

**AGENDA  
CASCADE CHARTER TOWNSHIP  
REGULAR BOARD MEETING**

Wednesday, November 2, 2016

7:00 P.M.

Cascade Branch of the Kent District Library, Wisner Center  
2870 Jacksmith, S.E.

**Expected Meeting Procedures**

1. During public comments you may speak on any item not noted on the agenda for a public hearing.
2. Please limit comments to 3 minutes per person and the Board may or may not choose to respond.
3. Please limit your comments to a specific issue.
4. Please turn OFF cellular phones.

- Article 1. Call to Order, Roll Call**
- Article 2. Pledge of Allegiance to the Flag**
- Article 3. Approval of Agenda**
- Article 4. Presentations/Public Comments (limit comments to 3 minutes)**
- Article 5. Approval of Consent Agenda**
- a. Receive and File Reports
    1. Treasurer's Department Monthly Report for August, 2016.
- Article 6. Financial Actions**
- Article 7. Unfinished Business**
- Article 8. New Business**
- 085-2016**
- a. **Public Hearing – A Request for Approval to Amend the Spruce Meadows PUD to Allow for a New Hotel. (north and east of Meijer – 5405 28<sup>th</sup> St. Ct.)**
  - b. **Consider a Request for Approval to Amend the Spruce Meadows PUD to Allow for a New Hotel. (roll call)**
- Article 9. Public Comments on any other matters. (limit comments to 3 minutes)**
- Article 10. Manager Comments**
- Article 11. Board Member Comments**
- Article 12. Adjournment**

**TREASURER'S DEPARTMENT**

CASCADE CHARTER TOWNSHIP

TAX ACCOUNTS

AUGUST 2016

**BANK BALANCES**

BANK	AMOUNT
<u>CHEMICAL BANK</u>	
TAX CHECKING	\$3,681,644.88

<u>CHEMICAL BANK</u>	
DELINQUENT TAX	\$16,484.07

<u>CHEMICAL BANK</u>	
TAX WIRE ACCT	\$23,399.35

<b>GRAND TOTAL</b>	<u><u>\$3,721,528.30</u></u>
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O. Sourine 10/18/2016

Submitted by  
OXANA SOURINE  
DEPUTY TREASURER

Date

**TOWNSHIP BALANCES**

REGISTER	AMOUNT
<u>CHEMICAL BANK</u>	
TAX CHECKING	\$3,681,644.88

<u>CHEMICAL BANK</u>	
DELINQUENT TAX	\$16,484.07

<u>CHEMICAL BANK</u>	
TAX WIRE ACCT	\$23,399.35

<b>GRAND TOTAL</b>	<u><u>\$3,721,528.30</u></u>
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Kenneth B. Peirce 10/19/2016

Reviewed by  
KENNETH B. PEIRCE  
TREASURER

Date

CASCADE CHARTER TOWNSHIP  
 TREASURER'S OFFICE REPORT  
 August 2016

FUND	INSTITUTION	DEMAND DEPOSIT		CDs			SECURITIES			TOTALS				
		\$	%	\$	%	DATE	\$	%	DATE	\$	%			
101	GENERAL FUND	CHEMICAL	981,476.39	0.05										
		KENT CTY POOL	3,962,376.54	0.67										
		INDEPENDENT			300,000.00	1.35	9/27/2016							
		MERCANTILE			510,599.72	0.90	7/20/2018							
		FLAGSTAR			257,674.81	0.65	11/21/2016							
		HUNTINGTON			514,670.13	0.91	9/13/2017							
		TALMER BANK			500,000.00	1.00	6/16/2017							
		CONSUMERS CU			255,959.76	0.80	7/8/2019							
		MACATAWA			250,000.00	0.89	11/21/2016							
		BANK OF HOLLAND				0.75	5/27/2016							
		FLAGSTAR			500,000.00	0.80	1/12/2017							
		COMERICA SECUR./JPM						500,000.00	1.10	8/16/2018				
		COMERICA SECUR./WF						500,000.00	1.00	9/25/2017				
	<b>TOTAL GENERAL FUND</b>		<b>4,943,852.93</b>	<b>0.55</b>	<b>3,088,904.22</b>	<b>0.92</b>		<b>1,000,000.00</b>	<b>1.06</b>			<b>9,032,757.15</b>	<b>0.73</b>	
151	CEMETERY	LMCU	97,234.65	0.40								97,234.65	0.40	
206	FIRE FUND	CHEMICAL	303,016.15	0.05										
		LMCU	1,111,225.43	0.50										
		LMCU			536,265.51	1.40	10/25/2017							
		COM CHOICE CU			250,000.00	1.27	3/18/2017							
		FNBA			531,427.61	1.50	7/24/2018							
		HUNTINGTON			259,925.13	0.55	11/17/2017							
		OPTION1			250,005.00	0.75	3/24/2017							
		5/3 BANK				0.69	7/21/2016							
	<b>TOTAL FIRE FUND</b>		<b>1,414,241.58</b>	<b>0.40</b>	<b>1,827,623.25</b>	<b>1.20</b>						<b>3,241,864.83</b>	<b>0.85</b>	
207	POLICE FUND	FLAGSTAR	658,111.08	0.50										
		NORTHPOINTE BANK			250,000.00	1.20	11/8/2016							
		PRIVATE BANK			750,000.00	1.15	9/25/2017							
		BANK OF HOLLAND				1.00	8/20/2016							
	<b>TOTAL POLICE FUND</b>		<b>658,111.08</b>	<b>0.50</b>	<b>1,000,000.00</b>	<b>1.16</b>						<b>1,658,111.08</b>	<b>0.90</b>	
208	HAZMAT FUND	LMCU	44,324.71	0.35								44,324.71	0.35	
209	OPEN SPACE	CHEMICAL	200,118.72	0.05										
		LMCU (HOMEYER)	353,048.08	0.50										
		FLAGSTAR				0.45	4/12/2016							
		CWCU			250,001.00	0.75	10/15/2016							
	<b>TOTAL OPEN SPACE</b>		<b>553,166.80</b>	<b>0.34</b>	<b>250,001.00</b>	<b>0.75</b>						<b>803,167.80</b>	<b>0.47</b>	
211	DAM REPAIR	LMCU	238,221.12	0.50										
		LMCU			311,935.86	1.30	3/10/2017							
	<b>TOTAL DAM REPAIR</b>		<b>238,221.12</b>	<b>0.50</b>	<b>311,935.86</b>	<b>1.30</b>						<b>550,156.98</b>	<b>0.95</b>	
216	PATHWAY FUND	MACATAWA	730,247.56	0.25										
		OPTON1			524,327.53	1.10	10/8/2018							
	<b>TOTAL PATHWAY FUND</b>		<b>730,247.56</b>	<b>0.25</b>	<b>524,327.53</b>	<b>1.10</b>						<b>1,254,575.09</b>	<b>0.61</b>	
246	PUBLIC UTILITY	CHEMICAL BANK	137,988.44	0.05										
	IRF	LMCU	302,236.25	0.50										
		LMCU			700,000.00	1.40	12/22/2016							
		TALMER			500,000.00	0.95	6/29/2018							
	<b>TOTAL PUBLIC UTILITY</b>		<b>440,224.69</b>	<b>0.36</b>	<b>1,200,000.00</b>	<b>1.21</b>						<b>1,640,224.69</b>	<b>0.98</b>	
248	DDA FUND	LMCU	17,203.42	0.50										
		CHEMICAL BANK	151,831.64	0.05										
		OPTION ONE			200,005.00	0.75	3/24/2017							
		BANK OF HOLLAND				0.75	5/26/2016							
	<b>TOTAL DDA FUND</b>		<b>169,035.06</b>	<b>0.10</b>	<b>200,005.00</b>	<b>0.75</b>						<b>369,040.06</b>	<b>0.45</b>	
249	BLDG. INSPECTION	CHEMICAL BANK	288,300.89	0.05										
		CHEMICAL BANK R.	48,649.00											
		CONSUMERS CU			300,025.00	0.70	3/10/2017							
		TALMER BANK			400,000.00	0.75	4/28/2017							
		FNB OF AMERICA			100,879.52	1.40	12/18/2017							
		FNB OF AMERICA			200,000.00	1.35	9/18/2016							
		FNB OF MI			511,395.83	1.15	10/11/2018							
		FIRST COMMUNITY B.			250,000.00	1.00	5/27/2018							
		INDEPENDENT BANK			300,000.00	1.10	12/19/2016							
	<b>TOTAL BLDG. INSPECT.</b>	CHEMICAL BANK	<b>336,949.89</b>	<b>0.04</b>	<b>2,062,300.35</b>	<b>1.01</b>						<b>2,399,250.24</b>	<b>0.88</b>	
270	LIBRARY FUND	UNITED BANK	413,748.77	0.40										
		LMCU			832,967.83	1.30	3/20/2017							
		WMCB			254,471.21	0.85	6/1/2018							
		NORTHPOINTE BANK			533,905.65	1.30	4/7/2018							
	<b>TOTAL LIBRARY FUND</b>		<b>413,748.77</b>	<b>0.40</b>	<b>1,621,344.69</b>	<b>1.23</b>						<b>2,035,093.46</b>	<b>1.06</b>	
701	T & A	CHEMICAL BANK	96,959.97	0.05								96,959.97	0.05	
701	JAMES TIMMONS	CHEMICAL BANK			12,400.00	1.60	3/21/2017					12,400.00	1.60	
701	JACK SMITH INV.	CHEMICAL BANK	22,812.12	0.05								22,812.12	0.05	
701	HENRY KRAMER	CHEMICAL BANK	15,172.93	0.05								15,172.93	0.05	
	<b>TOTAL</b>		<b>10,174,303.86</b>	<b>0.44</b>	<b>12,098,841.90</b>	<b>1.08</b>		<b>1,000,000.00</b>	<b>1.05</b>			<b>23,273,145.76</b>	<b>0.80</b>	

*Oxana Sourine* 10/24/16  
 Submitted by Oxana Sourine Date Deputy Treasurer

*Ken Peirce* 10/26/16  
 Reviewed by Ken Peirce Date Treasurer

**STAFF REPORT**

TO: Cascade Charter Township Board  
FROM: Steve Peterson, Community Development Director  
REPORT DATE: October 21, 2016  
MEETING DATE: November 2, 2016  
CASE: #16-3305/Cascade Hospitality – Spruce Meadows

**GENERAL INFORMATION**

- A. **Applicant:** Cascade Hospitality
- B. **Status of Applicant:** Owner
- C. **General Location:** North and east of Meijer.
- D. **Requested Action:** Amend the Spruce Meadows PUD to allow for new hotel.
- E. **Existing Zoning on Subject Parcels:** Spruce Meadows P.U.D.
- F. **Zoning on Adjoining Parcels:**
  - N – PUD 81
  - S – ES
  - E – PUD 26
  - W – PUD 25
- G. **Parcel Size:** Approximately 3.2 acres
- H. **Existing Land Use on Subject Parcel:** Vacant
- I. **Adjacent Area Land Uses:**
  - North - YMCA
  - East - Commercial
  - South - Hotel
  - West - Office

**STAFF ANALYSIS**

- A. The applicant is requesting Final approval for a PUD amendment in order to construct a new hotel.
- B. The site was originally approved for a hotel. However only the foundation was built. That foundation must now be removed and the new hotel does not fit in the exact footprint so they are asking for a few changes to the PUD Ordinance in order to fit the new hotel.
- C. The changes to the PUD are:

	Current PUD	Proposed PUD	Comments
Building height	35 feet or 3 stories whichever is less	40 feet and 4 stories	The adjacent ES zone allows for 48 feet tall buildings.
Number of rooms	100 rooms	114	The number of rooms was limited to address setbacks.
Rear setback	58 feet	51 feet	The current rear setback was established to protect the previous residential area to the north.
Side bufferyard	20 feet	10 feet	They are able to install the required number of plantings within smaller bufferyard.
Front bufferyard	20 feet	15 feet	Same as above

- D. One of the big drivers of the current regulations was the fact that the area to the north was zoned residential. Now that the YMCA has developed the area to the north, those concerns are no longer present.
- E. Given the number of exceptions to the PUD staff felt it was more appropriate to proceed with the PUD amendment process rather than seeking variances.
- F. The Master Plan designation for this property is General commercial but is bounded on the south and west by Highway commercial. The general commercial designation is our typical 28<sup>th</sup> St commercial and the highway commercial is more reflective of the Expressway service zoning district. Other than the additional 5 feet of building height (which would be allowed in the ES zone) the project is in line with the general commercial designation. The fact that the Highway commercial designation is adjacent to the property and the residential use to the north is no longer a possibility, the blending of the two master plan designation would seem appropriate.
- G. Traffic would be dispersed through the existing access to Kraft and 28<sup>th</sup> St. The Township Board has already asked the KCRC to address the paving issues on Kraft Ave and the KCRC is already planning on improvements to the Kraft and 28<sup>th</sup> St intersection. The KCRC has also indicated that they will be looking into possible improvements to Spaulding and Burton intersection. Current traffic counts for these roads show that they are under their capacity.
- H. The Township engineer has reviewed the plan and approved them.

- I. The Planning Commission held a public hearing on this matter at their September 12, 2016 meeting and approved the plan and is now recommended approval of the PUD Ordinance amendments.

**J. Standards**

Section 16.03 of the Zoning Ordinance requires that a Planned Unit Development must demonstrate that:

Standard	Staff Comment
Granting of the Planned Unit Development rezoning will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved.	The property is already zoned PUD. The changes they are asking for are consistent with the master plan.
In relation to underlying zoning, the proposed type and density of use shall not result in a material increase in the need for public services, facilities and utilities, and shall not place a material burden upon the subject or surrounding land or property owners and occupants or the natural environment	The type of use and density is consistent with the master plan would not result in a material increase in the need for public services.
The proposed development shall be compatible with the General Development Plan of the Township, and shall be consistent with the intent and spirit of this Chapter	The project is consistent with the master plan
In relation to underlying zoning, the proposed development shall not result in an unreasonable negative economic impact upon surrounding properties	The underlying zoning/use of the area is commercial and the amendment to allow the hotel with a few minimal exceptions for height, setbacks and landscaping would not result in an unreasonable negative economic impact
The proposed development shall contain at least as much green area and usable open space as would otherwise be required by this Ordinance with respect to the most dominant use in the development	Although some of the bufferyards are smaller than required by the underlying zoning and the original plan, they have been able to plant the same required plantings as would have been required.
The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. This provision shall not prohibit a transfer of	Although there are other owners in the PUD, this project only involves one property in the PUD.

ownership or control, upon due notice to the Planning Director of the Township	
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**Staff Recommendation**

Staff recommends approval of the plan and PUD Ordinance amendment.

Attachments:      Application  
                         Site plan  
                         Master plan excerpts  
                         Current approved site plan



# CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan  
49546-7140

## PLANNING & ZONING APPLICATION

APPLICANT: Name: Cascade Lodging, Inc.  
Address: 5401 28th St. Ct. SE  
City & Zip Code Grand Rapids, MI 49546  
Telephone: 616-889-0127  
Email Address: matt@grandhospitality.net

OWNER: \* (If different from Applicant)  
Name: Same as above  
Address: \_\_\_\_\_  
City & Zip Code: \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Email Address: \_\_\_\_\_

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)	
<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. – Rezoning *
<input checked="" type="checkbox"/> P.U.D. – Site Condominium *	<input type="checkbox"/> Rezoning
<input checked="" type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Subdivision Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ *

*\* Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:\*\*

Amend Meijer's, Inc/Romano's PUD and Preliminary Site Plan for 4-story hotel with 102 rooms and 103 parking spaces

(\*\*Use Attachments if Necessary)  
-SEE OTHER SIDE-

**LEGAL DESCRIPTION OF PROPERTY\*\*:**

Refer to attached Legal Description.

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(\*\*Use Attachments if Necessary)

**PERMANENT PARCEL (TAX) NUMBER:** 41-19 -07-476-005

**ADDRESS OF PROPERTY:** 5449 28th St. Ct. SE, Grand Rapids, MI 49546

**PRESENT USE OF THE PROPERTY:** Vacant property

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)	Address(es)
<u>N/A</u>	

**SIGNATURES**

*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.*

*I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)*

Hikmat Piromari

Owner – Print or Type Name  
(\*If different from Applicant)



Owner's Signature & Date  
(\*If different from Applicant)

Applicant – Print or Type Name

Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

# TITLE



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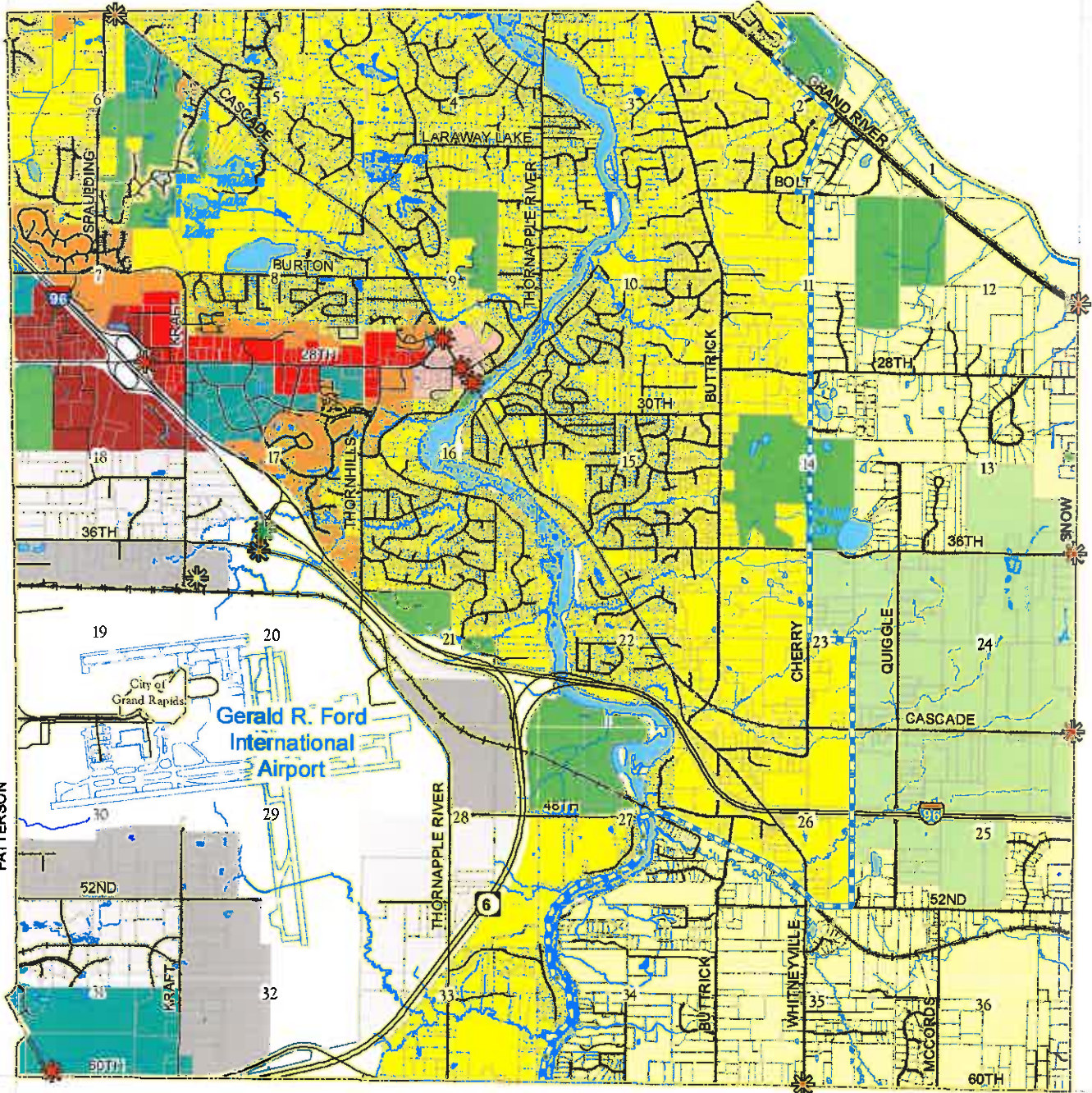
Printed 9/28/2016 10:36:44 AM

Ada Twp

City of Kentwood

Lowell Twp

Caledonia Twp



# Cascade Charter Township

Kent County, Michigan

## Map 15 Future Land Use

### Legend

- Gateway Feature
- Park 'n' Ride
- Rail Station
- Utility Service Area
- Farmland Preservation
- Rural Residential
- Suburban Residential
- Community Residential
- Village Commercial
- General Commercial
- Highway Commercial
- Mixed Use
- Heavy Industrial
- Light Industrial
- Community Facility / Golf Course



**WIRELESS**  
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**Williams & Works**  
 616.224.1188 phone • 616.224.1181 fax  
 147 Chama Avenue NW • Grand Rapids, MI 49503

April 22, 2009

The village commercial area is intended to be a walkable commercial district, where architectural style is paramount, but not rigid. Low shrubbery, picket fences and other features should be in place along the roadway to delineate the use and create interest for pedestrians.

**Location:** The village commercial land use category is located at the heart of Cascade Charter Township where Cascade Road, 28<sup>th</sup> Street and the Thornapple River converge. It is not the intent of this land use category to expand beyond the current commercially-zoned properties along Cascade Road.

**Desired Uses and Densities:** Desired uses include retail commercial, personal service establishments, eating and drinking establishments, financial institutions, and convenience stores with or without fuel stations. Residential uses are also planned, including above retail or office uses. Townhome, retirement centers, assisted living, and other elderly care facilities are also recommended. Other uses should be phased out and encouraged to locate to a more automobile-oriented commercial corridor. Residential densities would be 6-8 dwelling units to the acre. Pedestrian/bicycle circulation plans should be prepared for new development that includes access from sidewalks and non-motorized paths to any building entry. Bicycle racks are encouraged. Traffic calming, crosswalk demarcations, countdown walk signs, plantings and signage are encouraged at 28<sup>th</sup> Street and Cascade Road at the Village to create a sense of place for shopping, strolling, biking, and walking. Water and sewer must be available for development in this land use category. Additionally, any natural features should be preserved and protected in projects located in the village commercial land use area. The Township hopes that the village commercial area is served by mass transit in the future.

#### **GENERAL COMMERCIAL**

**Description:** This land use designation is intended to provide goods and services to meet the needs of the immediate neighborhood and the larger region. Facilities will be developed in harmony with the area's natural features and in a scale and form to encourage pedestrian access and to minimize auto-pedestrian conflicts. Cross-access easements and access roads will be encouraged to reduce the proliferation of curb-cuts. In addition, landscape standards and signage limitations will be utilized to promote attractive and functional developments. The current three acre minimum lot area requirement may be reduced for projects that incorporate certain green/eco-friendly building technologies, or provide a specific amount of green space, such as 35%.

**Location:** The general commercial land use designation includes properties fronting 28<sup>th</sup> street from Cascade Village west to the Township boundary.

**Desired Uses:** Uses include retail, office, personal services, professional services, automobile repair, convenience stores with or without fuel pumps, drive-through establishments, eating and drinking establishments, fitness centers, financial institutions, automobile sales, and other similar uses. Water and sewer must be available for development in this land use category. Additionally, any natural features should be preserved and protected in projects located in the general commercial land use area. The Township hopes that the general commercial area is served by mass transit in the future.

