation shall be in accordance with the minimum setbacks for residential buildings in the district.
  - 5) Signs shall be subject to the regulations relating to signs in the district as regulated by the Cascade Charter Township Sign Ordinance.
- n. **Transitional Uses.**
- In addition to other permitted uses or special uses which may be provided for, the first ARC, R-1 or R-2 zoned lots or the first 100 feet of unplatted street frontage with a depth not to exceed 200 feet with a side yard adjoining a B-1, B-2, ES, O or I zone may be utilized for the following uses.
- 1) Two-family dwelling units.
  - 2) Offices, including administrative, architectural, engineering, accounting, law, medical, dental, real estate and other typical offices provided that there is no sale of



## STAFF REPORT

STAFF REPORT: Case #21-3632/Gole Dental Properties  
REPORT DATE: April 14, 2021  
PREPARED FOR: Cascade Charter Township Planning Commission  
MEETING DATE: April 19, 2021  
PREPARED BY: Brian Hilbrands, Planner

APPLICANT:  
Gole Dental Properties  
3636 Kraft Ave SE  
Grand Rapids, MI 49512

STATUS  
OF APPLICANT: Buyer

REQUESTED ACTION: Basic Plan Review for an amendment to the PUD Ordinance to accommodate a dental office in the existing building.

EXISTING ZONING OF  
SUBJECT PARCEL(S): PUD 49

GENERAL LOCATION: Southeast corner of Kraft Ave and 36<sup>th</sup> St

PARCEL SIZE: Approximately 1.8 acres

EXISTING LAND USE  
ON THE PROPERTY: Office – Pension Concepts, Inc.

ADJACENT AREA  
LAND USES: W – Impact Collison Repair  
S,E – Pepsi Bottling Group  
N – Eclipse Distributing

ZONING ON  
ADJOINING PARCELS: N – TI (Transitional Industrial)  
S,E,W – I (Industrial)

### STAFF COMMENTS:

1. The applicant is requesting Basic Plan Review to amend the existing Planned Unit Development to allow for a dental office in the existing 2,500 sq ft building.
2. The site was rezoned to PUD in 1989. It was rezoned in order to allow the existing home on the property to instead be used as office space.

3. The site is currently the location of Pension Concepts, Inc. The language in the PUD Ordinance is very specific in naming this business as the only permitted use. The language will have to be amended in order to allow for the dental office as a permitted use.
4. The developer is proposing to use the existing building for a dental office. They are also proposing slight modifications to the parking lot area. There would be one space being added to the parking lot for a total of 13 parking spaces. The site plan also shows a sidewalk and handicap ramp being added, along with lights and landscaping.
5. After a preliminary review our Township engineer has indicated that additional information will be needed to determine if stormwater improvements will be necessary. At a minimum these should include both an existing site plan and a proposed site plan, which should include the net increase in impervious area. The plans should be scaled so that setbacks can be measured and confirmed.
6. A landscaping plan is required that includes existing and proposed landscaping.
7. If new lights are being proposed in the parking lot then a lighting photometric plan is required.
8. If a dumpster is being proposed the location should be noted on the proposed site plan.
9. The applicant currently shows a proposed sign on the site plan. On the revised proposed site plan, it should be clarified if the setbacks are being measured from the pavement or from the lot line. The PUD ordinance currently requires a minimum setback of 25 feet from any lot line for a freestanding sign.
10. The applicant should confirm that there are no changes being made to the existing curb cuts.
11. The applicant has indicated that they will be connecting to water and sewer.
12. The PUD currently includes two parcels. The Township would require that the parcels be combined, which is what the applicant is proposing.
13. The applicant has submitted this package as required by Section 16.05 (2) of the Zoning Ordinance for Basic Plan Review.
14. If you find that all the procedural information has been provided, this application should proceed to a public hearing and consideration of a Preliminary Development Plan. It will be at that stage of the review process that the *merits* of the request will be considered, and the detailed site plans will be required and reviewed.