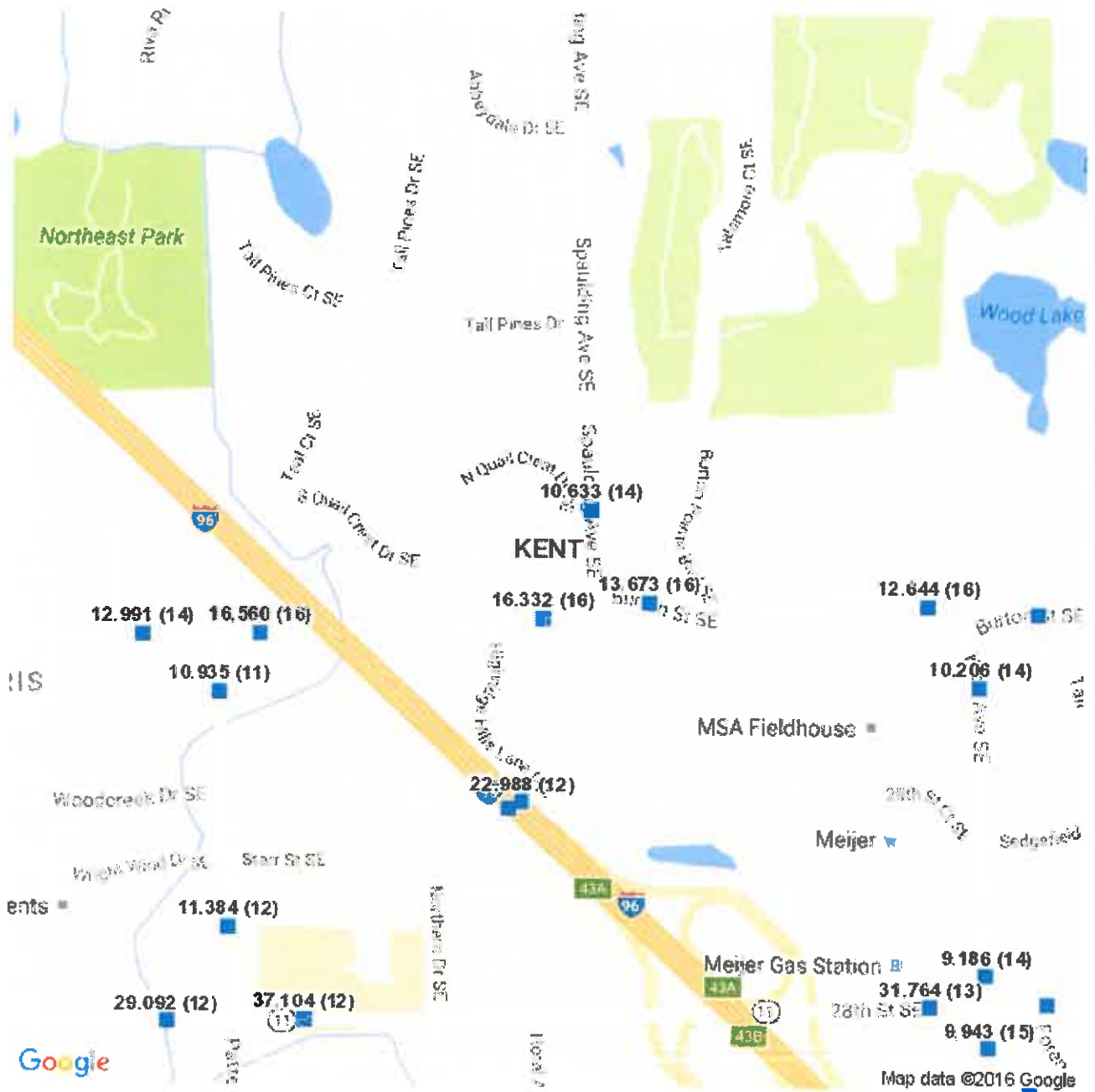
#### **HIGHWAY COMMERCIAL**

**Description:** The highway commercial land use category calls for more intense land uses in terms of traffic generation and building height. This use would include hotels, eating and drinking establishments, and convenience shopping capturing consumers from the region. Multi-story development, up to 5-stories, may be permitted based on locational factors. Additional height in excess of 5-stories may be considered in areas with elevation differences along the highway, while less height may be appropriate in areas where the highway commercial land use abuts residential uses. Maximum floor area may also be restricted to encourage taller buildings.

Careful planning and design should occur with any new mixed use or large-scale commercial projects to ensure that traffic safety and on-site traffic flow is considered, appropriate access management techniques have been incorporated into site planning and building height would not interfere with Federal Aviation Administration requirements or other height requirements of the Gerald R. Ford International Airport. Minimum lot area requirements could be reduced for projects that incorporate certain green/eco-friendly building technologies at the time of site plan review, or provide a minimum amount of green space, such as 35%. Architectural standards are appropriate to ensure buildings over 3 stories incorporate step-backs, vertical and horizontal design elements, and varied building materials to minimize bulk and massing.

**Location:** This use is located west and east of the I-96 interchange along 28<sup>th</sup> street.

**Desired Uses:** Desired uses include hotels, eating and drinking establishments, convenience shopping, fitness centers, and offices. Water and sewer must be available for development in this land use





September 8, 2016  
Project No. G080322

Mr. Steve Peterson  
Cascade Charter Township  
2865 Thornhills Avenue, SE  
Grand Rapids, MI 49546-7192

Re: Holiday Inn Express & Suites  
Site Plan Review

Dear Steve:

We have reviewed the site plan for Holiday Inn Express & Suites, located at 5375-28th Street Court, prepared by Bud Design and Engineering Services, Inc. The current site plan and the basis of this review are dated August 4, 2016. The proposed project is a new 4-story hotel.

## Stormwater and Drainage

### Flood Control

The proposed project is a new development, so all improvements shall comply with the requirements of the Cascade Charter Township (Township) Stormwater Ordinance (SWO). The site is located in Stormwater Management Zone B, which requires detention of the 25-year storm event. The SWO also requires the first 0.5 inch of stormwater runoff be detained and released over a 24-hour period.

Stormwater runoff from the site drains to the Kent County Drain Commissioner (KCDC) Patterson Drain and regional detention pond, located on the north side of I-96. The site ties into an existing storm sewer lateral located onsite and; therefore, does not need to be reviewed and permitted again by the KCDC. Onsite stormwater detention is not required because the site drains to the regional detention pond.

### Water Quality Control

The SWO requires the first 0.5 inch of stormwater runoff be detained and infiltrated where conditions permit, or released over a 24-hour period. The applicant is proposing to install a mechanical vortex separator unit at the outlet from the site to capture and store sediment, trash, and debris. Calculations were provided showing the vortex unit is adequately sized for the site. This requirement has been satisfied.

### Stormwater Runoff

The applicant provided stormwater calculations to size the onsite storm sewer system. All stormwater runoff from the impervious areas of the site will discharge to the Patterson Drain regional detention pond.



## Drainage Plan

The applicant has submitted drawings, calculations, and additional documentation as required in the SWO Section 2.03, Drainage Plan. Please refer to the included checklist for items and comments on each item. Please note a maintenance agreement is required before construction begins. The agreement should be submitted to the Township for review. The maintenance agreement and plan should include at a minimum cleaning of catch basin sumps.

## Utilities

An 8-inch public water main and easement is proposed for the site and will need to be reviewed and permitted by the City of Grand Rapids. 4-inch domestic water service and 6-inch fire protection will service the building. An existing 6-inch sanitary sewer lateral will be extended to the building. City permits will be required for the water and sanitary sewer connections prior to construction taking place.

## Soil Erosion and Sedimentation Control

Soil Erosion and Sedimentation Control (SESC) measures are provided on the plan drawings. The applicant has included silt fence along the limits of disturbance, silt sacks in new catch basins, and a construction tracking mat at the entrance to the site. SESC falls under the review and approval of the Kent County Road Commission and a permit is required before construction can begin. The SESC measures indicated on the drawings appear appropriate given the expected work.

## Summary

The proposed stormwater design meets the Township SWO requirements for new developments. The applicant will need to apply for and obtain a number of permits (SESC, water, and sanitary sewer from the City) prior to beginning construction. We recommend approval of the site plan from an engineering standpoint.

If you have any questions or require additional information, please contact me at 616.464.3786 or [nrtorrey@ftch.com](mailto:nrtorrey@ftch.com).

Sincerely,

FISHBECK, THOMPSON, CARR & HUBER, INC.

A handwritten signature in black ink, appearing to read "N. Torrey", is positioned above the printed name.

Nathan R. Torrey, PE

jlk  
Attachment  
By email



**Cascade Charter Township**

Storm Water Ordinance, Ordinance 7 of 2002, as amended by Ordinance No. 2 of 2008, 5/14/2008

*Reviewing Engineer Comments are Italicized*

*OK – Received and Acceptable*

*NA – Not Applicable*

*NR – Not Received, Needs Follow-up, See Comments*

**Holiday Inn Express**

**Drainage Plan Checklist**

- OK (1) Location of the development site and water bodies that will receive storm water runoff  
*All stormwater runoff from the site discharges to the Kent County Drain Commissioner (KCDC) storm sewer (Patterson Drain) and regional detention pond.*
- OK (2) Existing and proposed topography of the development site, including the alignment and boundary of the natural drainage courses, with contours having a maximum interval of one foot (using USGS datum). The information shall be superimposed on the pertinent Kent County soil map  
*Existing and proposed contours have been provided. Soil map information is not required for this project.*
- OK (3) Development tributary area to each point of discharge from the development  
*A drainage plan showing tributary areas was provided.*
- OK (4) Calculations for the final peak discharge rates  
*Applicant provided peak discharge rates for the onsite 10-year storm event.*
- OK (5) Calculations for any facility or structure size and configuration  
*The applicant provided calculations for the onsite storm sewer system.*
- OK (6) Drawing showing all proposed storm water runoff facilities with existing and final grades  
*The applicant provided calculations for the onsite storm sewer system.*
- OK (7) The sizes and locations of upstream and downstream culverts serving the major drainage routes flowing into and out of the development site. Any significant off-site and on-site drainage outlet restrictions other than culverts should be noted on the drainage map  
*Significant offsite flows were not identified by the applicant.*
- OK (8) An implementation plan for construction and inspection of all storm water runoff facilities necessary to the overall drainage plan, including a schedule of the estimated dates of completing construction of the storm water runoff facilities shown on the plan and an identification of the proposed inspection procedures to ensure that the storm water runoff facilities are constructed in accordance with the approved drainage plan  
*A construction schedule was included on the plans.*
- OK (9) Plan to ensure the effective control of construction site storm water runoff and sediment track-out onto roadways  
*The SESC measures shown on the plan appear appropriate given the expected work. SESC falls under the review and approval of the KCRC and a permit is needed before construction can begin.*



- OK (10) Drawings, profiles, and specifications for the construction of the storm water runoff facilities reasonably necessary to ensure that storm water runoff will be drained, stored, or otherwise controlled in accordance with this ordinance  
*The applicant provided calculations and design details for construction of the onsite storm sewer system.*
- NR (11) Maintenance agreement, in form and substance acceptable to the Township, for ensuring maintenance of any privately owned storm water runoff facilities. The maintenance agreement shall include the developer's written commitment to provide routine, emergency, and long-term maintenance of the facilities and, in the event that the facilities are not maintained in accordance with the approved drainage plan, the agreement shall authorize the Township to maintain any on-site storm water runoff facility as reasonably necessary, at the developer's expense  
*Maintenance agreement was not provided and is required.*
- OK (12) Name of the engineering firm and the registered professional engineer that designed the drainage plan and that will inspect final construction of the storm water runoff facilities
- NA (13) All design information must be compatible for conversion to Grand Valley Regional Geographic Information System (REGIS)  
*This is a privately owned system and will not be uploaded to REGIS.*
- OK (14) Other information necessary for the Township to verify that the drainage plan complies with the Township's design and performance standards for drains and storm water management systems

# HOLIDAY INN EXPRESS & SUITES

## SITE PLAN APPROVAL

### CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

#### APPLICANT

CASCADE HOSPITALITY, INC.  
5401 28TH ST. CT. SE  
GRAND RAPIDS, MI 49546

CONTACT: HIKMAT PIROMARI  
PHONE: (616) 889-0127

#### ARCHITECT

BUD DESIGN & ENGINEERING SERVICES, INC.  
10755 S. SAGINAW ST., SUITE B  
GRAND BLANC, MI 48439

CONTACT: JEFF PELTIER, RA  
PHONE: (810) 695-0793  
FAX: (810) 695-0569

#### CIVIL ENGINEER

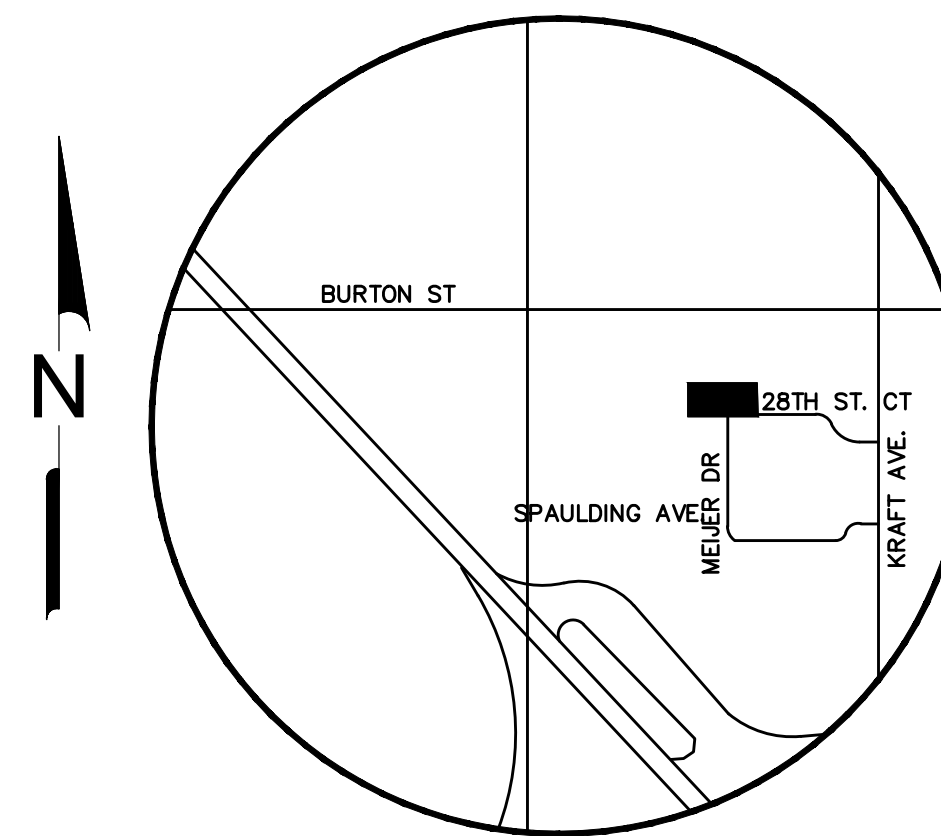
BUD DESIGN & ENGINEERING SERVICES, INC.  
10755 S. SAGINAW ST., SUITE B  
GRAND BLANC, MI 48439

CONTACT: ANDREW ANDRE, P.E.  
PHONE: (810) 695-0793  
FAX: (810) 695-0569



ANDREW ANDRE, P.E.  
MICHIGAN PE 47380  
BUD DESIGN & ENGINEERING SERVICES, INC.

STANDARD LEGEND		
DESCRIPTION	PROPOSED	EXISTING
BUILDING	[Symbol]	[Symbol]
STORM SEWER	[Symbol]	[Symbol]
SANITARY SEWER	[Symbol]	[Symbol]
WATER	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
ELECTRIC LINE	[Symbol]	[Symbol]
TELEPHONE LINE	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
CATCH BASIN	[Symbol]	[Symbol]
ENDSECTION	[Symbol]	[Symbol]
FIRE HYDRANT	[Symbol]	[Symbol]
GATE VALVE & WELL	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
UTILITY RISER	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
CURB & GUTTER	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
SILT FENCE	[Symbol]	[Symbol]
TREE - DECIDUOUS	AS NOTED ON PLANS	
TREE LINE	[Symbol]	[Symbol]
SPOT ELEVATION	[Symbol]	[Symbol]
CONTOUR LINE	[Symbol]	[Symbol]
SECTION CORNER	[Symbol]	[Symbol]
FOUND PROPERTY IRON	[Symbol]	[Symbol]
SET PROPERTY IRON	[Symbol]	[Symbol]
GAS METER	[Symbol]	[Symbol]
ELECTRICAL METER	[Symbol]	[Symbol]
TELEPHONE RISER	[Symbol]	[Symbol]
MAILBOX	[Symbol]	[Symbol]
SOIL BORING LOCATION	[Symbol]	[Symbol]



LOCATION MAP  
NOT TO SCALE

#### DRAWING INDEX

- C1.0 COVER SHEET
- C2.0 SURVEY PLAN
- C3.0 SITE LAYOUT AND PAVING PLAN
- C3.1 SITE LIGHTING AND PHOTOMETRIC PLAN
- C4.0 GRADING PLAN
- C4.1 ENLARGED GRADING PLAN
- C4.2 EROSION CONTROL PLAN
- C5.0 UTILITY PLAN
- C5.1 STORM MANAGEMENT PLAN
- C6.0 SITE DETAILS
- L1.0 LANDSCAPE PLAN AND DETAILS
- A111 FLOOR PLAN - LEVEL 1
- A112 FLOOR PLAN - TYPICAL UPPER LEVELS
- A200 EXTERIOR ELEVATIONS
- A201 EXTERIOR ELEVATIONS

BENCHMARKS	
B.M. #1 - SW BOLT ON TOP FLANGE ON HYDRANT ON SOUTH SIDE OF 28TH ST CT SE	ELEV. 644.85 NAVD 88

ZONING INFORMATION	
ZONED - SPRUCE MEADOWS PLANNED UNIT DEVELOPMENT	SETBACKS: FRONT - 82 FEET REAR - 58 FEET SIDE - 25 FEET

SCHEDULE "B" EXCEPTIONS	
STEWART TITLE GUARANTY COMPANY COMMITMENT NO. 1400833M/R6 (MICHIGAN BANKERS TITLE OF MID MICHIGAN, LLC) COMMITMENT DATE: FEBRUARY 19, 2015 AT 08:00 AM	

4. TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN NON-EXCLUSIVE EASEMENT AGREEMENT RECORDED IN LIBER 2418 AT PAGE 938. (OFFSITE EASEMENT)
5. TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN NON-EXCLUSIVE EASEMENT AGREEMENT RECORDED IN LIBER 2515 AT PAGE 301. (OFFSITE EASEMENT)
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7. TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN NON-EXCLUSIVE EASEMENTS AGREEMENT RECORDED IN LIBER 2561 AT PAGE 1345. (AS SHOWN)
8. TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN AGREEMENT AND EASEMENTS RECORDED IN LIBER 2594 AT PAGE 30. (AS SHOWN)
9. TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN NON-EXCLUSIVE EASEMENTS AGREEMENT RECORDED IN LIBER 2561 AT PAGE 1354. (EASEMENTS FOR DRIVEWAY & UTILITIES AS SHOWN)
10. TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN DECLARATION OF EASEMENTS RECORDED IN LIBER 2561 AT PAGE 1364. (EASEMENTS FOR DRIVEWAY & UTILITIES AS SHOWN)
11. TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN NON-EXCLUSIVE STORM WATER DRAINAGE EASEMENT RECORDED IN LIBER 2418 AT PAGE 931. (BLANKET EASEMENT)
12. TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN SANITARY SEWER AND WATERMAIN EASEMENT AGREEMENT RECORDED IN LIBER 2504 AT PAGE 177. (AS SHOWN)
13. EASEMENT GRANTED TO CONSUMERS POWER COMPANY, DISCLOSED BY AN INSTRUMENT RECORDED IN LIBER 2564, PAGE 1014. (AS SHOWN)
14. TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN ORDINANCE TO AMEND ORDINANCE #4 OF 1994, THE SPRUCE MEADOWS PLANNED UNIT DEVELOPMENT PROJECT DATED, AND RECORDED IN INSTRUMENT NO. 20070117-0006343. (BLANKET EASEMENT)
15. TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN EASEMENT AGREEMENT DATED NOVEMBER 16, 2007, AND RECORDED IN INSTRUMENT NO. 20071219-0118823. (AS SHOWN)

UTILITY NOTE	
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.	

UTILITY CONTACTS	
<b>TELEPHONE</b> AT & T	<b>GAS</b> DTE ENERGY-MICHCON 3538 LAKE EASRBROOK BLVD SE GRAND RAPIDS, MICHIGAN 49506 (800) 477-4747
	<b>ELECTRIC</b> CONSUMERS ENERGY 4000 CLAY AVE SW GRAND RAPIDS, MICHIGAN 49548 (800) 477-5050
<b>ZONING</b> CASCADE TOWNSHIP ZONING & PLANNING 2865 THORNHILLS AVE. SE GRAND RAPIDS, MI 49546 (616) 949-1500	<b>WATER/SEWER</b> CASCADE TOWNSHIP WATER AND SEWER SERVICES 2865 THORNHILLS AVE. SE GRAND RAPIDS, MI 49546 (616) 949-1500

FLOODPLAIN INFORMATION	
CASCADE TOWNSHIP KENT COUNTY, MICHIGAN MAP NUMBER: 260814 0025A EFFECTIVE DATE: NOVEMBER 6, 1991 FLOOD ZONE: X AREA OUTSIDE 500-YEAR FLOODPLAIN	

FURNISHED LEGAL DESCRIPTION	
STEWART TITLE GUARANTY COMPANY COMMITMENT NO. 1400833M/R6 (MICHIGAN BANKERS TITLE OF MID MICHIGAN, LLC) COMMITMENT DATE: FEBRUARY 19, 2015 AT 08:00 AM	

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:  
PREMISES SITUATED IN THE TOWNSHIP OF CASCADE, COUNTY OF KENT, STATE OF MI, DESCRIBED AS FOLLOWS:  
THAT PART OF THE SOUTHEAST 1/4 OF SECTION 7, TOWN 6 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SECTION 7; THENCE SOUTH 88 DEGREES 05 MINUTES 02 SECONDS WEST 1054.98 FEET ALONG THE SOUTH LINE OF SECTION 7; THENCE NORTH 1 DEGREE 39 MINUTES 55 SECONDS WEST 282.76 FEET TO THE NORTHEASTERLY LINE OF HIGHWAY I-96; THENCE NORTH 47 DEGREES 05 MINUTES 25 SECONDS WEST 382.36 FEET ALONG SAID NORTHEASTERLY LINE; THENCE NORTH 01 DEGREE 25 MINUTES 52 SECONDS EAST 888.91 FEET ALONG THE WEST LINE OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 7 TO THE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 88 DEGREES 20 MINUTES 05 SECONDS WEST 434.19 FEET; THENCE NORTH 01 DEGREE 25 MINUTES 52 SECONDS WEST 75.00 FEET; THENCE SOUTH 88 DEGREES 20 MINUTES 5 SECONDS WEST 60.26 FEET; THENCE NORTH 1 DEGREE 25 MINUTES 52 SECONDS WEST 196.60 FEET; THENCE NORTH 88 DEGREES 05 MINUTES 02 SECONDS EAST 534.47 FEET ALONG THE NORTH LINE OF THE SOUTH 1685 FEET OF THE SOUTHEAST 1/4 OF SECTION 7; THENCE SOUTH 01 DEGREE 37 MINUTES 57 SECONDS EAST 273.93 FEET (DEEDED AS 273.98 FEET); THENCE SOUTH 88 DEGREES 20 MINUTES 05 SECONDS WEST 40.97 FEET TO THE PLACE OF BEGINNING, TOGETHER WITH NON-EXCLUSIVE EASEMENTS FOR COMMON INGRESS AND EGRESS AND PUBLIC AND PRIVATE UTILITIES AND PARKING AS DESCRIBED IN AND GRANTED BY INSTRUMENTS RECORDED IN LIBER 2418, PAGE 938, LIBER 2515, PAGE 301, LIBER 2522, PAGE 229, LIBER 2561, PAGE 1345 AND IN LIBER 2594, PAGE 30, ALSO SUBJECT TO AND TOGETHER WITH NON-EXCLUSIVE EASEMENTS FOR COMMON INGRESS AND EGRESS AND UTILITIES PURPOSES, AS DESCRIBED IN AND GRANTED BY INSTRUMENTS RECORDED IN LIBER 2561, PAGE 1354 AND IN LIBER 2561, PAGE 1364.

HOLIDAY INN EXPRESS & SUITES  
28TH STREET CT. SE  
CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



WE HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MICHIGAN. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND FOR THE ACCURACY OF THESE DRAWINGS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND DATA SHOWN HEREON. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND FOR THE ACCURACY OF THESE DRAWINGS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND DATA SHOWN HEREON.

ISSUED FOR	DATE
SPA	04/28/16
SPA	05/25/16
SPA	08/04/16

DATE:	
DRAWN:	ACA
CHECKED:	JA
SCALE:	NA
JOB NO:	BD-15-319
SHEET TITLE:	COVER SHEET
SHEET	

JOB NO:	BD-15-319
SHEET TITLE:	COVER SHEET
SHEET	

C1.0



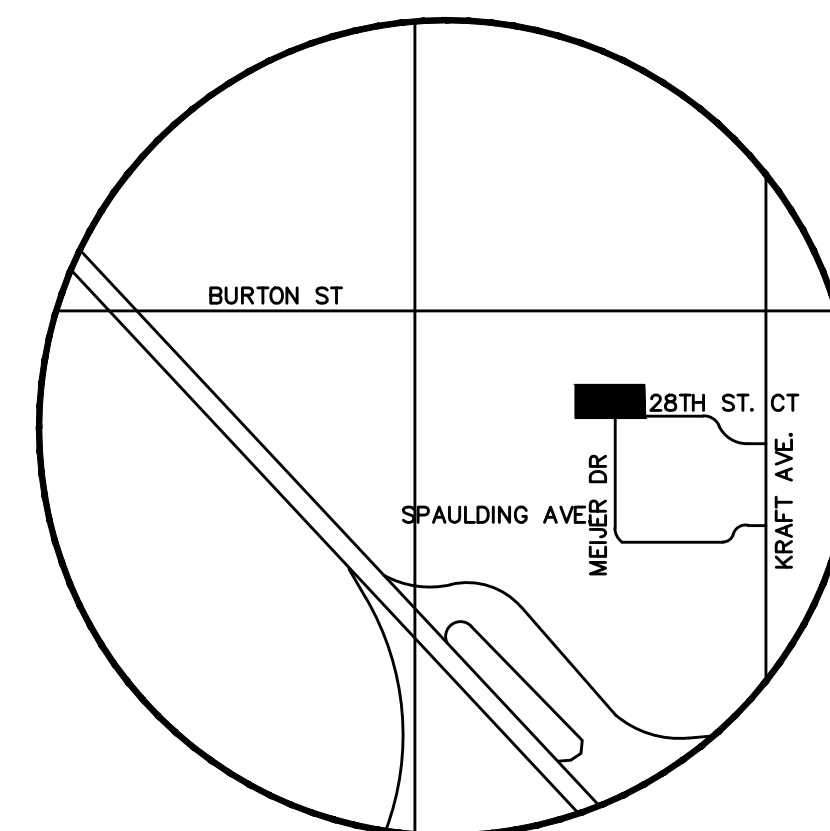
THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.



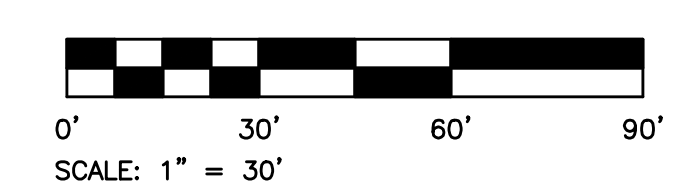
Bud Design & Engineering Services, Inc.  
 Architecture | Engineering | Interior Design  
 10775 S. Saginaw St., Suite B  
 Grand Blanc, MI 48439  
 (PH) 810.695.0793  
 (FAX) 810.695.0569  
 Web: www.budesign.com

HOLIDAY INN EXPRESS & SUITES

28TH STREET CT. SE  
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



LOCATION MAP  
NOT TO SCALE



EXISTING LEGEND

	MONUMENT / SECTION CORNER
	FOUND PROPERTY IRON
	SET PROPERTY IRON
	EXISTING CATCHBASIN
	EXISTING MANHOLE/CATCHBASIN
	EXISTING MANHOLE
	EXISTING HYDRANT
	EXISTING VALVE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	EXISTING FENCE LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND GAS LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING CENTERLINE
	EXISTING OVERHEAD ELECTRICAL WIRES
	EXISTING MAILBOX / NEWSPAPER BOX
	EXISTING DECIDUOUS TREES
	EXISTING CONIFEROUS TREES
	EXISTING UTILITY POWER POLE
	EXISTING TELEPHONE RISER
	SOIL BORING

FURNISHED LEGAL DESCRIPTION

STEWART TITLE GUARANTY COMPANY  
 COMMITMENT NO. 1400833M/R6 (MICHIGAN BANKERS' TITLE OF  
 COMMITMENT DATE: FEBRUARY 19, 2015 AT 08:00 AM

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:  
 PREMISES SITUATED IN THE TOWNSHIP OF CASCADE, COUNTY OF KENT, STATE OF MI, DESCRIBED AS FOLLOWS:  
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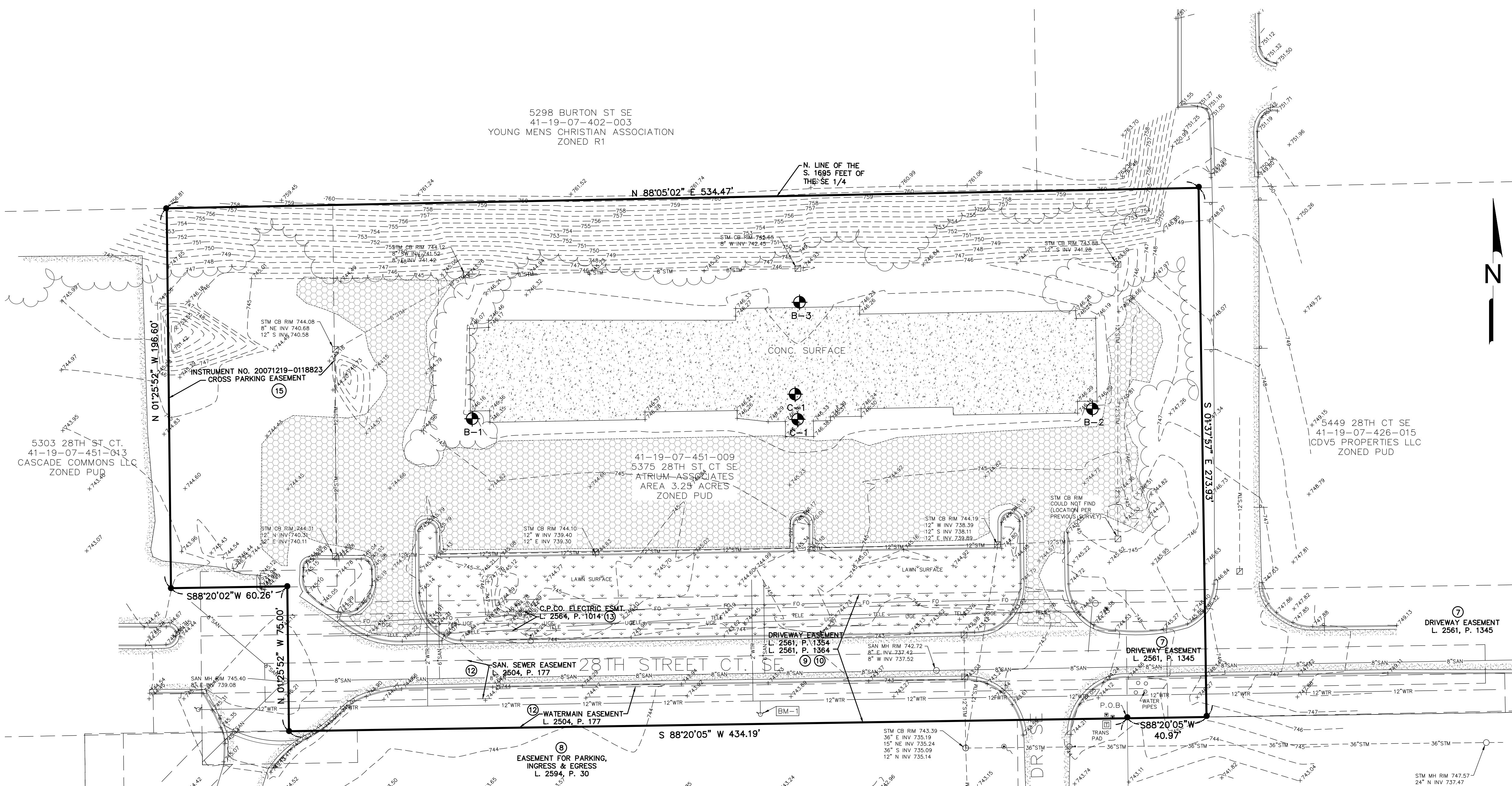
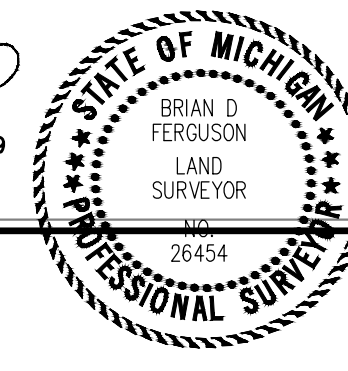
CERTIFICATION

TO: CASCADE HOSPITALITY, INC., A MICHIGAN CORPORATION, FIRST NATIONAL BANK OF MICHIGAN, MICHIGAN BANKERS' TITLE OF MID MICHIGAN, L.L.C. AND STEWART TITLE GUARANTY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS AND PROFESSIONAL ENGINEERS AND ARCHITECTS BY ALTA AND ACSM, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7(A)(B), 8, 9, 10, 11(A)(B), 12, 13, 14, 15, 16 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 03/29/2015.

DATE OF PLAT OR MAP: 04/13/2015

BRIAN D FERGUSON  
 401 BALSAM STREET P.O. BOX 159  
 CARROLLTON, MI 48724  
 PHONE: (989) 752-6500



SCHEDULE "B" EXCEPTIONS

STEWART TITLE GUARANTY COMPANY  
 COMMITMENT NO. 1400833M/R6 (MICHIGAN BANKERS' TITLE OF  
 MID MICHIGAN, L.L.C.)  
 COMMITMENT DATE: FEBRUARY 19, 2015 AT 08:00 AM

- TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN NON-EXCLUSIVE EASEMENT RECORDED IN LIBER 2418 AT PAGE 938. (OFFSITE EASEMENT)
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- TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN NON-EXCLUSIVE EASEMENTS FOR DRIVEWAY & UTILITIES AS SHOWN
- TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN NON-EXCLUSIVE EASEMENTS AGREEMENT RECORDED IN LIBER 2561 AT PAGE 1354. (EASEMENTS FOR DRIVEWAY & UTILITIES AS SHOWN)
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- TERMS, CONDITIONS AND PROVISIONS AS CONTAINED IN EASEMENT AGREEMENT DATED NOVEMBER 16, 2007, AND RECORDED IN INSTRUMENT NO. 20071219-0118823. (AS SHOWN)

5401 28TH CT SE  
 41-19-07-452-121  
 GRAND SUITES HOSPITALITY  
 ZONED E5

FLOODPLAIN INFORMATION

CASCADE TOWNSHIP  
 KENT COUNTY, MICHIGAN  
 MAP NUMBER: 260814 0025A  
 EFFECTIVE DATE: NOVEMBER 6, 1991  
 FLOOD ZONE: X  
 AREA OUTSIDE 500-YEAR FLOODPLAIN

UTILITY NOTE

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

BENCHMARKS

B.M. #1 - SW BOLT ON TOP FLANGE ON HYDRANT ON SOUTH SIDE OF 28TH ST CT SE  
 ELEV. 644.85 NAVD 88

ZONING INFORMATION

ZONED - SPRUCE MEADOWS PLANNED UNIT DEVELOPMENT  
 SETBACKS -  
 FRONT - 82 FEET  
 REAR - 58 FEET  
 SIDE - 25 FEET

UTILITY CONTACTS

TELEPHONE AT & T  
 GAS  
 DTE ENERGY-MICHCON  
 3538 LAKE EASBROOK BLVD SE  
 GRAND RAPIDS, MICHIGAN 49506  
 (800) 477-4747  
 ELECTRIC  
 CONSUMERS ENERGY  
 4000 CLAY AVE SW  
 GRAND RAPIDS, MICHIGAN 49548  
 (800) 477-5050  
 WATER/SEWER  
 CASCADE TOWNSHIP  
 WATER AND SEWER SERVICES  
 2885 THORNHILLS AVE. SE  
 GRAND RAPIDS, MI 49546  
 (616) 949-1500

EASEMENT FOR INGRESS & EGRESS  
 L. 2594, P. 30

5499 28TH CT SE  
 41-19-07-426-015  
 ICV5 PROPERTIES LLC  
 ZONED PUD

5401 28TH CT SE  
 41-19-07-452-121  
 GRAND SUITES HOSPITALITY  
 ZONED E5

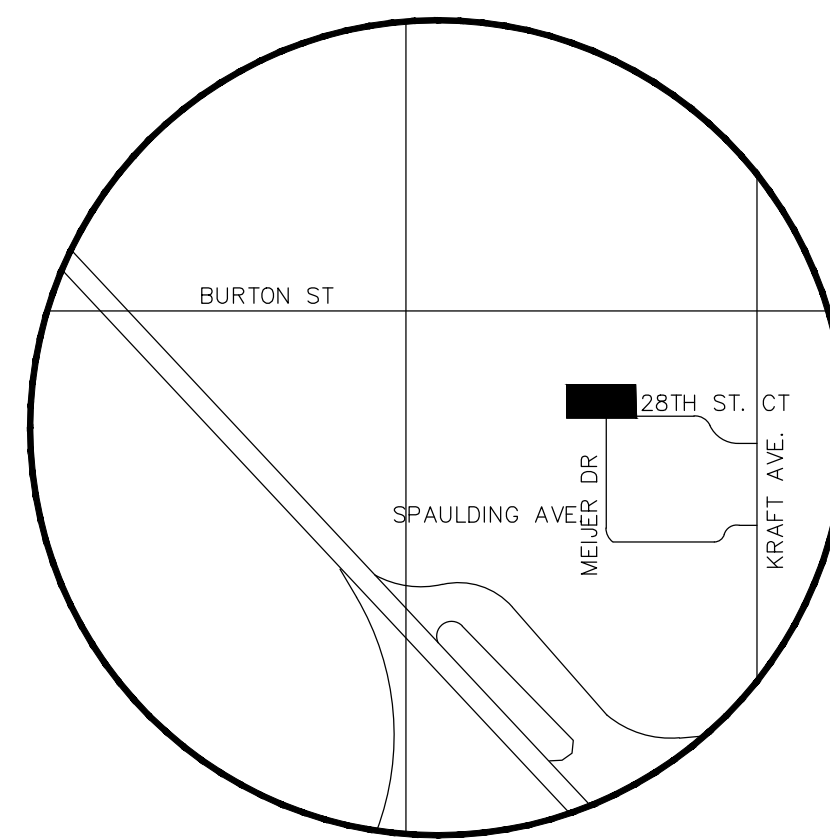


SURVEY COMPLETED BY:  
**D&M SITE INC.**  
 Surveying • Inspection • Testing • Engineering  
 401 BALSAM STREET PO BOX 159, CARROLLTON, MICHIGAN 48724  
 PHONE (989) 752-6500 • FAX (989) 752-6600

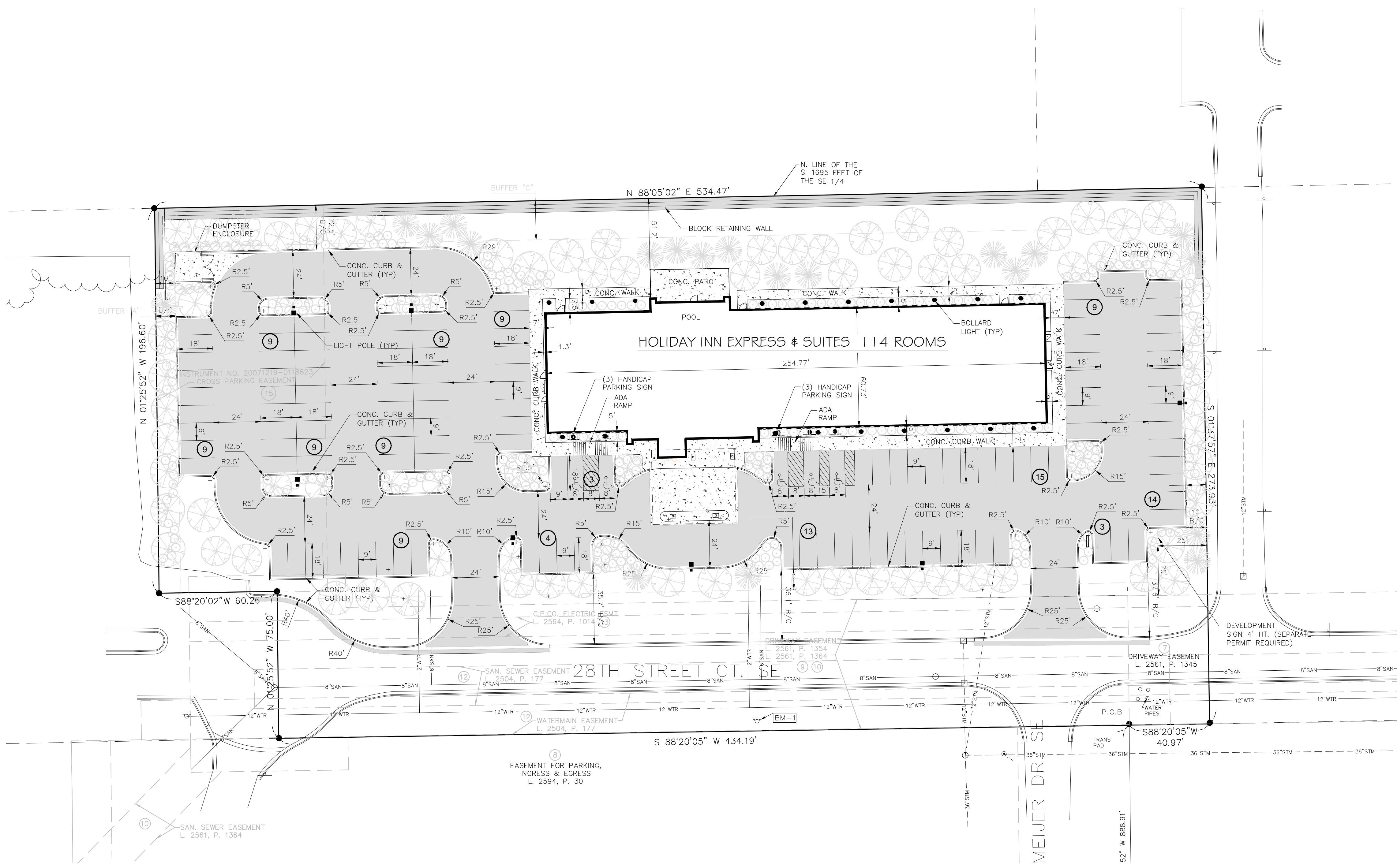
SHEET TITLE: SURVEY PLAN  
 SHEET C2.0



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 Grand Blanc, MI 48439  
 (PH) 810.695.0793  
 (FAX) 810.695.0569  
 Web: www.budesign.com



LOCATION MAP  
NOT TO SCALE



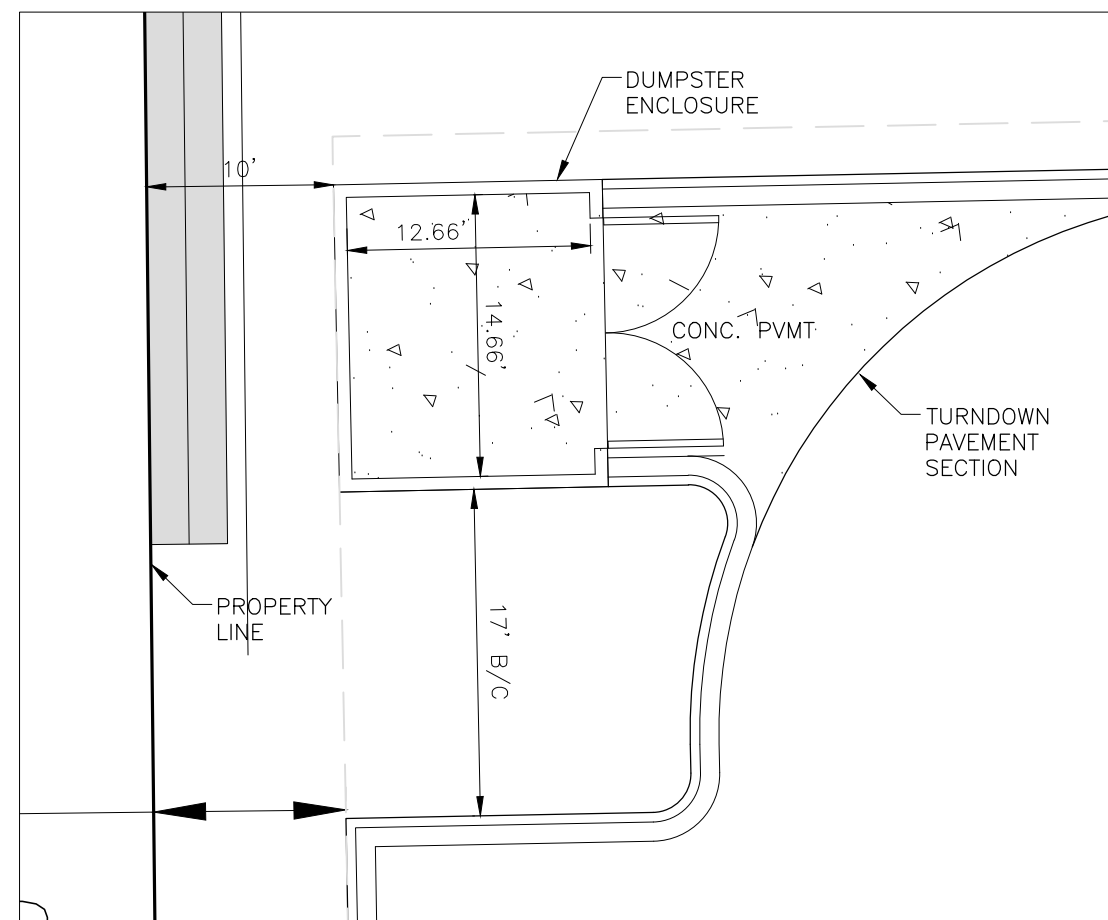
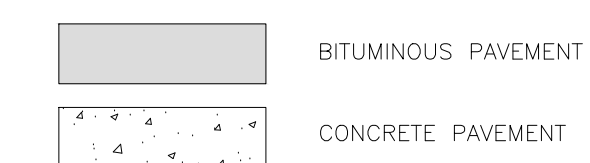
**GENERAL NOTES**

1. REFER TO ARCHITECTURAL PLANS TO VERIFY BUILDING DIMENSIONS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION, OR ENSURE THAT ALL REQUIRED PERMITS AND BONDS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING MISS-DIG AT 1-800-482-7171 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATION.
4. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY HAND DIGGING.
5. DIMENSIONS ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF PAVEMENT, CENTER OF STRUCTURE OR OTHERWISE INDICATED.
6. ALL PAVING MATERIALS AND OPERATIONS SHALL BE IN CONFORMANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.
7. PARKING STALL SPACES TO BE 4" DOUBLE SOLID WHITE PAINT STRIPES. HANDICAP PARKING TO BE 4" DOUBLE SOLID BLUE PAINT STRIPES W/ FREE STRIPPING OF 4" SOLID BLUE @ 2' O.C. ON 45° ANGLE.
8. ALL WORK SHALL CONFORM TO THE CASCADE TOWNSHIP STANDARDS AND SPECIFICATIONS.