Before proceeding to the Preliminary Development Plan review (Public Hearing), I would recommend that the applicant submit the following information:

1. The different parcels should be combined into one parcel
2. Scaled existing site plan
3. Scaled proposed site plan that includes the net increase in impervious area
4. The location and type of any signs being proposed
5. Location of dumpster
6. Landscaping plan
7. Photometric plan if new lights are being proposed
8. Approval from the township engineer for any required stormwater drainage facilities or improvements
9. Signature of the current property owner on the planning & zoning application
10. KCRC review of curb-cuts.
11. Kent County Health Department approval for any required septic tank or well abandonment

ATTACHMENTS:

Application

Site Plan

Current PUD Ordinance LeTourneau #6 of 1989





# CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan  
49546-7140

## PLANNING & ZONING APPLICATION

**APPLICANT:** Name: GOLE DENTAL PROPERTIES  
Address: 121 W. WOODLAWN AVE  
City & Zip Code: HASTINGS, MI 49058  
Telephone: (269) 948-2244  
Email Address: philgole@hotmail.com

**OWNER: \* (If different from Applicant)**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City & Zip Code: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Email Address: \_\_\_\_\_

**NATURE OF THE REQUEST: (Please check the appropriate box or boxes)**

- |  |  |
|--|--|
| <input type="checkbox"/> Administrative Appeal       | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking            | <input checked="" type="checkbox"/> P.U.D. – Rezoning *  |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning                        |
| <input type="checkbox"/> Site Plan Review *          | <input type="checkbox"/> Sign Variance                   |
| <input type="checkbox"/> Special Use Permit          | <input type="checkbox"/> Subdivision Plat Review *       |
| <input type="checkbox"/> Zoning Variance             | <input type="checkbox"/> Other: _____ *                  |

**\* Requires an initial submission of 5 copies of the completed site plan**

**BRIEFLY DESCRIBE YOUR REQUEST:\*\***

MODIFY LETOURNEAU #6 TO ADD ONE  
ADDITIONAL PARKING SPACE FOR A TOTAL  
OF 13. PARKING ISLE WIDTH TO BE

(\*\*Use Attachments if Necessary)

**-SEE OTHER SIDE-**

**LEGAL DESCRIPTION OF PROPERTY\*\*:**

EXPANDED FROM CURRENT WIDTH TO  
25'. A SIDEWALK WILL BE ADDED  
AND A HANDICAP RAMP WILL  
REPLACE THE STEPS. APPLICANT WILL  
USE EXISTING BUILDING FOR DENTAL OFFICE

(\*\*Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19-20-100-011 AND 41-19-20-100-013

ADDRESS OF PROPERTY: 3636 KRAFT AVE SE, GRAND RAPIDS 49512

PRESENT USE OF THE PROPERTY: VACANT. WAS PENSION CONCEPTS

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**SIGNATURES**

*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.*

***I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)***

Owner – Print or Type Name  
(\*If different from Applicant)

\* Philip DeGale

Owner's Signature & Date  
(\*If different from Applicant)

Philip DeGale DDS  
Applicant – Print or Type Name

Philip DeGale DDS  
Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

Rev. 7/24/14

JASON D GALE DDS  
J D Gale DDS



## PUD Ordinance - LeTourneau #6 of 1989

### CASCADE CHARTER TOWNSHIP

Ordinance #6 of 1989

#### AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE AND ZONING MAP TO ESTABLISH THE **H. LOUIS LETOURNEAU** PLANNED UNIT DEVELOPMENT PROJECT

Cascade Charter Township ordains:

Section I. An amendment to the Cascade Charter Township Zoning Ordinance.

That the application received from H. Louis LeTourneau or its assigns (hereafter referred to as the "developer") for Planned Unit Development designation for the proposed Pension Concepts, Inc. office building (hereinafter referred to as the "Premises") was recommended by the Cascade Charter Township Planning Commission for approval on April 17, 1989. The Premises is recommended for rezoning from its former zoning classification thereby requiring this amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission's recommendation and the Cascade Township Board action on April 26, 1989.