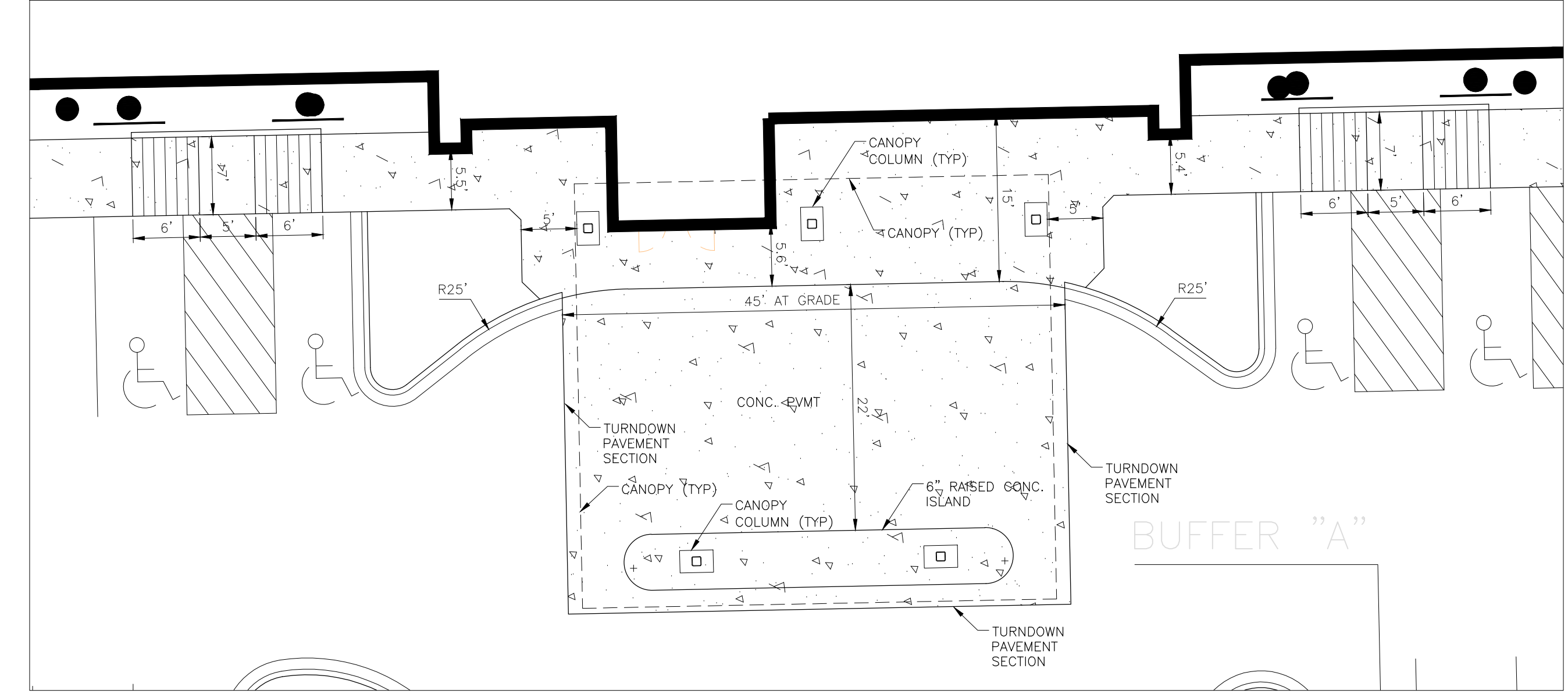
**SITE INFORMATION**

ZONING: SPRUCE MEADOWS P.U.D.  
 PROPERTY: GROSS AREA = 3.25 ACRES  
 41-19-07-451-009  
 5375 28TH ST CT. SE  
 PARKING DATA:  
 REQUIRED  
 1 SPACE PER ROOM  
 REQUIRED = 114 ROOMS / 1 = 114 SPACES  
 TOTAL REQUIRED = 114 SPACES  
 PROVIDED  
 ACCESSIBLE SPACES (8'x18') = 5  
 STANDARD SPACES (9'x18') = 119  
 TOTAL = 124 SPACES  
 ROOMS = 114  
 EMPLOYEES = 8  
 TOTAL OPERATIONAL REQUIREMENT = 122

**PAVEMENT INFORMATION**



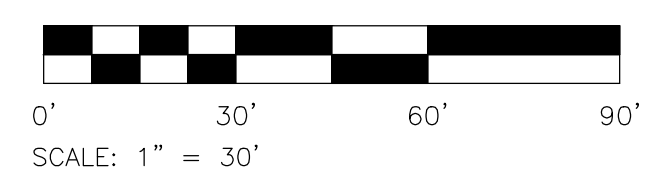
DUMPSTER ENCLOSURE  
SCALE: 1" = 10'



FRONT ENTRY  
SCALE: 1" = 10'



Know what's below.  
Call before you dig.



THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

**HOLIDAY INN EXPRESS & SUITES**  
 28TH STREET CT. SE  
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

WE HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THESE DRAWINGS IS THE PROPERTY OF BUD DESIGN & ENGINEERING SERVICES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUD DESIGN & ENGINEERING SERVICES, INC. ALL RIGHTS RESERVED.

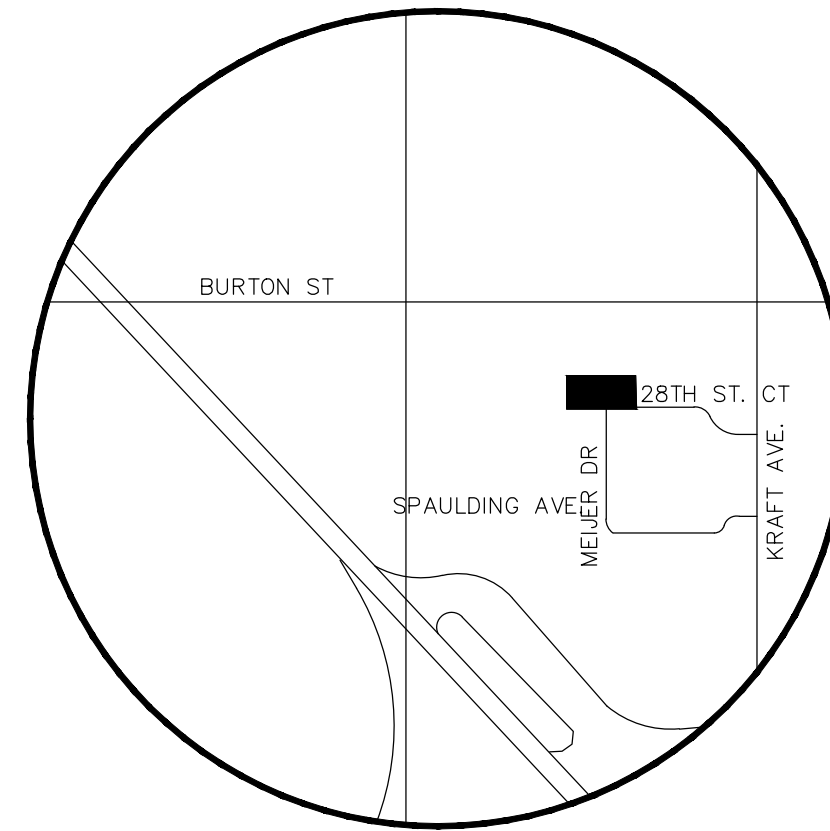
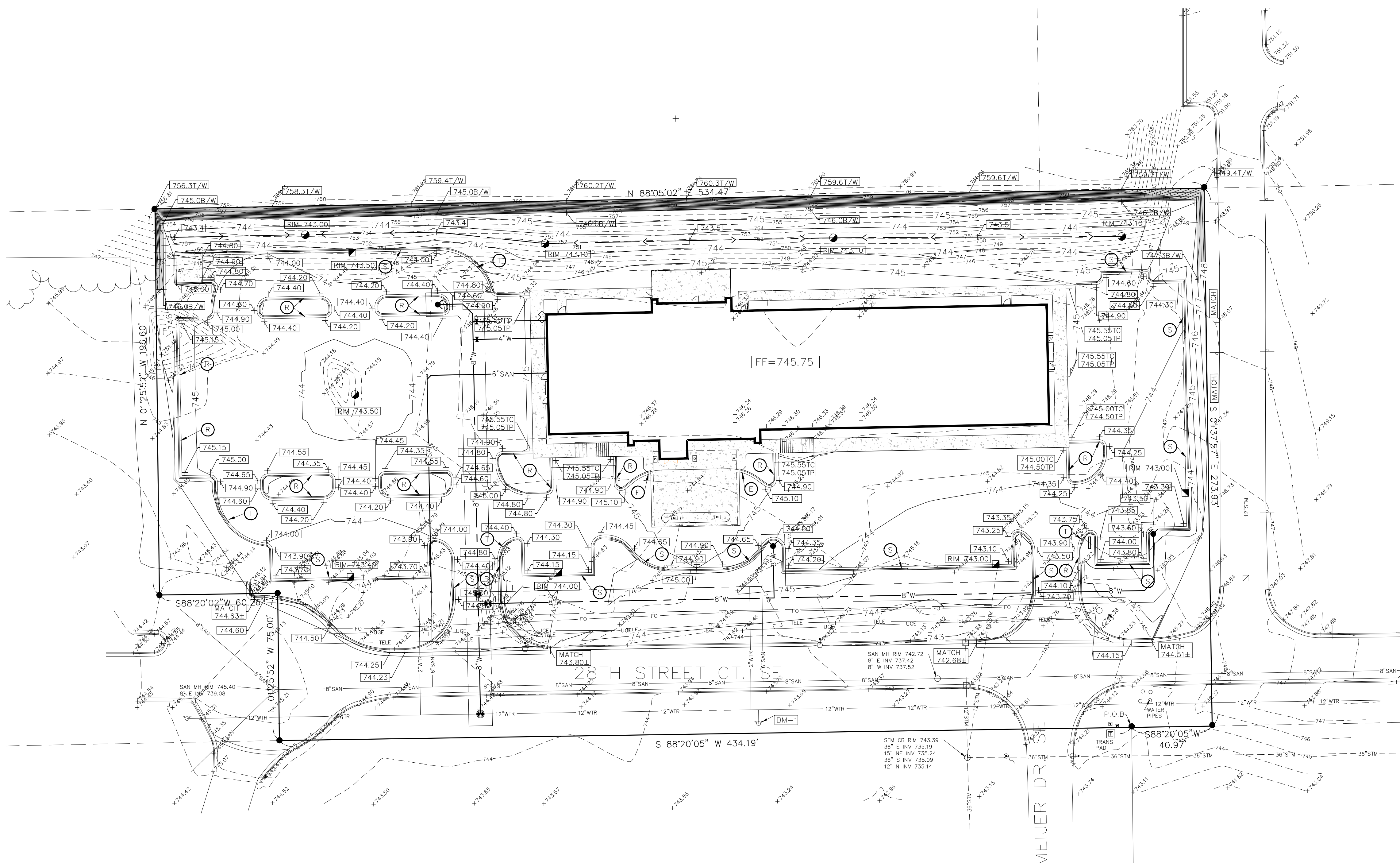
ISSUED FOR	DATE
SPA	04/28/16
SPA	05/25/16
SPA	08/04/16

DATE:  
 DRAWN: ACA  
 CHECKED: JT  
 SCALE: 1"=30'  
 JOB NO: BD-15-319

SHEET TITLE:  
**SITE LAYOUT AND PAVING PLAN SHEET**

**C3.0**





LOCATION MAP  
NOT TO SCALE

**GRADING NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CASCADE CHARTER TOWNSHIP AND MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
2. SPOT ELEVATIONS INDICATE TOP OF PAVEMENT UNLESS OTHERWISE INDICATED:  
 TC = TOP OF CURB  
 TP = TOP OF PAVEMENT  
 T/W = TOP OF WALL  
 B/W = BOTTOM OF WALL
3. CURB AND GUTTER LEGEND  
 (S) = STANDARD CURB AND GUTTER  
 (R) = REVERSE SLOPE CURB AND GUTTER  
 (T) = S' TRANSITION FROM STANDARD TO REVERSE  
 (E) = CURB END TRANSITION
4. REFER TO LANDSCAPE PLAN FOR LANDSCAPE TREATMENT AND PLACEMENT.

BENCHMARKS	
B.M. #1 - SW BOLT ON TOP FLANGE ON HYDRANT ON SOUTH SIDE OF 28TH ST CT SE	ELEV. 644.85 NAVD 88

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 28TH STREET CT. SE  
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

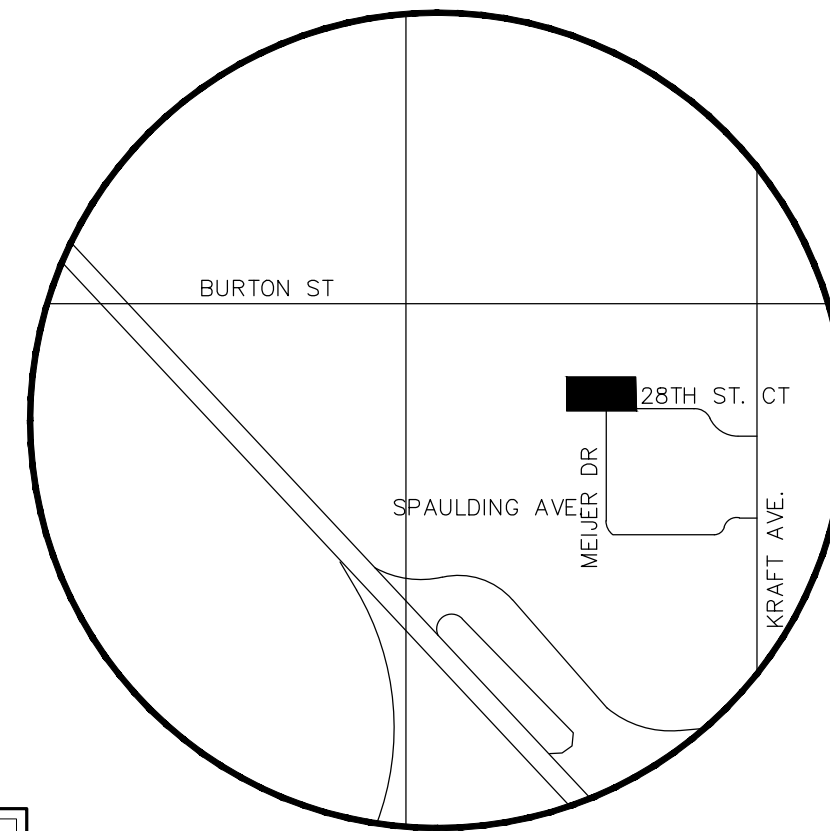
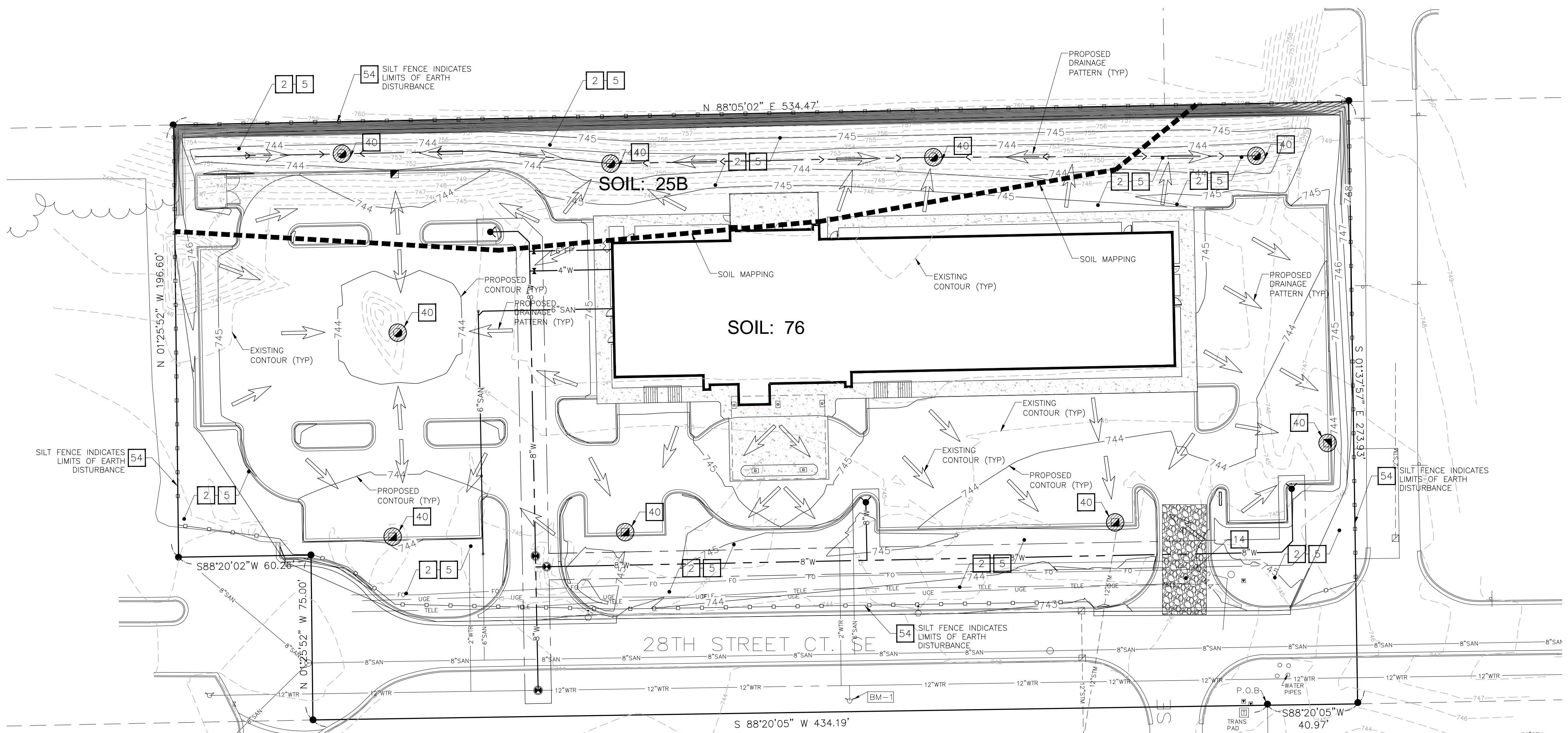
WE HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED BY US OR UNDER OUR CLOSE PERSONAL SUPERVISION AND THAT WE ARE A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MICHIGAN. WE AGREE TO BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO US AND FOR THE ACCURACY OF THE INFORMATION PROVIDED TO YOU. WE AGREE TO BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO YOU. WE AGREE TO BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO YOU.

ISSUED FOR	DATE
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SPA	05/25/16
SPA	08/04/16

DATE: \_\_\_\_\_  
 DRAWN: ACA  
 CHECKED: JT  
 SCALE: 1"=30'  
 JOB NO: BD-15-319

SHEET TITLE:  
**GRADING PLAN**  
 SHEET  
**C4.0**





**RESPONSIBLE PARTY**  
 CASCADE HOSPITALITY, INC.  
 5401 28TH ST. CT. SE  
 GRAND RAPIDS, MI 49546

**SOIL EROSION & SEDIMENTATION CONTROL OPERATION TIME SCHEDULE**

CONSTRUCTION SEQUENCE	AUG 2016	SEP 2016	OCT 2016	NOV 2016	DEC 2016	JAN 2017	FEB 2017	MAR 2017	APR 2017	MAY 2017	JUN 2017	JUL 2017	AUG 2017	SEP 2017	OCT 2017	NOV 2017	
SESS PRE-GRADING MTG WITH CITY																	
TEMPORARY EROSION CONTROL MEASURES																	
CLEAR & GRUB																	
STRIP & STOCKPILE TOPSOIL / ROUGH GRADE																	
WATER MAIN (COMPLETE)																	
TEMPORARY SEDIMENT BASIN																	
STORM SEWER SYSTEM																	
UNDERGROUND DETENTION																	
FOUNDATION / BLDG. CONSTRUCTION																	
SANITARY SEWER																	
INSTALL ALL OTHER UTILITIES																	
SITE CONSTRUCTION & PAVEMENT																	
PERMANENT EROSION CONTROL MEASURES																	
FINISH GRADING																	
LANDSCAPING																	

**SOIL EROSION CONTROL MEASURES**  
 REFERENCE: MICHIGAN UNIFIED KEYING SYSTEM FOR EROSION AND SEDIMENT CONTROL MEASURES

2	SELECTIVE GRADING & SHAPING	WATER CAN BE DIVERTED TO MINIMIZE EROSION. FLATTER SLOPES EASE EROSION PROBLEMS.
5	SEEDING	INEXPENSIVE AND VERY EFFECTIVE. STABILIZES SOIL, THUS MINIMIZING EROSION. PERMS RUNOFF TO INFILTRATE SOIL, REDUCING RUNOFF VOLUME. SHOULD INCLUDE PREPARED TOPSOIL BED.
14	AGGREGATE COVER	STABILIZES SOIL SURFACES, THUS MINIMIZING EROSION. PERMS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER. MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS.
40	FILTER BAG	SILT/SACK (TERRAFIX OR OTHERWISE APPROVED EQUAL). FILTER BAG FILTERS SEDIMENT FROM RUNOFF.
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

**MAINTENANCE NOTES**

- SOIL STOCKPILES**  
 PERIODIC INSPECTIONS SHOULD BE DONE TO ENSURE EXCESSIVE EROSION HAS NOT OCCURRED. IF RUNOFF OR WIND EROSION HAS OCCURRED, REDUCE THE SIDE SLOPES OF THE SOIL PILE, OR RE-STABILIZE THE STOCKPILE BY PROVIDING TEMPORARY SEEDING.  
 WHEN FILTER FENCING IS USED AROUND A SOIL PILE, PERIODIC CHECKS SHOULD BE MADE TO ENSURE THAT PILING HAS NOT OCCURRED UNDER THE FENCING, AND TO ENSURE THE FENCE HAS NOT COLLAPSED DUE TO SOIL SLIPPAGE OR ACCESS BY CONSTRUCTION EQUIPMENT. REPAIR ANY DAMAGED FENCING IMMEDIATELY.  
 BERMS AT THE BASE OF THE SOIL PILE WHICH BECOME DAMAGED SHOULD BE REPLACED.
- DUST CONTROL**  
 TO PREVENT DUST FROM BECOMING A PUBLIC NUISANCE AND CAUSING OFF-SITE DAMAGES, DUST CONTROL SHOULD BE ONGOING DURING EARTH CHANGE ACTIVITIES.
- SILT FENCE**  
 SILT FENCE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
 SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS.  
 IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF (1/2) THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED AND DISPOSED OF IN A STABLE UPLAND SITE. THE SOIL CAN BE ADDED TO THE SOIL STOCKPILE.  
 IF THE FABRIC IS BEING UNDERCUT (I.E. IF WATER IS SEEPING UNDER THE FENCE), THE FENCE SHOULD BE REMOVED AND REINSTALLED FOLLOWING THE PROCEDURES GIVEN ABOVE.  
 FABRIC WHICH DECOMPOSES OR OTHERWISE BECOMES INEFFECTIVE SHOULD BE REMOVED AND REPLACED WITH NEW FILTER FABRIC IMMEDIATELY.  
 SILT FENCES SHOULD BE REMOVED ONCE VEGETATION IS WELL ESTABLISHED AND THE UP-SLOPE AREA IS FULLY STABILIZED.

**SOIL EROSION & SEDIMENTATION CONTROL NOTES**

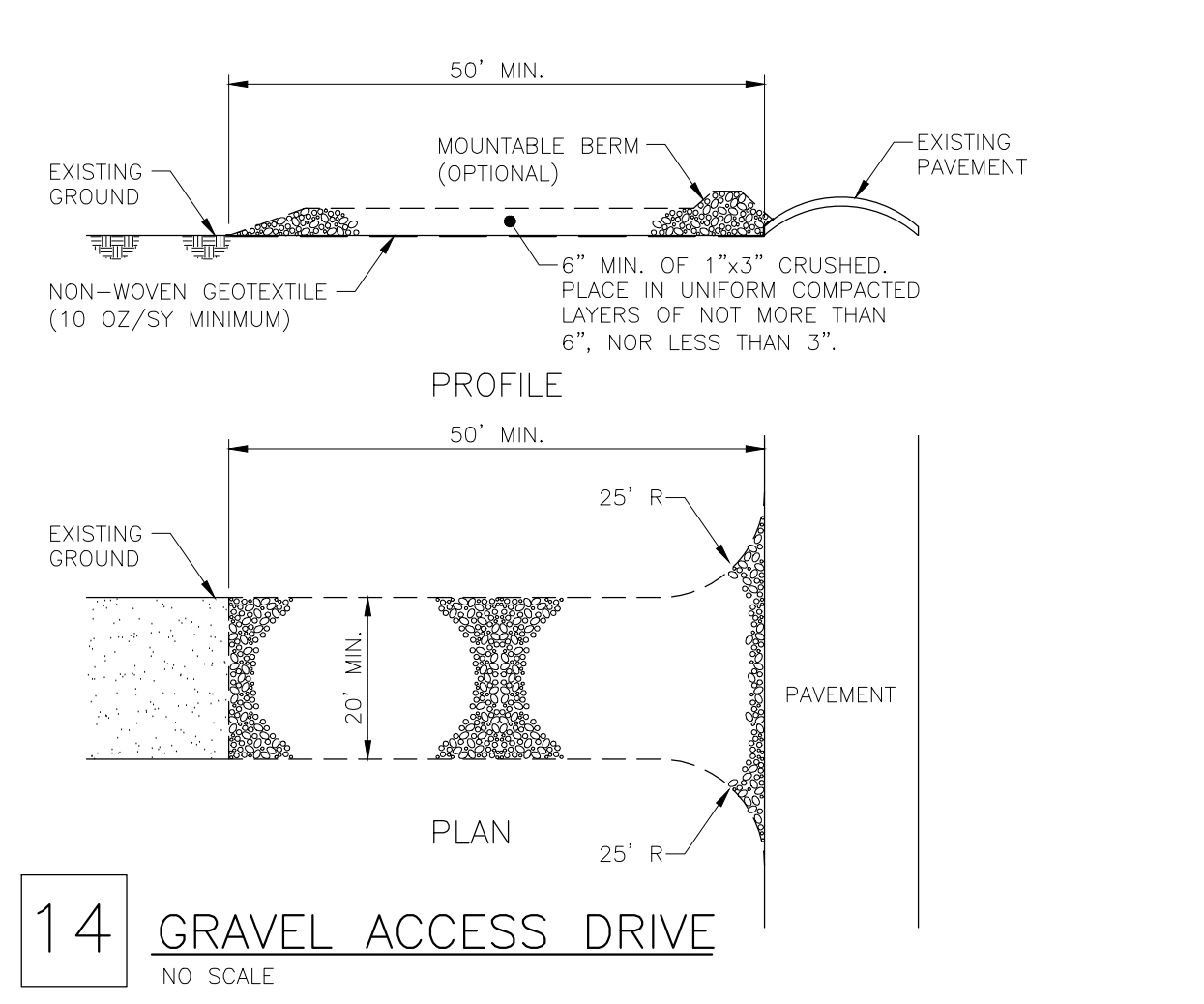
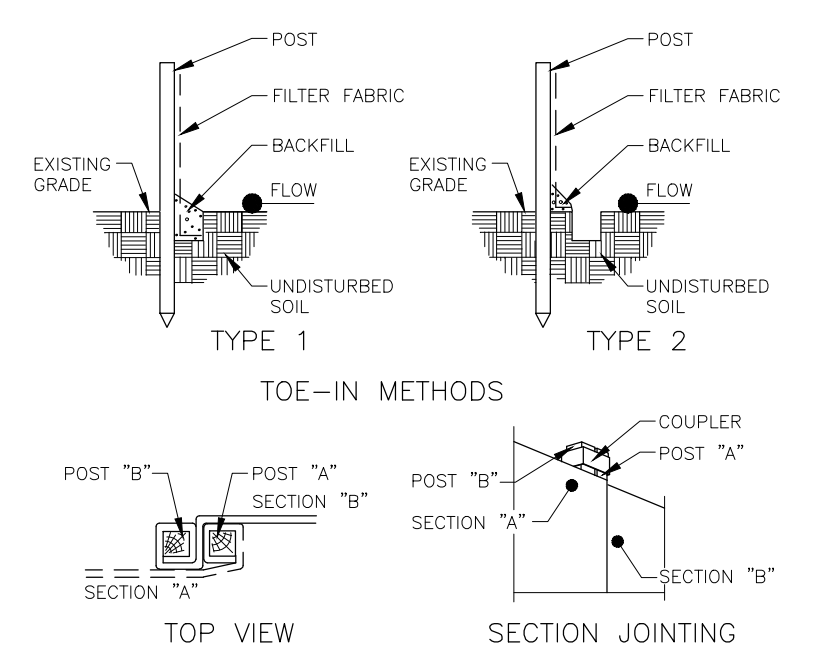
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH CASCADE CHARTER TOWNSHIP AND KENT COUNTY STANDARDS AND SPECIFICATIONS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- ANY EROSION OR SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ESTABLISHED.
- AFTER ALL TEMPORARY EROSION CONTROL MEASURES HAVE BEEN INSTALLED, THE CONTRACTOR SHALL CONTACT CITY OF SOUTHGATE FOR AN INSTALLATION INSPECTION.
- DUST CONTROL SHALL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTOR.
- ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR NO LATER THAN ON A DAILY BASIS. ALL MUD, DIRT AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- PERMANENT EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING OR EARTH MOVING ACTIVITY HAS BEEN COMPLETED. A FINAL INSPECTION SHALL BE SCHEDULED BY THE CONTRACTOR.
- UPON THE DIRECTION OF THE INSPECTING AGENCY, ADDITIONAL MEASURES SHALL BE CONSTRUCTED AND MAINTENANCE WORK SHALL BE PERFORMED TO ENSURE COMPLIANCE WITH ALL PERMIT REQUIREMENTS.

**FURNISHED LEGAL DESCRIPTION**

STEWART TITLE GUARANTY COMPANY  
 COMMITMENT NO. 1400833M/R6 (MICHIGAN BANKERS TITLE OF M/D MICHIGAN, L.L.C.)  
 COMMITMENT DATE: FEBRUARY 19, 2015 AT 08:00 AM  
 THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:  
 PREMISES SITUATED IN THE TOWNSHIP OF CASCADE, COUNTY OF KENT, STATE OF MI, DESCRIBED AS FOLLOWS:  
 THAT PART OF THE SOUTHEAST 1/4 OF SECTION 7, TOWN 6 NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SECTION 7; THENCE SOUTH 88 DEGREES 05 MINUTES 02 SECONDS WEST 1054.98 FEET ALONG THE SOUTH LINE OF SECTION 7; THENCE NORTH 1 DEGREE 39 MINUTES 55 SECONDS WEST 262.76 FEET TO THE NORTHEASTERLY LINE OF HIGHWAY 1-96; THENCE NORTH 47 DEGREES 05 MINUTES 25 SECONDS WEST 382.36 FEET ALONG SAID NORTHEASTERLY LINE; THENCE NORTH 01 DEGREE 25 MINUTES 52 SECONDS EAST 888.91 FEET ALONG THE WEST LINE OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 7 TO THE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 88 DEGREES 20 MINUTES 05 SECONDS WEST 434.19 FEET; THENCE NORTH 01 DEGREE 25 MINUTES 52 SECONDS WEST 75.00 FEET; THENCE SOUTH 88 DEGREES 20 MINUTES 5 SECONDS WEST 60.26 FEET; THENCE NORTH 1 DEGREE 25 MINUTES 52 SECONDS WEST 196.60 FEET; THENCE NORTH 88 DEGREES 05 MINUTES 02 SECONDS EAST 534.47 FEET ALONG THE NORTH LINE OF THE SOUTH 1695 FEET OF THE SOUTHEAST 1/4 OF SECTION 7; THENCE SOUTH 01 DEGREE 37 MINUTES 57 SECONDS EAST 273.93 FEET (DEEDED AS 273.98 FEET); THENCE SOUTH 88 DEGREES 20 MINUTES 05 SECONDS WEST 40.97 FEET TO THE PLACE OF BEGINNING, TOGETHER WITH NON-EXCLUSIVE EASEMENTS FOR COMMON INGRESS AND EGRESS AND PUBLIC AND PRIVATE UTILITIES AND PARKING AS DESCRIBED IN AND GRANTED BY INSTRUMENTS RECORDED IN LIBER 2418, PAGE 938, LIBER 2515, PAGE 301, LIBER 2522, PAGE 229, LIBER 2561, PAGE 1345 AND IN LIBER 2554, PAGE 30, ALSO SUBJECT TO AND TOGETHER WITH NON-EXCLUSIVE EASEMENTS FOR COMMON INGRESS AND EGRESS AND UTILITIES PURPOSES, AS DESCRIBED IN AND GRANTED BY INSTRUMENTS RECORDED IN LIBER 2561, PAGE 1354 AND IN LIBER 2561, PAGE 1364.

**SOIL CONDITIONS**

USDA NRCS  
 WEB SOIL SURVEY  
 KENT COUNTY, MICHIGAN (MIO81)  
 25B: OAKVILLE FINE SAND, 0 TO 6 PERCENT SLOPES  
 76: UDIPSAMMENTS, NEARLY LEVEL TO STEEP



**FLOODPLAIN INFORMATION**

CASCADE TOWNSHIP  
 KENT COUNTY, MICHIGAN  
 MAP NUMBER: 260814 0025A  
 EFFECTIVE DATE: NOVEMBER 6, 1991  
 FLOOD ZONE: X  
 AREA OUTSIDE 500-YEAR FLOODPLAIN

**TEMPORARY SEEDING GUIDE**

TYPE OF SEED	APRIL	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	RATE OF APPLICATION PER/1000 SQ. FT. PER ACRE
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS								2 LBS. 3 BU. 1/2 LB. 20-25 LBS.
SUDAGRASS								1 LB. 30-40 LBS.
RYE OR PERENNIAL RYE								3 LB. 2-3 BU. 1/2 LB. 20-25 LBS.
WHEAT								3 LBS. 2-3 BU.

**bde**  
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 10775 S. Saginaw St., Suite B  
 Grand Rapids, MI 49549  
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**HOLIDAY INN EXPRESS & SUITES**  
 28TH STREET CT. SE  
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

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ISSUED FOR	DATE
SPA	04/28/16
SPA	05/25/16
SPA	08/04/16

DATE: \_\_\_\_\_  
 DRAWN: ACA  
 CHECKED: JT  
 SCALE: 1"=30'  
 JOB NO: BD-15-319  
 SHEET TITLE: EROSION CONTROL PLAN  
 SHEET



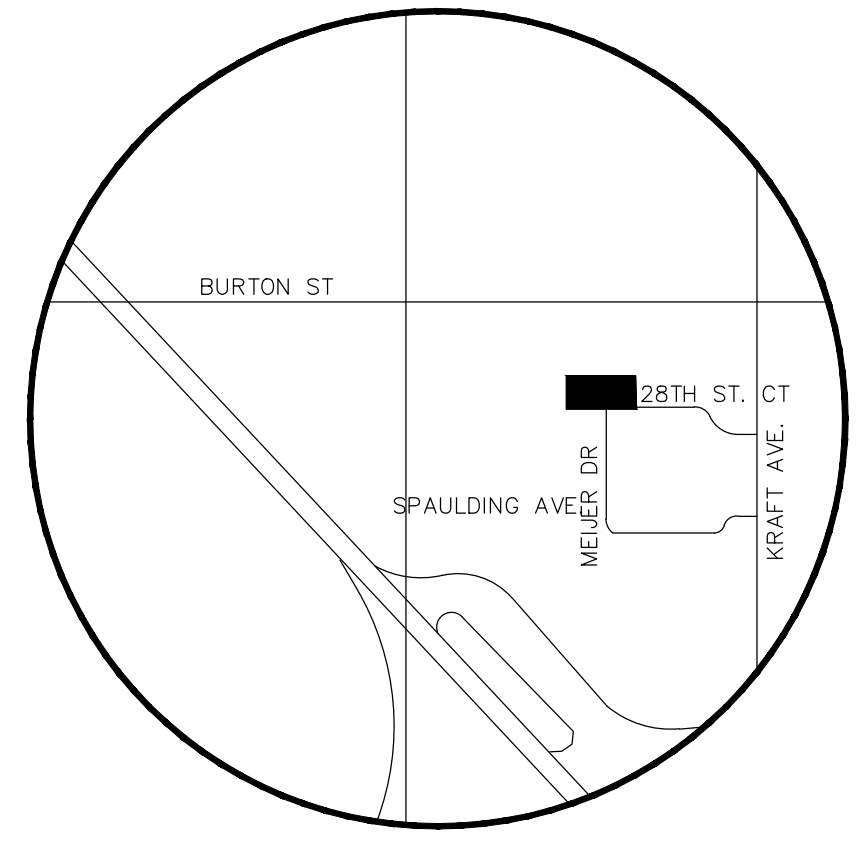
SIGNED: ANDREW ANDRE, P.E.  
 MICHIGAN PROFESSIONAL ENGINEER 47380  
 BUD DESIGN & ENGINEERING SERVICES, INC.  
 SCALE: 1" = 30'

**C4.2**

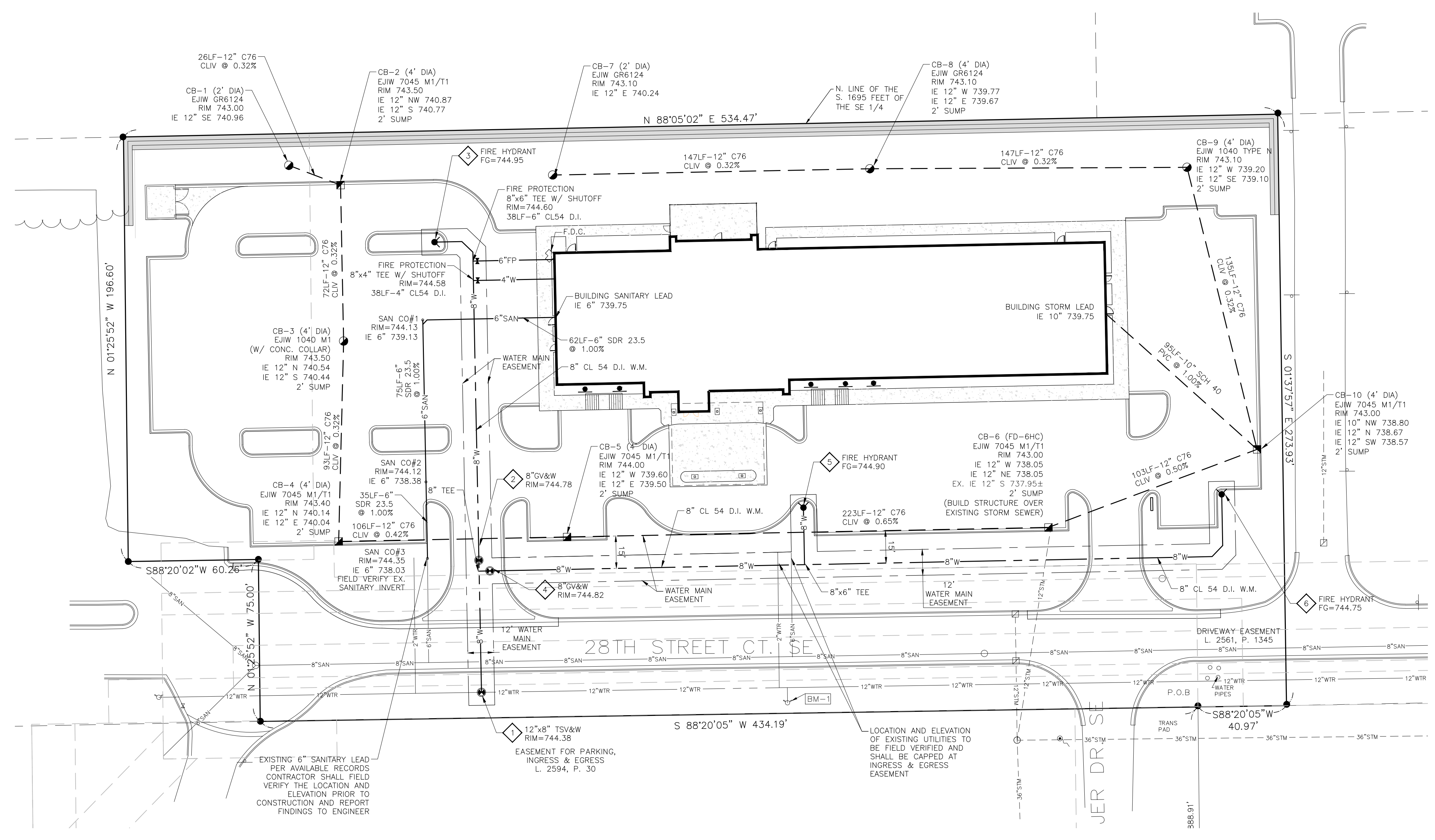


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 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



LOCATION MAP  
NOT TO SCALE



**GENERAL NOTES**

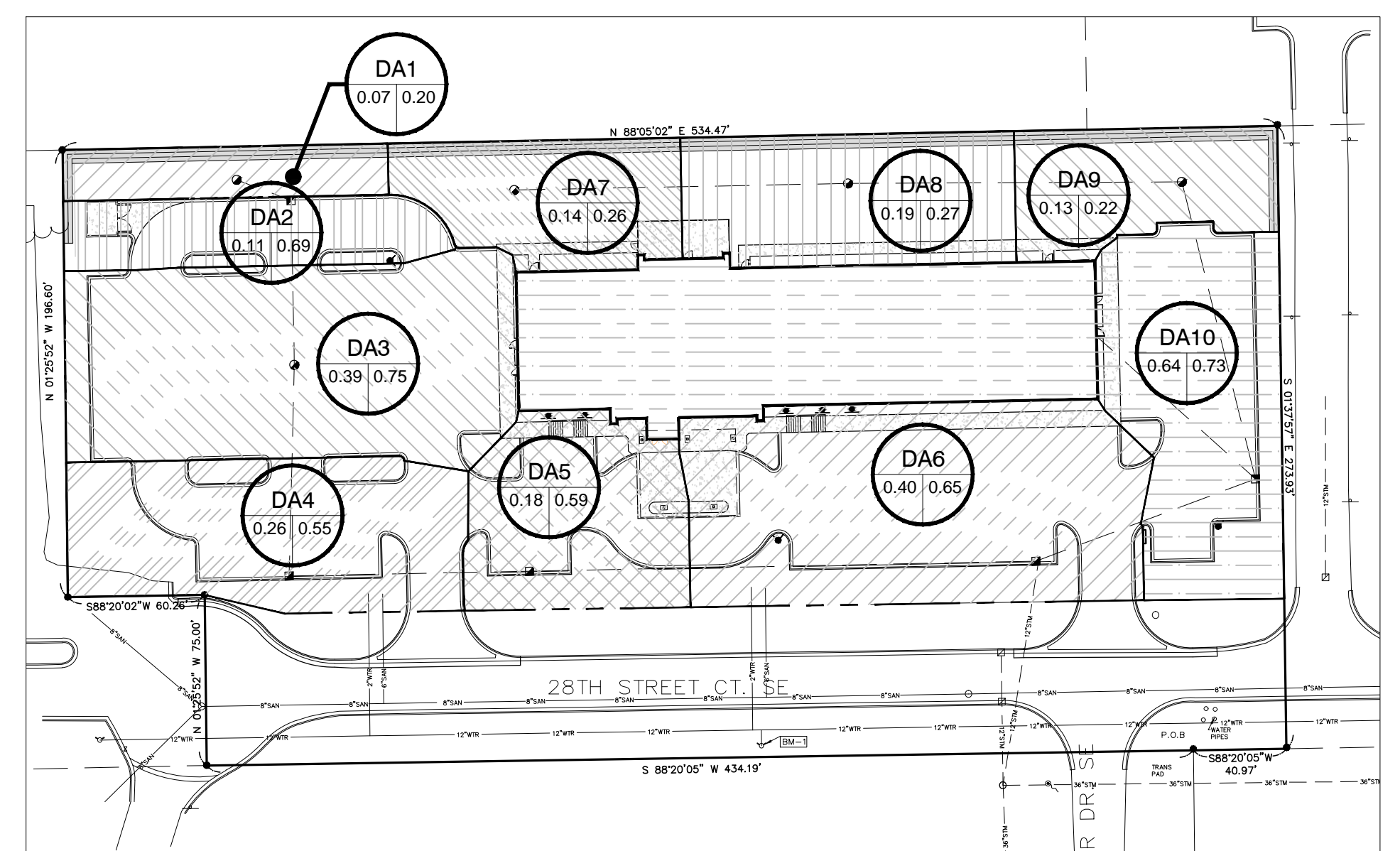
- ALL WORK MUST BE DONE IN ACCORDANCE WITH CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF CASCADE CHARTER TOWNSHIP.
- SHOP DRAWINGS SHALL BE SUBMITTED BY THE UNDERGROUND CONTRACTOR FOR ALL SANITARY, WATER AND STORM INSTALLATION.
- CONTRACTOR SHALL SUBMIT RECORD "AS-BUILT" PLANS AFTER CONSTRUCTION.
- MAINTAIN A MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICE AND ANY OTHER UTILITY OF 10'-FEET. THE MINIMUM VERTICAL CLEARANCE BETWEEN A WATER MAIN AND A SEWER SHALL BE 18"-INCHES.
- NO GROUNDWATER, STORM WATER, CONSTRUCTION WATER, DOWNSPOUT DRAINAGE OR WEEP TILE DRAINAGE SHALL BE ALLOWED TO ENTER ANY SANITARY SEWER INSTALLATION.
- REFER TO PLUMBING PLANS TO VERIFY BUILDING UTILITY CONNECTION LOCATIONS. SITE UTILITY LOCATIONS TO TERMINATE 5' OUTSIDE OF BUILDING.
- SANITARY CLEANOUT ASSEMBLIES TO BE ZURN 1402-HD, OR OTHERWISE APPROVED EQUAL.
- THE LOCATION AND SIZE OF THE FRANCHISE UTILITY SERVICES SHALL BE DESIGNED AND INSTALLED BY THE UTILITY COMPANY.
- MAINTAIN 6" MIN. DEPTH OF BURY TO FINISHED GRADE FOR WATER MAIN AND WATER SERVICE.
- CONTRACTOR RESPONSIBLE FOR ALL REPAIRS TO EXISTING ROADWAYS AS A RESULT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ALL FINDINGS TO THE ENGINEER.

**FIRE DEPARTMENT NOTES**

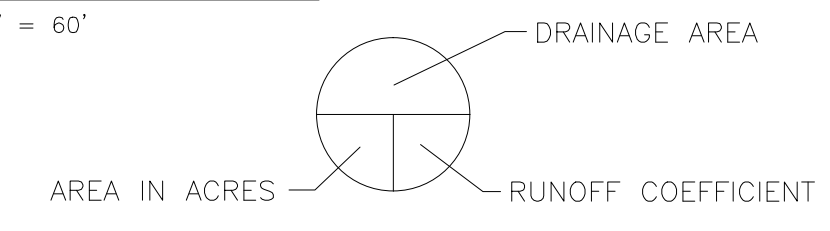
- BUILDING ADDRESS SHALL BE POSTED AND VISIBLE FROM 28TH STREET CT. SE.
- FIRE DEPARTMENT CONNECTION SHALL BE 5-INCH STORZ WITH 30-DEGREE ELBOW.
- "SUPRA BOX" SHALL BE PROVIDED IN LOCATION AS DIRECTED BY FIRE DEPARTMENT.