Section II. Legal Description

The legal description of the Premises is as follows:

That part of the West ½ of the Northwest ¼ of Section 20, town 6 North, Range 10 West, described as the North 180 feet of the West 271 feet thereof, subject to an easement over the West 33 feet thereof for highway purposes, and further subject to an easement over the North 66 feet thereof for purposes of ingress and egress to those lands lying in the West ½ of the Northwest ¼ of said Section 20 East of the East line of said described property.

AND

That part of the West ½ of the Northwest ¼ of Section 20, Town 6 North, Range 10 West, described as: Commencing 180 feet South of the Northwest corner of said Section; THENCE Easterly parallel with the North line of said Section 271 feet; THENCE South parallel with the west line of said Section 181.18 feet; THENCE South 45 Degrees 01' West 57.15 feet; THENCE South 58 Degrees 40' West 270 feet to the West line of said Section; THENCE North 365 feet to the place of beginning.

Section III. General Provisions

The following provisions shall apply to the aforementioned Premises in addition to those provisions outlined in Chapter XIV of the Cascade Charter Township Zoning Ordinance (Ordinance No. 11 of 1988).

Section IV. Permitted Use

The permitted use for the H. Louis LeTourneau PUD shall be limited to one (1) 2,500 square foot office building which will house Pension concepts, Inc.

Section V. Design Standards

For the purposes of this PUD, only one (1) building containing not more than 2,500 square feet shall be permitted. The following design standards shall apply within the H. Louis LeTourneau PUD.

#### A. Area Regulations

1. The building shall be setback from the street right-of-way a minimum of 80 feet.
2. The side yard setbacks shall in no case be less than 150 feet.
3. The rear setback shall in no case be less than 110 feet.

#### B. Height Regulations

The building shall not exceed the height of thirty-five (35) feet as measured in accordance with the Cascade Charter Township Zoning Ordinance.

#### C. Off Street Parking and Loading Areas

1. All employee parking shall be provided on-site and not on any streets. Such parking areas shall be surfaced prior to occupancy with bituminous concrete or asphalt. Driveways shall be constructed with materials equal to or better than the requirements established by the Kent County Road Commission.
2. Driveways, parking and loading areas shall have curb and gutter. The curb and installation shall be consistent with the requirements established by the Kent County Road Commission.
3. The off-street parking area shall be drained so as to prevent drainage onto abutting properties unless there is a common drainage system shared by all the abutting properties.
4. Any lighting fixtures used to illuminate off-street parking shall be so arranged as to reflect the light away from adjacent properties, streets or highways.

#### D. Parking Requirements

1. Off-street parking for the Premises shall accommodate 12 vehicles.
2. Each off-street parking space for automobiles shall be a minimum of 180 square feet in area, with a minimum width of nine (9) feet, exclusive of access drives or aisles. There shall be provided a minimum access drive of twenty (20) feet in width, and where a turning radius is necessary, it shall be of such an arc as to reasonably allow an unobstructed flow of vehicles. Parking aisles shall be of sufficient width to allow a minimum turning movement into and out of parking spaces. All parking shall be 90 degree parking with a minimum aisles width of 24 feet.

#### E. Signs

No signs shall be placed on the Premises except those specifically permitted below:

1. One (1) freestanding sign containing no more than sixty-four (64) square feet in sign area. The sign must be ground mounted, shall not exceed a height of five (5) feet, and shall be setback a minimum of twenty-five (25) feet from any lot line.

2. One (1) wall sign not to exceed fifty (50) square feet in total area. Or, one (1) awning/canopy sign not to exceed thirty-two (32) square feet in total sign area.

3. Directional signs, provided each sign does not exceed five (5) square feet.

4. One (1) construction sign, not to exceed thirty-two (32) square feet in sign area. Such sign may be erected thirty (30) days prior to beginning of construction and shall be removed thirty (30) days following completion of construction.