**STORM MANAGEMENT**

- KENT COUNTY DRAIN COMMISSIONER'S OFFICE REVIEWED STORM MANAGEMENT SYSTEM AND BRAD BOONSTRA, P.E. PROVIDED THE FOLLOWING IN AN EMAIL DATED JULY 8, 2016: "SINCE YOU ARE CONNECTING TO THE EXISTING 12" STORM SEWER OUTLET FOR THE SITE, YOU DO NOT NEED A PERMIT OR REVIEW FROM OUR OFFICE. YOU WILL NEED TO SATISFY CASCADE TOWNSHIP REGARDING ONSITE STORMWATER SYSTEMS."
- IN AN EMAIL DATED AUGUST 1, 2016, NATHAN TORREY, P.E. OF FTC&H PROVIDED REVIEW AND APPROVAL OF THE FIRST DEFENSE FD-BHC STORM TREATMENT UNIT TO SATISFY THE REQUIREMENTS OF THE TOWNSHIP STORMWATER ORDINANCE.



DRAINAGE AREAS  
SCALE: 1" = 60'



DRAINAGE AREA KEY

**DRAINAGE AREAS**

Drainage Area	Area Total (S.F.)	Pervious Area (S.F.)	Impervious Area (S.F.)	C Perv	C Imperv	Area Total (acres)	Cw
DA1	3216.28	3216.28	0.00	0.20	0.80	0.07	0.20
DA2	5002.44	934.81	4067.63	0.20	0.80	0.11	0.69
DA3	17097.78	1338.99	15758.79	0.20	0.80	0.39	0.75
DA4	11186.80	4625.00	6561.80	0.20	0.80	0.26	0.55
DA5	7851.98	2794.90	5057.08	0.20	0.80	0.18	0.59
DA6	17458.47	4279.39	13179.08	0.20	0.80	0.40	0.65
DA7	6212.91	5553.44	659.47	0.20	0.80	0.14	0.26
DA8	8384.30	7408.32	975.98	0.20	0.80	0.19	0.27
DA9	5699.43	5469.61	229.82	0.20	0.80	0.13	0.22
DA10	27668.89	3090.06	24578.83	0.20	0.80	0.64	0.73
<b>Total</b>						<b>2.52</b>	<b>0.59</b>

**SANITARY USE CALCULATIONS**

**PROPOSED BUILDINGS**

USAGE	AREA	UNIT FACTOR	R.E.U.
Hotel	114 rooms	0.25 units per room	28.50
Pool	300 sf	3 units / 1000 sf	0.90
			28.50
			<b>Rounded= 29.00</b>

POPULATION EQUIVALENT = 3.5 Persons per R.E.U.  
 POPULATION = 101.5 Persons  
 AVERAGE FLOW RATE = 90 Gallons per capita per day  
 AVERAGE FLOW = 9,135.00 GPD  
 PEAK FACTOR = 4  
 PEAK FLOW = 36,540.00 GPD = 0.055 CFS 6" @ 1.00% (cfs) = 0.73

**STORM SEWER CALCULATIONS**

$Q_s = C \cdot I \cdot A$   
 $Q_s = A \times 1.486 \text{ in} \times R^{0.487} \times S^{1/2}$   
 $I = 175 / (t+25)$  for 10 year storm event

(C imp = 0.80 / C perv = 0.20)

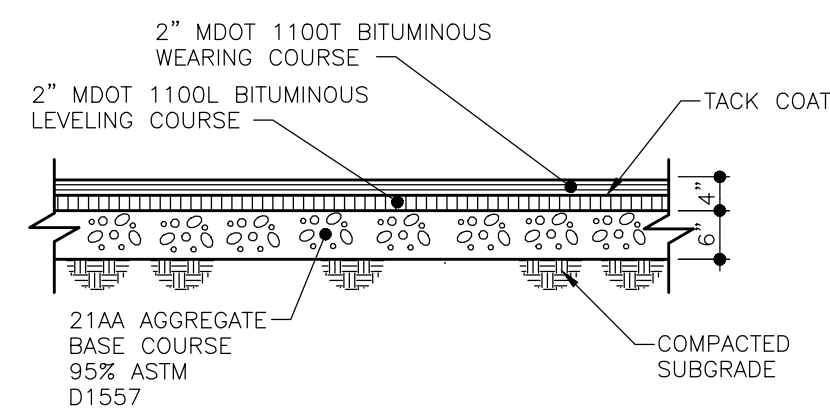
AREA NO.	FROM MH/CB	TO MH/CB	AREA A	COEFF. C*	A x C	AREA TOTAL	COEFF. Cw	A x Cw	TIME t <sub>c</sub>	INT. I	n	FLOW Q <sub>s</sub>	PIPE CAP. Q <sub>p</sub>	PIPE LENGTH	PIPE DIA.	PIPE SLOPE	VEL. FULL	TIME FLOW	10-YR STORM H.G.L.		INVERT ELEV.			
																			RIM HIGH	RIM LOW	HIGH END HGL	LOW END HGL	HIGH END INV	LOW END INV
DA1	1	2	0.07	0.20	0.01	0.07	0.20	0.01	15.00	4.38	0.013	0.06	2.02	28	12	0.32%	2.57	0.17	743.00	743.50	742.83	742.72	740.96	740.87
DA2	2	3	0.11	0.69	0.08	0.19	0.50	0.09	15.17	4.38	0.013	0.41	2.02	72	12	0.32%	2.57	0.47	743.50	743.50	742.62	742.33	740.77	740.54
DA3	3	4	0.39	0.75	0.30	0.58	0.67	0.39	15.64	4.31	0.013	1.68	2.02	93	12	0.32%	2.57	0.60	743.50	743.40	742.23	741.84	740.44	740.14
DA4	4	5	0.26	0.55	0.14	0.84	0.63	0.53	16.24	4.24	0.013	2.25	2.31	106	12	0.42%	2.94	0.60	743.40	744.00	741.74	741.18	740.04	739.60
DA5	5	6	0.18	0.59	0.11	1.02	0.63	0.64	16.84	4.18	0.013	2.86	2.87	223	12	0.65%	3.66	1.02	744.00	743.00	741.08	739.31	739.50	738.05
DA7	7	8	0.14	0.26	0.04	0.14	0.26	0.04	15.00	4.38	0.013	0.16	2.02	147	12	0.32%	2.57	0.95	743.10	743.10	742.02	741.42	740.24	739.77
DA8	8	9	0.19	0.27	0.05	0.34	0.27	0.09	15.95	4.27	0.013	0.38	2.02	147	12	0.32%	2.57	0.95	743.10	743.10	741.32	740.71	739.67	739.20
DA9	9	10	0.13	0.22	0.03	0.47	0.26	0.12	16.91	4.18	0.013	0.50	2.02	135	12	0.32%	2.57	0.88	743.10	743.00	740.61	740.05	739.10	738.67
DA10	10	6	0.64	0.73	0.47	1.10	0.53	0.58	17.79	4.09	0.013	2.39	2.52	103	12	0.50%	3.21	0.54	743.00	743.00	739.95	739.31	738.57	738.05
DA6	6	EX	0.40	0.65	0.26	2.52	0.59	1.48	18.32	4.04	0.013	5.99	6.03	98	12	2.87%	7.68	0.21	743.00	743.00	739.21	736.14	737.95	735.14

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

ISSUED FOR	DATE
SPA	04/28/16
SPA	05/25/16
SPA	08/04/16

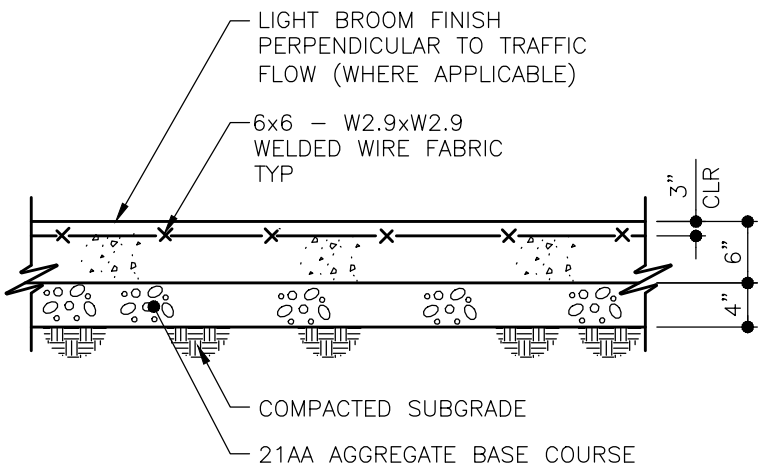
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 DRAWN: ACA  
 CHECKED: JT  
 SCALE: 1"=30'  
 JOB NO: BD-15-319  
 SHEET TITLE: **UTILITY PLAN**  
 SHEET: \_\_\_\_\_  
**C5.0**





NOTE: A GEOTECHNICAL REPORT WITH PAVEMENT DESIGN RECOMMENDATIONS WAS NOT AVAILABLE, THEREFORE THE PAVEMENT SECTION REPRESENTS THE MINIMUM STANDARDS RECOMMENDED.

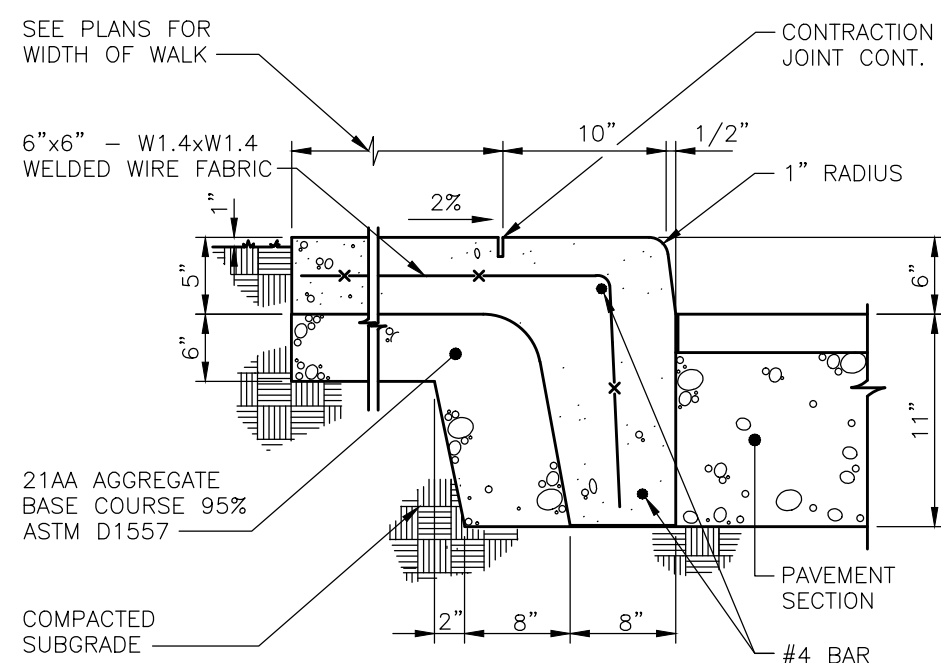
**BITUMINOUS PAVEMENT**  
NO SCALE



NOTE: A GEOTECHNICAL REPORT WITH PAVEMENT DESIGN RECOMMENDATIONS WAS NOT AVAILABLE, THEREFORE THE PAVEMENT SECTION REPRESENTS THE MINIMUM STANDARDS RECOMMENDED.

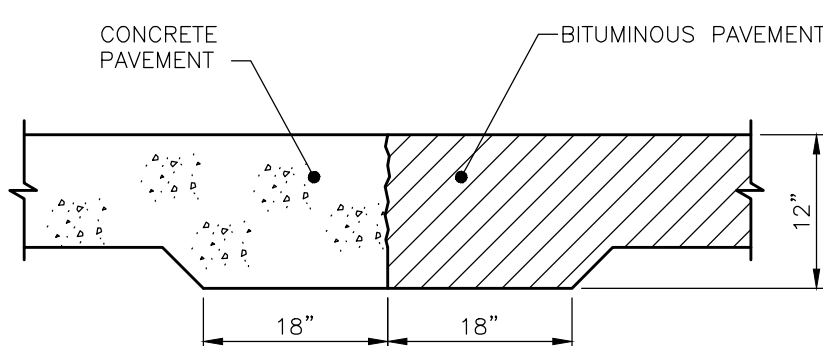
CONCRETE SHALL BE 3500 PSI

**CONCRETE PAVEMENT**  
NO SCALE

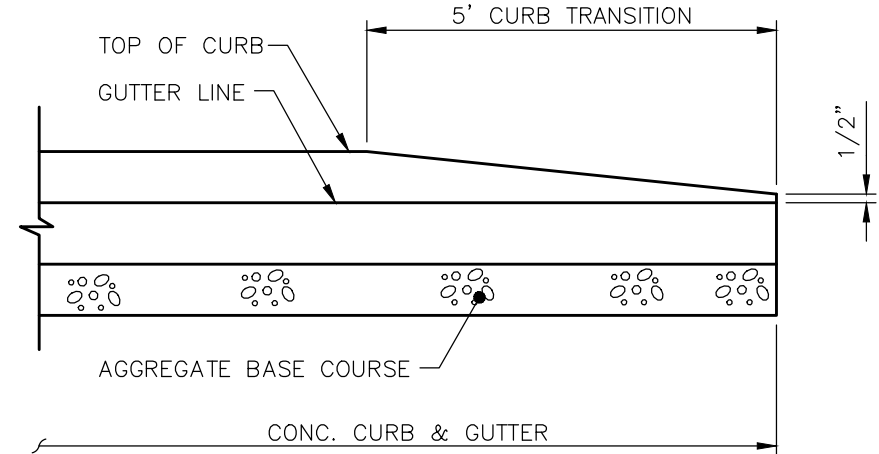


NOTE: WHERE WALK DOES NOT ABUTT ASPHALT PAVEMENT, EXTEND THICKNESS FOR REQUIRED WIDTH AND OMIT CURB PORTION. CONTRACTION JOINTS TO BE 2 1/2" DEEP, SPACED AT 5' INTERVALS (TOOLED). EXPANSION JOINTS TO BE 1/2" PREMOLDED FILLER, SPACED A MAXIMUM OF 30' APART.

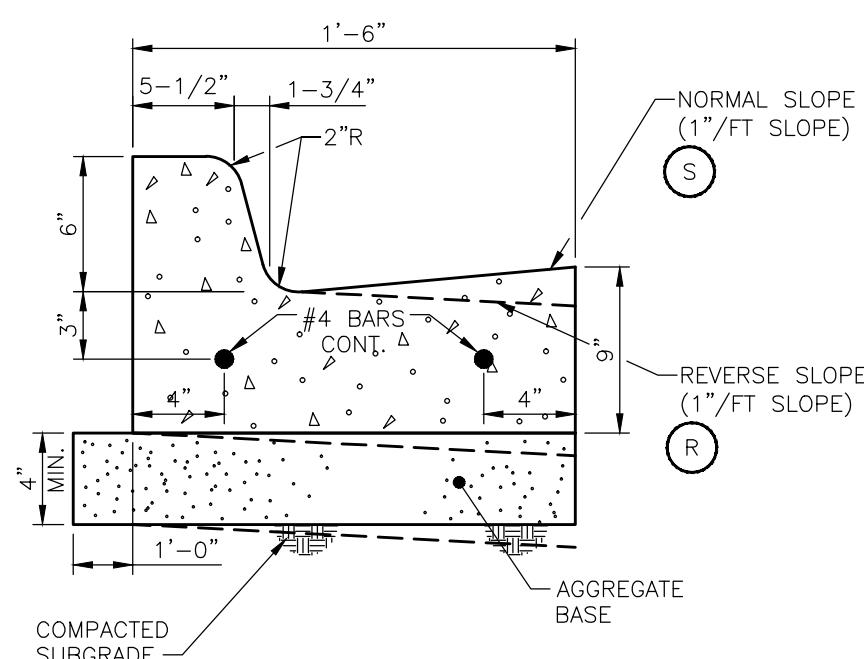
**CONCRETE CURB WALK**  
NO SCALE



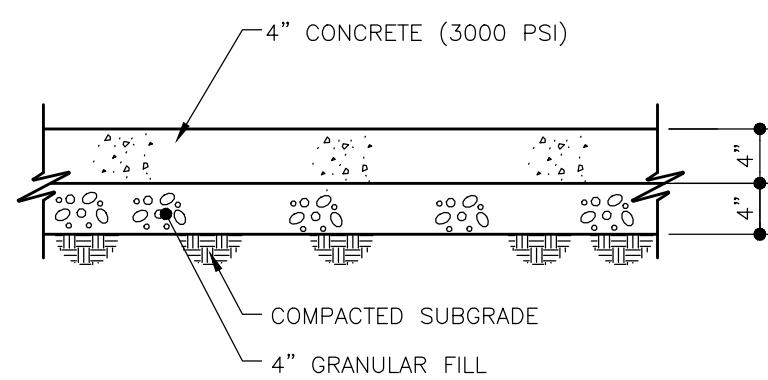
**TURNDOWN PAVEMENT SECTION**  
NO SCALE



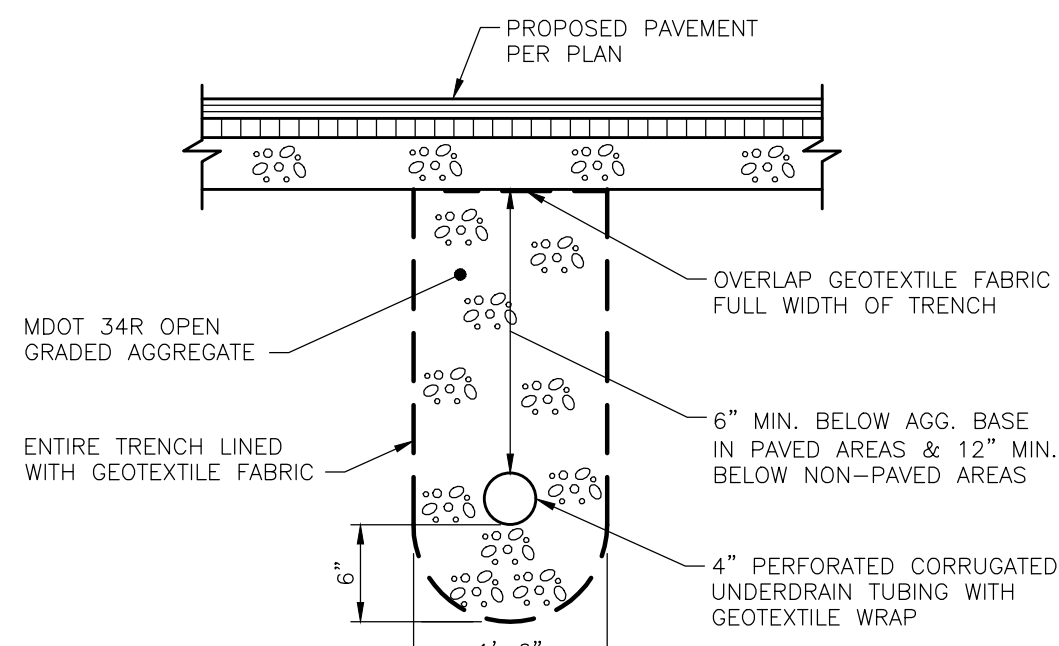
**TYPICAL CURB END TRANSITION**  
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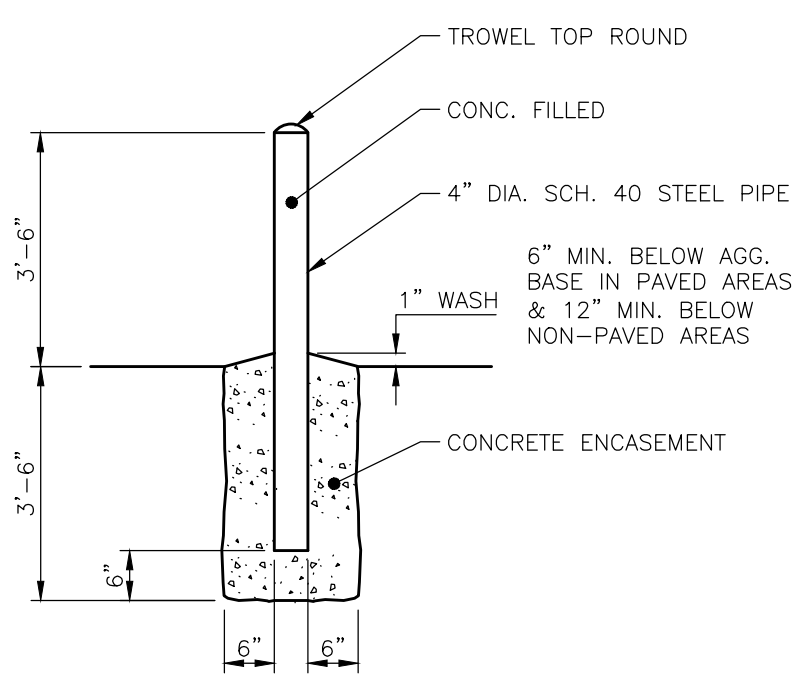
**CONC. CURB & GUTTER**  
NO SCALE



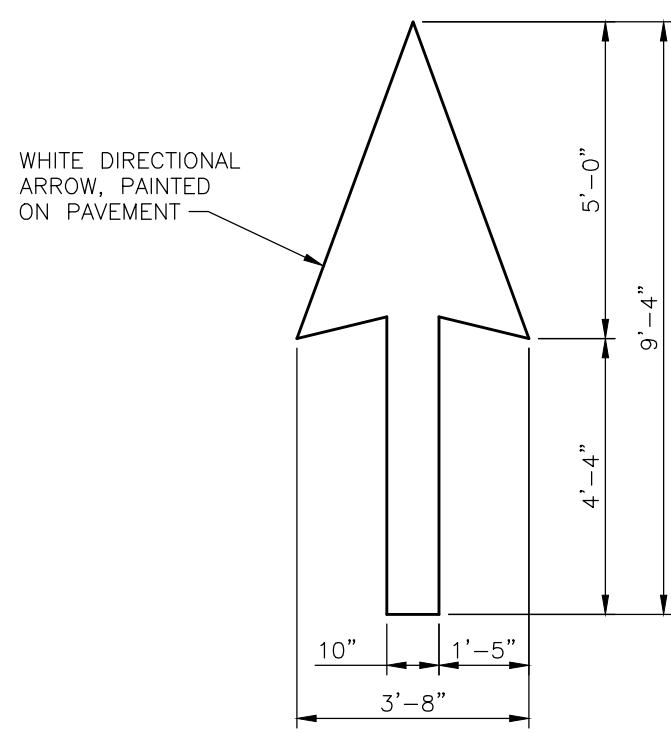
**CONCRETE WALK**  
NO SCALE



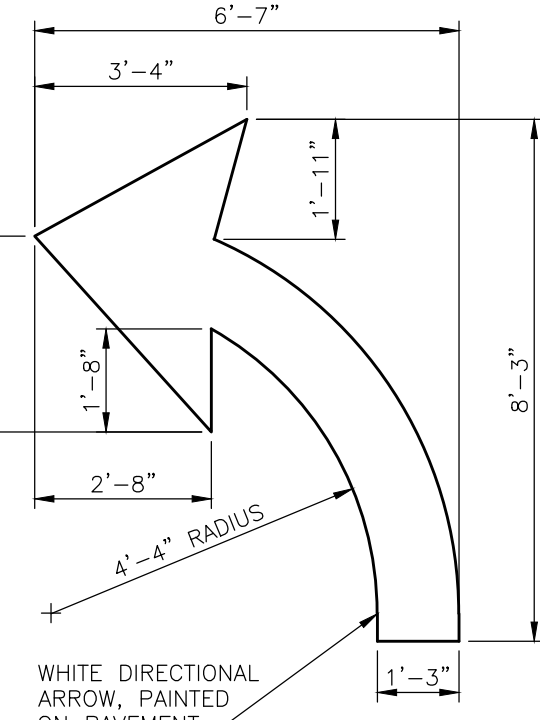
**UNDERDRAIN**  
NO SCALE



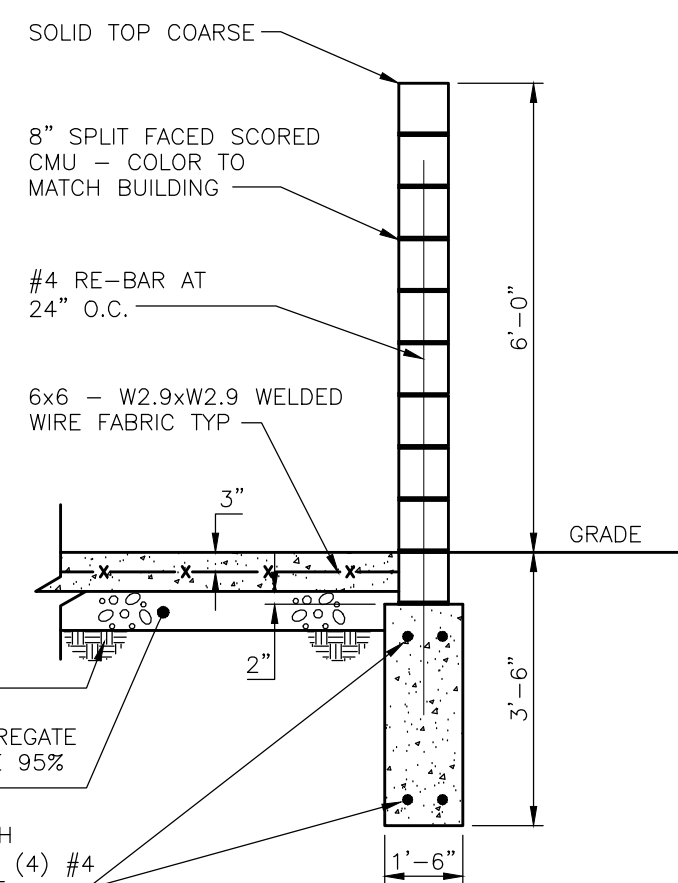
**BOLLARD**  
NO SCALE



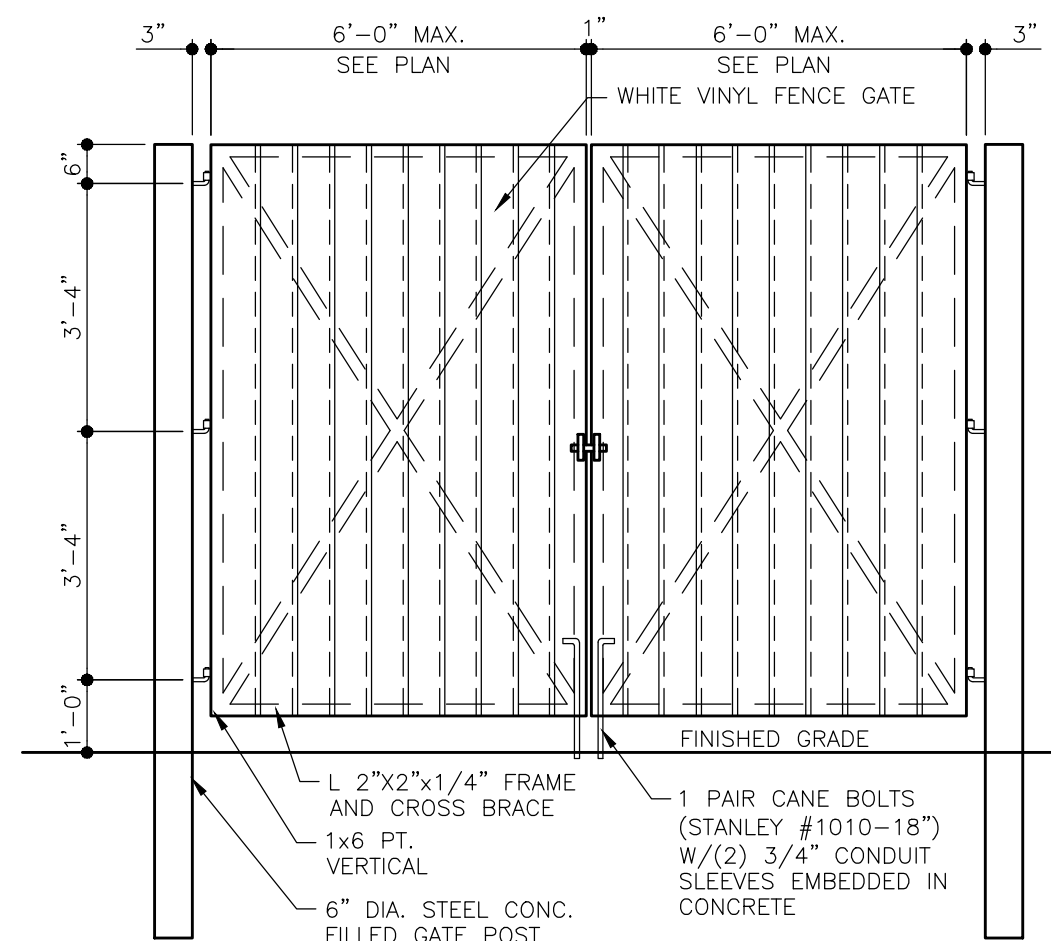
**STRAIGHT DIRECTIONAL ARROW**  
NO SCALE



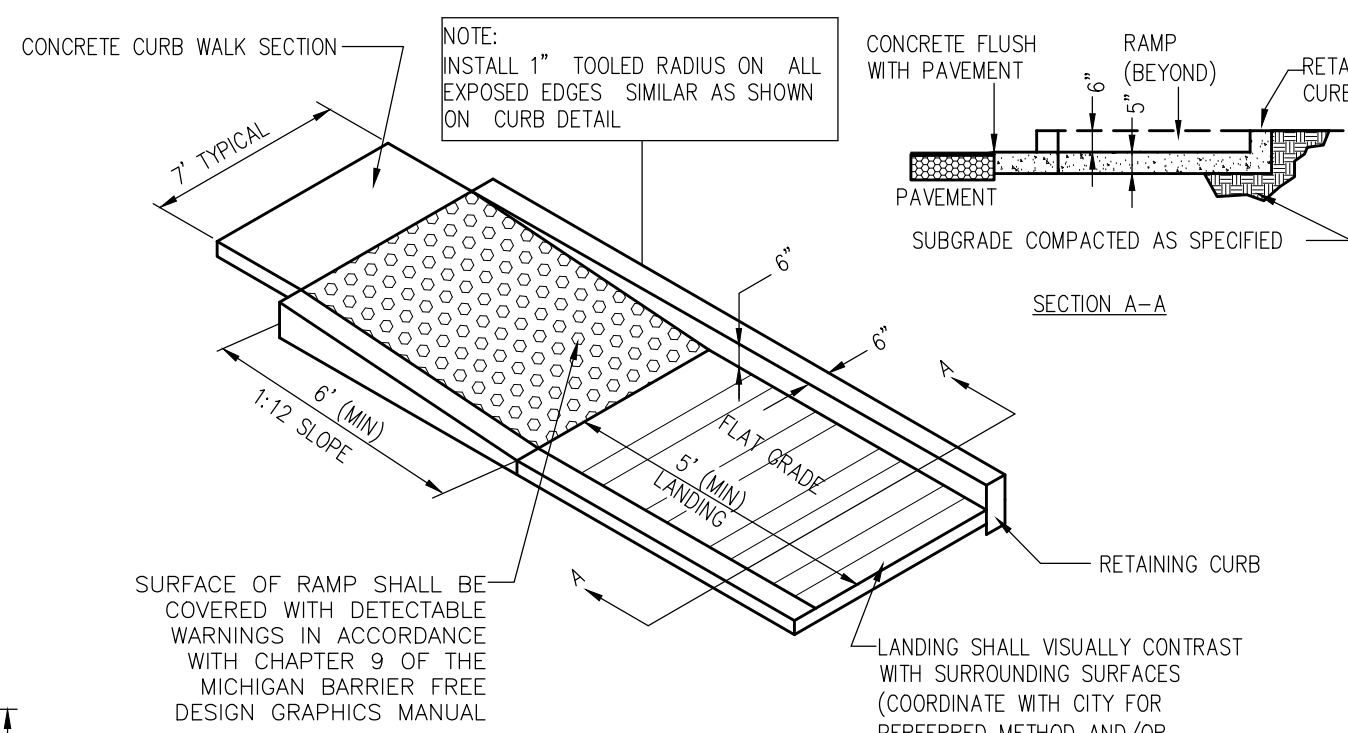
**TURN DIRECTIONAL ARROW**  
NO SCALE



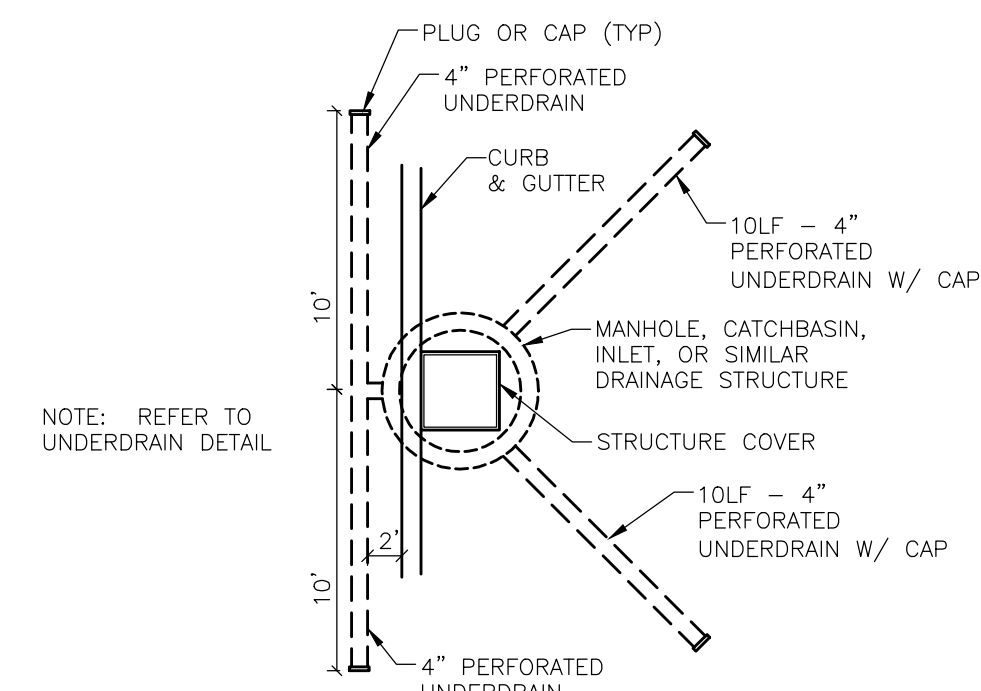
**DUMPSTER WALL**  
NO SCALE



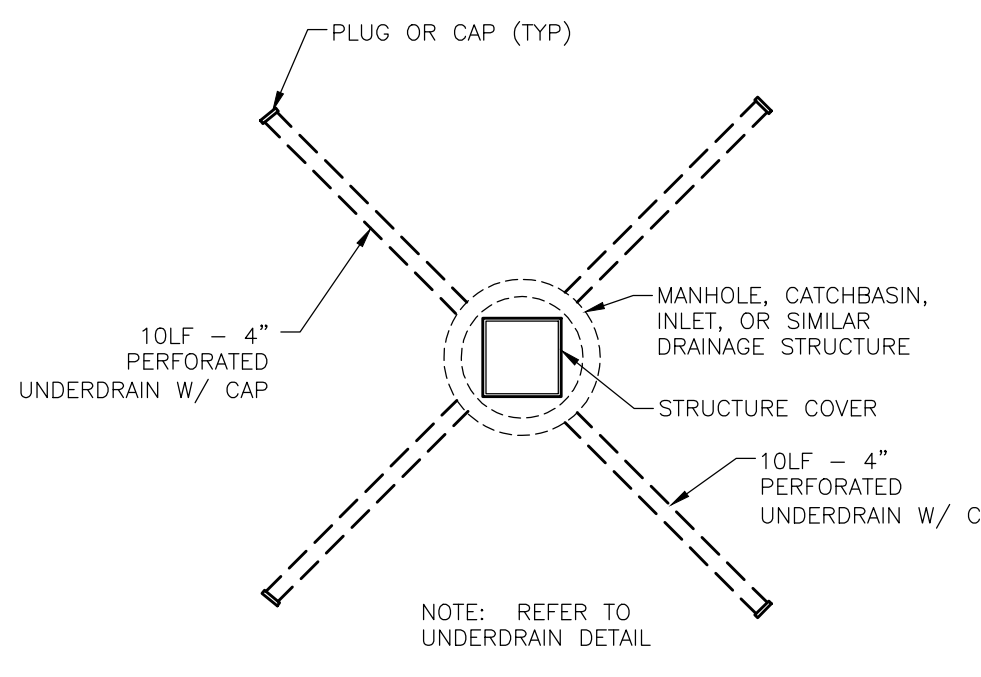
**DUMPSTER GATE DETAIL**  
NO SCALE



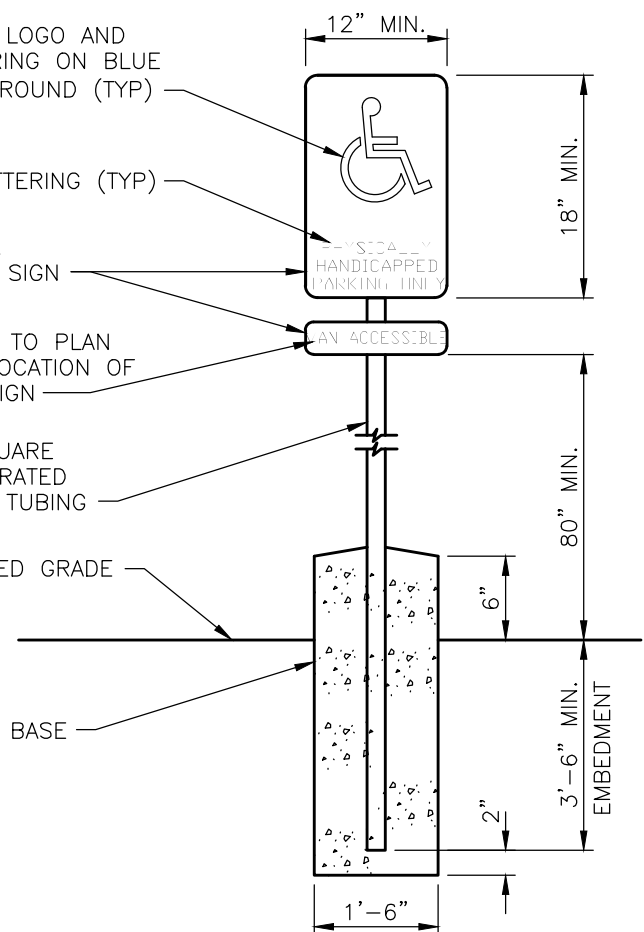
**BARRIER FREE RAMP**  
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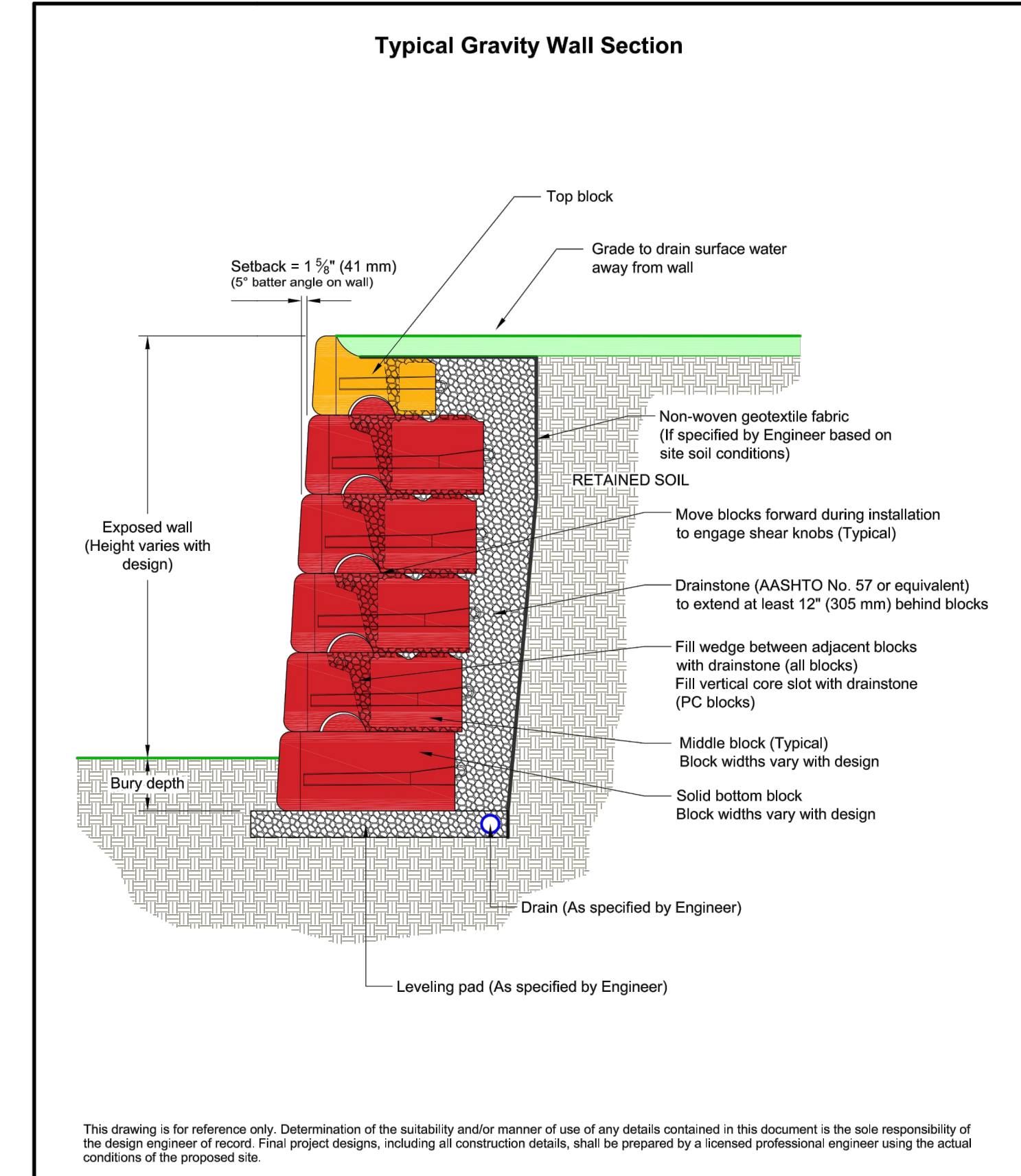
**TYP CURB CATCH BASIN UNDERDRAIN**  
NO SCALE



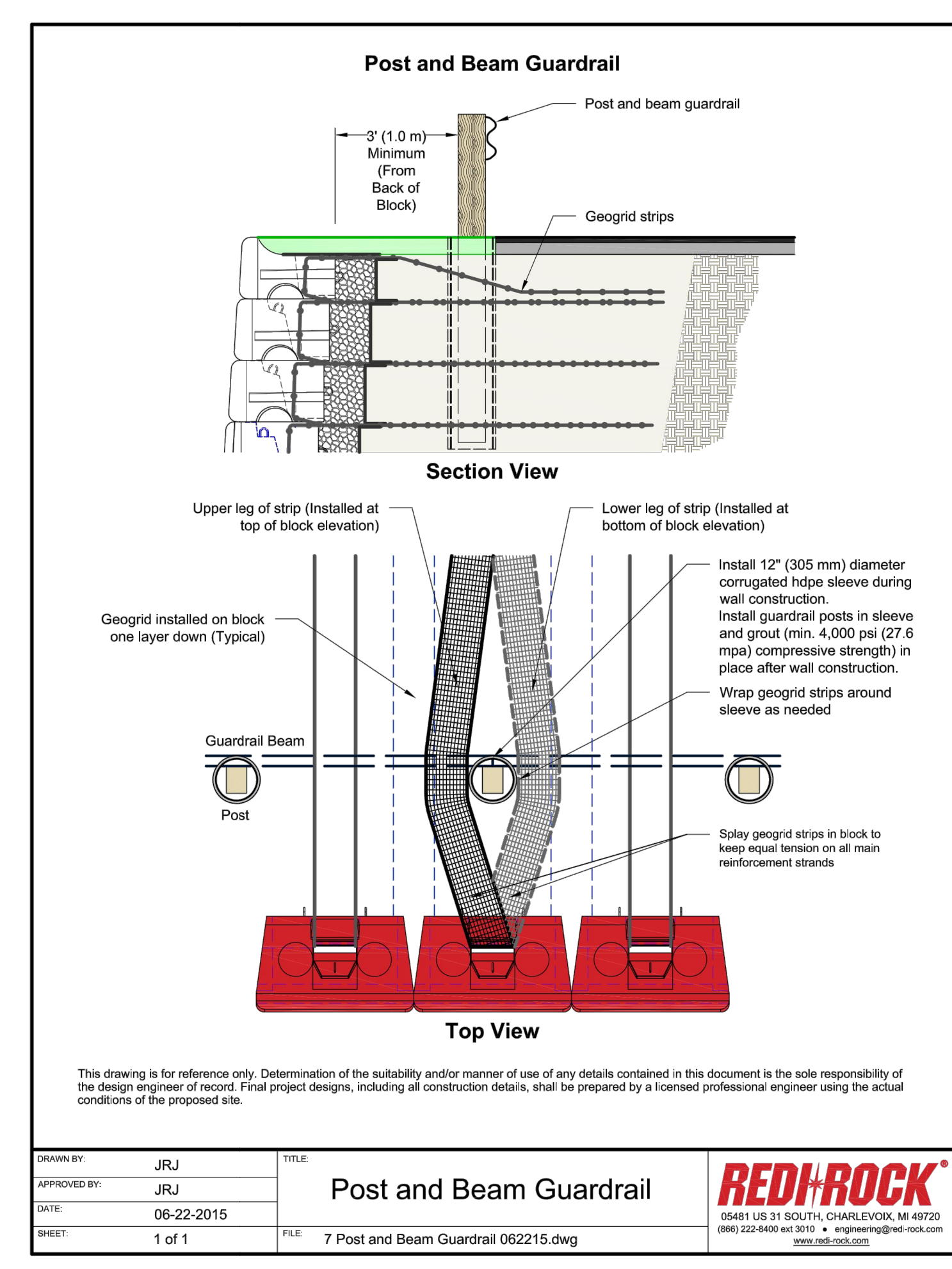
**TYP CURB CATCH BASIN UNDERDRAIN**  
NO SCALE



**TYPICAL HANDICAP SIGN**  
NO SCALE



DRAWN BY: JRJ	TITLE: Typical Gravity Wall Detail	REDI-ROCK
APPROVED BY: JRJ	DATE: 17MAR2016	05481 US 31 SOUTH, CHARLEVILLE, MA 01820
SHEET: 1 of 1	FILE: 1 Typical Gravity Wall Detail 031716.dwg	(866) 222-8400 ext 3010 • engineering@redi-rock.com



DRAWN BY: JRJ	TITLE: Post and Beam Guardrail	REDI-ROCK
APPROVED BY: JRJ	DATE: 06-22-2015	05481 US 31 SOUTH, CHARLEVILLE, MA 01820
SHEET: 1 of 1	FILE: 7 Post and Beam Guardrail 062215.dwg	(866) 222-8400 ext 3010 • engineering@redi-rock.com