## Section VI. Greenbelt and Landscaping Requirements

### A. Minimum Greenbelt and Landscaping Requirements

For the purposes of screening the Premises, the Developer shall provide greenstrips and landscaping materials consistent with the requirements set forth below:

A minimum greenstrip of thirty (30) feet shall be provided along the Kraft Avenue right-of-way and a minimum greenstrip of fifteen (15) feet shall be provided along all other property lines. The minimum landscape materials per 100 lineal feet shall be as follows:

2 Canopy Trees

4 Understory Trees

6 Shrubs

Greenstrips shall be located along the outer perimeter of the Premises to the logical extent possible. Any existing plant material which satisfies the requirements of this section may be counted toward satisfying their respective landscape requirement for the lineal feet in which they occupy. It cannot be credited towards areas that have no significant stands of trees. The developer is urged to maintain, to the extent possible, all of the existing site landscaping.

### B. Minimum Plant Size Requirements

For the purposes of this development, all landscaping materials shall meet the following minimum size standards:

Plant Type Size

Canopy Tree 2-1/2 inch caliper

Ornamental Tree 1-1/2 inch caliper

Evergreen Tree 6 feet

Shrubs 24-36 inches

All plant species listed in Section 20.11 of the Cascade Township Zoning Ordinance shall not be credited as meeting the landscape requirements contained in this ordinance.

#### C. Other Landscape Requirements

1. Landscaping shall be installed within ninety (90) days of completion of the project, or unless permitted in writing by the Planning Director at a later date.
2. All landscaping shall be hardy plant materials and maintained thereafter in a neat and orderly manner. Withered and/or dead plant materials shall be replaced within a reasonable period of time but no longer than one growing season.
3. The Township shall require that the applicant provide a performance guarantee in the form of a performance bond, letter of credit, or certified check in an amount equal to the estimated cost of the required landscaping improvements. Such guarantee shall be deposited with the Township Clerk at the time of the issuance of the permit authorizing the activity to insure faithful completion of the improvements indicated on the approved site plan.

#### Section VII. Site Plan

The H. Louis LeTourneau PUD shall be subject to all site plan items depicted on the site plan approved by the Township Board and signed by the Township Supervisor on April 26, 1989.

#### Section VIII. Special Assessment District

A. District Agreement – The developer and/or property owner agrees to the imposition of a special assessment for the construction of a public sanitary sewer to serve the above described property. Until such time as the Special Assessment District is created and the sanitary sewer installed, the developer may utilize an on-site septic system provided all necessary approvals are obtained from the necessary County and State agencies.

B. District Agreement Limitation – The agreement in as much as it deals in part with the establishment of a Special Assessment District under Act 188 of 1954, as amended, is not a waiver of any developer and/or property owner, or his assigns, right to contest the confirmation of any special assessment roll as provided in the Act.

#### Section IX. Agreement

This Agreement is permanent in nature, shall run with the land and shall be binding upon the developer and all subsequent owners of the land and may not be terminated or set aside without prior written consent of the Township.

#### Section X. Effective Date

This Ordinance shall become effective upon its publication in the Grand Rapids Press, a newspaper of general circulation within Cascade Township.

THE FOREGOING ORDINANCE WAS OFFERED BY BOARD MEMBER ROWLAND, SUPPORTED BY BOARD MEMBER HENNING. THE ROLL CALL VOTE BEING AS FOLLOWS:

Yeas: Carpenter, Champion, Ellinger, Hansen, Henning, Rowland.

Nays:

Absent: Parrish

Brenda J. Henning

Cascade Charter Township Clerk

#### CERTIFICATION

I hereby certify the foregoing document to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 26<sup>th</sup> day of April, 1989.

Brenda J. Henning

Cascade Charter Township Clerk

## MEMORANDUM

**To:** Cascade Charter Township Planning Commission  
**From:** Brian Hilbrands, Planner  
**Subject:** Discuss and Consider Virtual or In-Person (Hybrid) Meetings  
**Meeting Date:** April 19, 2021

The Township now has the ability to hold in-person/hybrid meetings at the Wisner Center. The hybrid meeting consists of the board and staff attending in person but also gives us the capability to continue Zoom virtual meetings for residents/applicants who are unable to attend in person.

Kent County extended an emergency order to allow municipalities the ability to continue virtual meetings until June 30, 2021.

Staff is looking for direction regarding which meeting platform the Planning Commission is interested in moving forward with in the short-term.