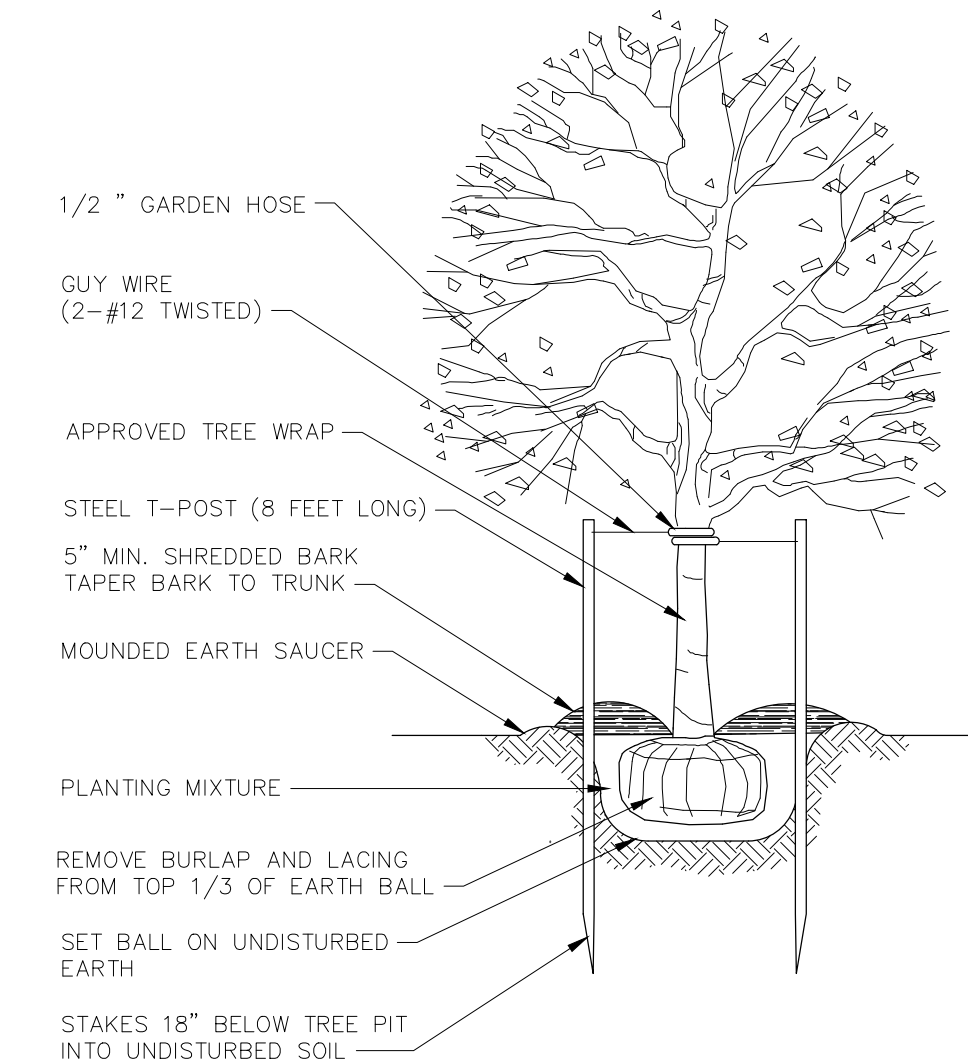
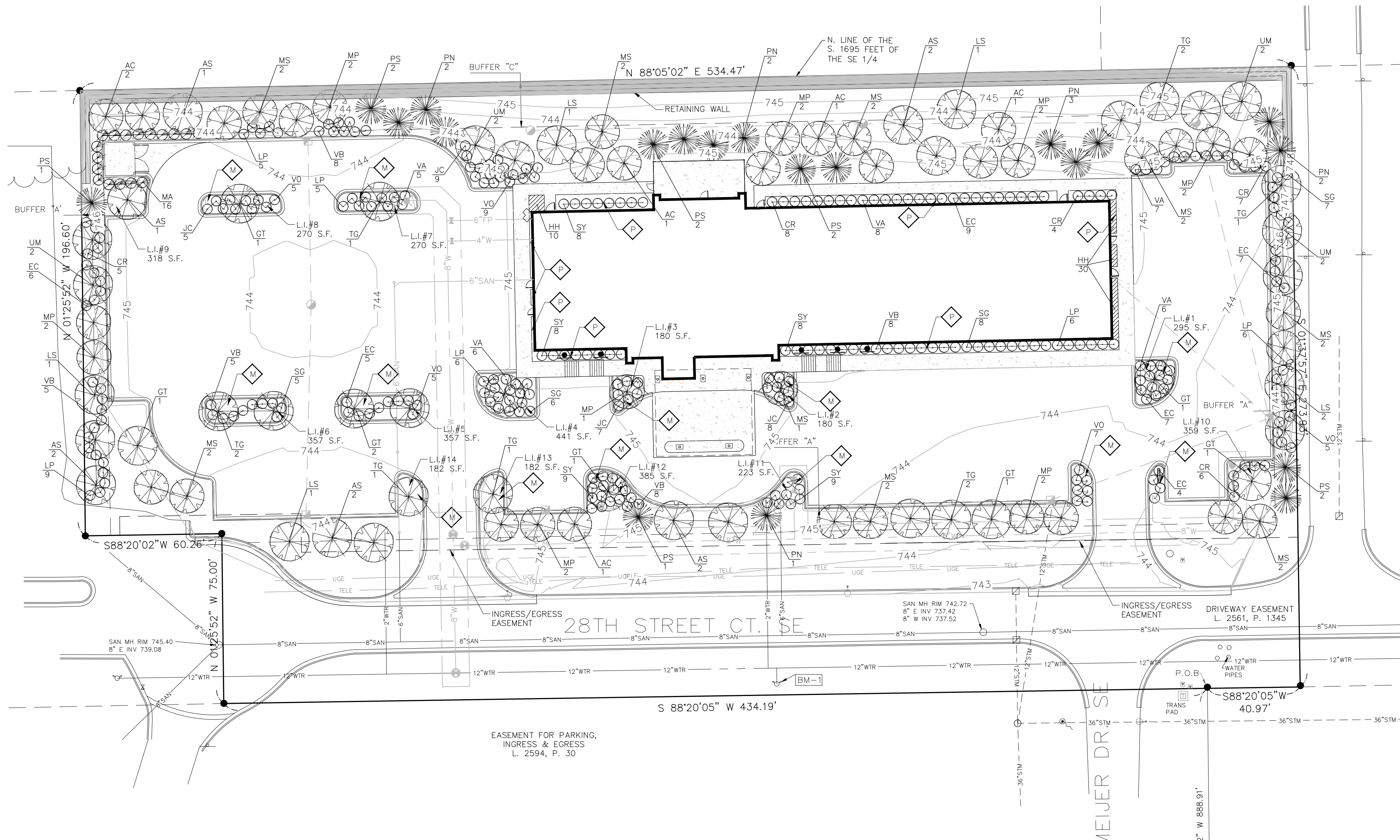
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Architecture | Engineering | Interior Design  
10775 S. Saginaw St. Suite B  
Grand Blanc, MI 48439  
(PH) 810.695.0793  
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WE HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MICHIGAN. I AM NOT PROVIDING ENGINEERING SERVICES IN ANY OTHER STATE. I AM NOT PROVIDING ARCHITECTURAL SERVICES IN ANY STATE. I AM NOT PROVIDING INTERIOR DESIGN SERVICES IN ANY STATE. I AM NOT PROVIDING ANY OTHER PROFESSIONAL SERVICES IN ANY STATE. I AM NOT PROVIDING ANY OTHER PROFESSIONAL SERVICES IN ANY STATE. I AM NOT PROVIDING ANY OTHER PROFESSIONAL SERVICES IN ANY STATE.

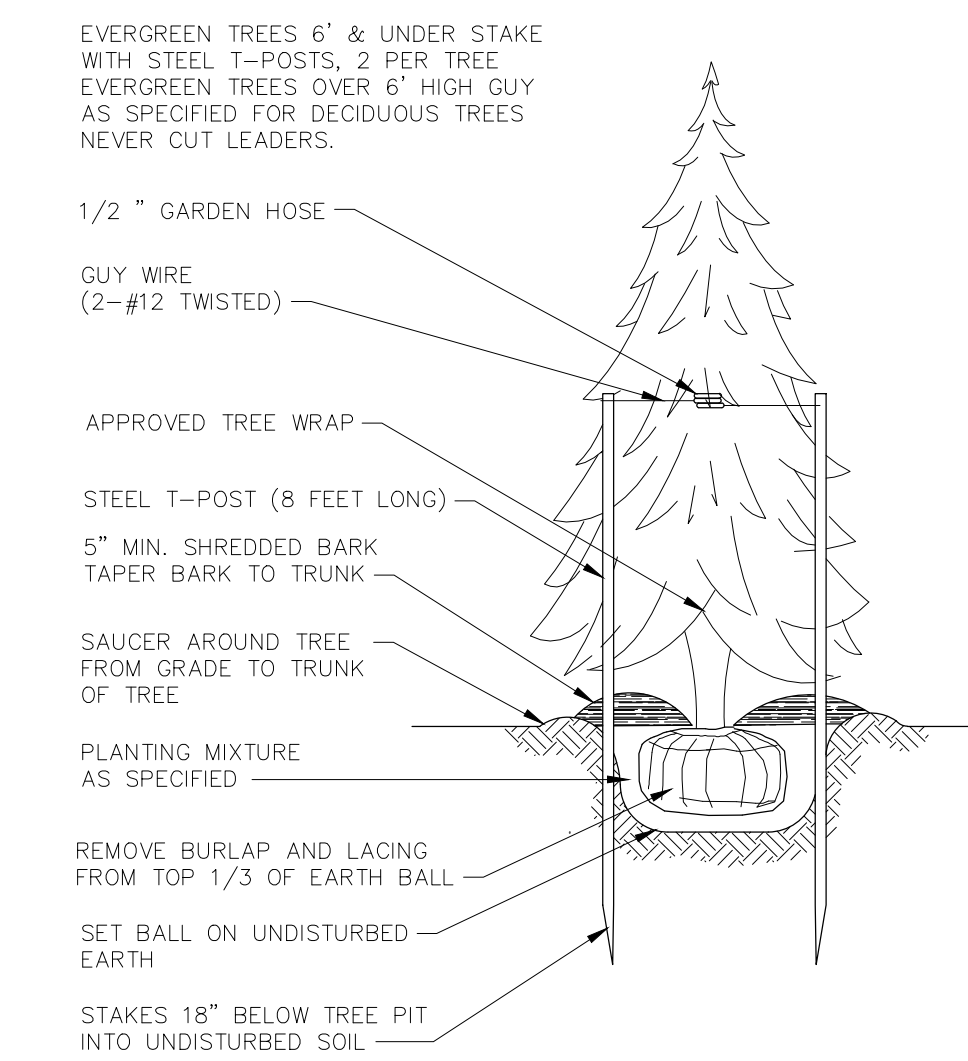
ISSUED FOR	DATE
SFA	04/28/16
SFA	05/25/16
SFA	08/04/16
DATE:	
DRAWN BY: ACA	
CHECKED BY: JT	
SCALE: NTS	
JOB NO: BD-15-319	
SHEET TITLE: SITE DETAILS	
SHEET	

**C6.0**



**DECIDUOUS TREE PLANTING**

SCALE: NONE

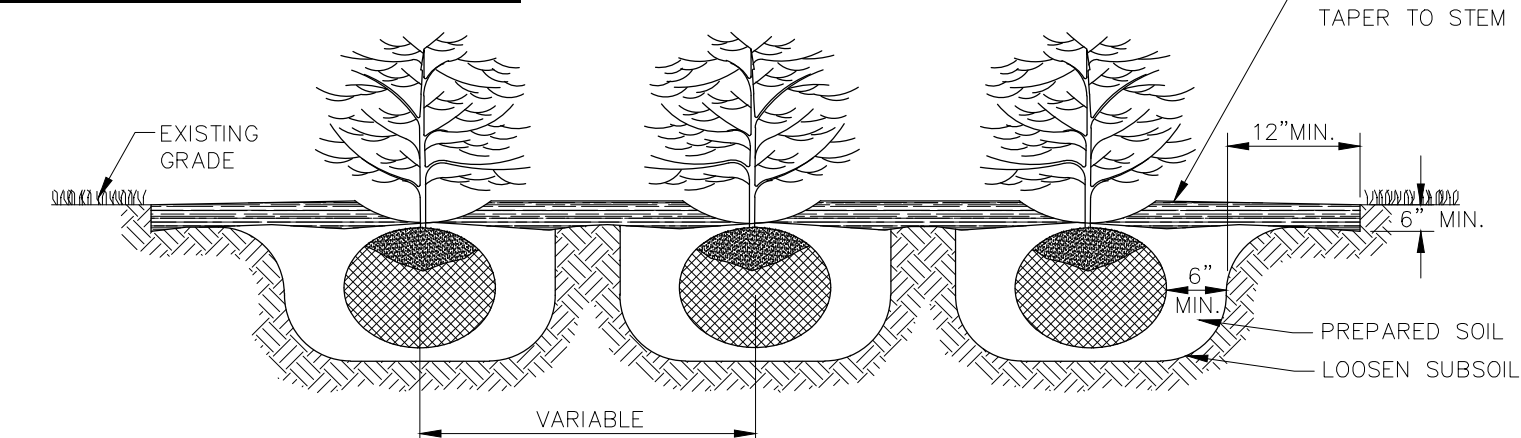


**EVERGREEN TREE PLANTING**

SCALE: NONE

**PLANTING SCHEDULE**

QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
40	HH	HEMERCALUS HYPERION	HYPERION DAYLILY	2YD #2 CONT
8	GT	GLEDITSIA T.I. 'SKYLINE'	SKYLINE HONEYLOCUST	2-1/2" B&B
10	TG	TILIA CORDATA 'GREENSPIRE'	GREEN MOUNTAIN LINDEN	2-1/2" B&B
8	UM	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE AMERICAN ELM	2-1/2" B&B
6	LS	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2-1/2" B&B
10	AS	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGER MAPLE	2-1/2" B&B
17	MS	MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2" B&B
15	MP	MALUS 'PRAIREFIRE'	PRAIRIFIRE CRABAPPLE	2" B&B
6	AC	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	2" B&B
16	MA	THUJA OCCIDENTALIS 'TECHNY'	MISSION ARBORVITAE	4" HT
10	PN	PINUS NIGRA	AUSTRIAN PINE	6" HT
10	PS	PICEA OMORIKA	SERBIAN SPRUCE	6" HT
31	VO	VIBURNUM OPULUS 'COMPACTUM'	COMPACT EUROPEAN CRANBERRY BUSH	24" B&B
32	VA	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	24" B&B
34	VB	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN ARROWWOOD VIBURNUM	24" B&B
37	LP	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA	24" B&B
26	SG	SPIRAEA JAPONICA 'GOLDFLAME'	GOLDFLAME SPIRAEA	24" B&B
32	EC	EUONYMUS ALATUS 'COMPACTUM'	DWARF BURNING BUSH	24" B&B
30	CR	CORNUS SERICEA 'STOLONIFERA'	RED OSIER DOGWOOD	24" B&B
42	SY	TAXUS X MEDIA 'SEBIAN'	SEBIAN YEW	24" B&B
29	JC	JUNIPERUS C. 'SEAGREEN'	SEA GREEN JUNIPER	24" B&B



—FIRST AND SECOND WATERING AND CULTIVATION SHALL INCLUDE SHRUB BEDS.  
 —CUT 6" x 12" (MIN.) EDGING AROUND THE PERIMETER OF ALL SHRUB BEDS SHOWN ON THE PLANS. SPRAY A NON-PERSISTANT GLYPHOSATE HERBICIDE TO ENTIRE SHRUB BEDS PRIOR TO PLANTING AND BARK PLACEMENT.  
 —SHRUB BEDS ARE TO BE PAID FOR BY THE PAY ITEM 'SITE PREPARATION'.  
 —ALL PLANTS SHALL BE SET PLUMB AND HAVE THE BEST SIDE OF PLANT FACING THE MAIN VIEWING DIRECTION.

**SHRUB BED DETAIL**

SCALE: NONE

- KEY NOTES**
- M MULCH (SHREDDED BARK) 5" DEPTH
  - P 3" LAYER OF WALNUT PEBBLES (1/2" - 1") UNDERLAIN W/ WEED BARRIER

- GENERAL NOTES**
- CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF UNDERGROUND IRRIGATION SYSTEM IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND REGULATORY AGENCY REQUIREMENTS. ALL LANDSCAPING AND GRASS AREAS TO BE IRRIGATED. IRRIGATION CONTROL PANEL SHALL BE LOCATED WITHIN THE HVAC ENCLOSURE.
  - ALL GREEN SPACES AND PLANTING AREAS SHALL BE IRRIGATED.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION.
  - REFER TO PLUMBING PLANS FOR LOCATION OF IRRIGATION METER.
  - ALL GRASS/LAWN AREAS SHALL BE SOD OVER 4-INCHES OF TOPSOIL.
  - SPACE ALL SHRUBS AT 5-FOOT ON CENTER UNLESS OTHERWISE INDICATED ON THE PLANS.
  - ALL DISTURBED LAWN AREAS SHALL BE RESTORED TO AT LEAST PREVIOUS CONDITION IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
  - THE GENERAL CONTRACTOR SHALL INCLUDE TOPSOIL IN BASE BID. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE AMOUNT OF TOPSOIL AVAILABLE ON-SITE.

**INTERIOR LANDSCAPING**  
 REQUIRED  
 30 S.F. PER PARKING SPACE  
 PARKING SPACES = 124  
 REQUIRED = 124 \* 30 = 3,720 S.F.  
 PROVIDED  
 PROVIDED = 3,999 S.F.

**BUFFER LANDSCAPING**  
 EAST SIDE - BUFFERYARD "A"  
 BUFFER LENGTH = 273.93'  
 REQUIREMENT  
 MIN. WIDTH = 10'  
 CANOPY TREE = 1 / 100LF  
 UNDERSTORY TREE = 2 / 100LF  
 SHRUBS = N/A  
 EVERGREEN = N/A  
 REQUIREMENT  
 CANOPY = 273.93 / 100 = 2.7 = 3  
 UNDERSTORY = (273.93 / 100) \* 2 = 6  
 PROVIDED  
 CANOPY = 5  
 UNDERSTORY = 2  
 SHRUBS = 25  
 EVERGREEN = 4

**BUFFER LANDSCAPING**  
 SOUTH SIDE - BUFFERYARD "A"  
 BUFFER LENGTH = 535.42'  
 REQUIREMENT  
 MIN. WIDTH = 10'  
 CANOPY TREE = 1 / 100LF  
 UNDERSTORY TREE = 2 / 100LF  
 SHRUBS = N/A  
 EVERGREEN = N/A  
 REQUIREMENT  
 CANOPY = 535.42 / 100 = 5.4 = 5  
 UNDERSTORY = (535.42 / 100) \* 2 = 11  
 PROVIDED  
 CANOPY = 7  
 UNDERSTORY = 11  
 EVERGREEN = 2

**REAR YARD (NORTH) - BUFFERYARD "C"**  
 BUFFER LENGTH = 534.47'  
 REQUIREMENT  
 MIN. WIDTH = 20'  
 CANOPY TREE = 2 / 100LF  
 UNDERSTORY TREE = 4 / 100LF  
 SHRUBS = 6  
 EVERGREEN = N/A  
 REQUIREMENT  
 CANOPY = (534.47 / 100) \* 2 = 10.6 = 11  
 UNDERSTORY = (534.47 / 100) \* 4 = 21  
 SHRUBS = (534.47 / 100) \* 6 = 32  
 PROVIDED  
 CANOPY = 11  
 UNDERSTORY = 21  
 SHRUBS = 45  
 EVERGREEN = 13

THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

**DESCRIPTION**  
 THIS WORK SHALL CONSIST OF PROVIDING ALL NECESSARY MATERIALS, LABOR, EQUIPMENT, TOOLS AND SUPERVISION REQUIRED FOR THE EXECUTION AND GUARANTEE OF ALL PLANTINGS AND RELATED WORK AS SHOWN ON THE DRAWINGS.

PLANT MATERIALS SHALL CONFORM TO THE SIZES STATED ON THE PLANT LIST AND SHALL BE OF A MINIMUM SIZE OR LARGER. ALL MEASUREMENTS OF SPREAD, CALIPER, BALL SIZE, TRUNK CROWN RATIO, QUALITY DESIGNATIONS, ETC., SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "ANSI STANDARDS FOR NURSERY STOCK". PLANT MATERIAL SHALL BE NURSERY GROWN AND INSPECTED BY THE OWNER'S REPRESENTATIVE AT THE SITE PRIOR TO PLANTING. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT ANY TIME.

NURSERY STOCK SHALL BE PREPARED FOR SHIPMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT ANSI SPECIFICATION Z60.1 AND SHALL BE ENCLOSED OR COVERED DURING TRANSPORTATION TO PREVENT DRYING.

**SITE PREPARATION**  
 THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND PROTECT AND REPAIR UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

INDIVIDUAL HOLES SHALL BE CENTERED AT STAKED PLANT LOCATIONS. CONTRACTOR IS TO STAKE PRIOR TO PLACEMENT OF PLANT MATERIAL AND OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE. PLANTING HOLES SHALL BE DUG LARGE ENOUGH TO PERMIT PLACING PREPARED TOPSOIL 18" LATERALLY BEYOND THE ENDS OF THE ROOT BALLS FOR SHADE AND EVERGREEN TREES AND 6" LATERALLY FOR SHRUBS UNLESS OTHERWISE SPECIFIED.

EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AT THE TIME THE HOLE IS DUG. THE PLANTING HOLE SHALL BE BACKFILLED WITH PREPARED TOPSOIL THE SAME DAY THEY ARE DUG.

TOPSOIL SHALL AT FERTILE, FRIABLE NATURAL TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.0 TO 7.0. TOPSOIL SHALL BE FREE OF CLAY LUMPS, COARSE SAND, STONES, PLANT ROOTS, STICKS OR OTHER FOREIGN MATTER.

**CARE FOR PLANTS BEFORE PLANTING**  
 PLANTS DESIGNATED "BB" SHALL BE BALLED AND BURLAPPED WITH FIRM NATURAL BALLS OF EARTH. CRACKED, LOOSEENED OR BROKEN BALLS SHALL NOT BE PLANTED. THEY SHALL BE MARKED WITH SPRAY PAINT AND IMMEDIATELY REMOVED FROM THE JOB SITE. IMMEDIATELY FOLLOWING DELIVERY AT THE JOB SITE, ALL PLANTS THAT WILL NOT BE PLANTED THAT SAME DAY SHALL BE "HEELED IN" WITH SHREDDED BARK OR MOIST SOIL AND KEPT MOIST UNTIL PLANTED.

THE TRUNKS AND BRANCHES OF ALL TREES SHALL BE PROTECTED FROM INJURY OF ANY KIND DURING ALL OPERATIONS. THE OWNER'S REPRESENTATIVE SHALL REJECT ANY TREES THAT ARE INJURED.

**PLANTING**  
 THE CONTRACTOR IS RESPONSIBLE FOR PLANTING MATERIALS PLUMB. SET THE TOP OF THE ROOT BALL AT OR SLIGHTLY HIGHER THAN THE SURROUNDING GRADE. PLANTS SHALL BE FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT STRUCTURES. NO FILLING WILL BE PERMITTED AROUND TRUNK OR STEMS. WHEN THE PLANT HAS BEEN PROPERLY SET, THE HOLE SHALL BE BACKFILLED TO 1/2 THE DEPTH OF THE BALL WITH PREPARED TOPSOIL MIXTURE, FIRMLY PACKED AND WATERED-IN AT TIME OF PLANTING. LOOSED AND REMOVE BURLAP AND LACING FROM UPPER 1/3 OF THE ROOT BALL. BACKFILL WITH PREPARED TOPSOIL, WHICH AFTER COMPACTION IS FLUSH WITH THE SURROUNDING GROUND.

**MULCHING**  
 ALL PLANT MATERIAL SHALL BE ENRICHED WITH A 5" MINIMUM COVERING OF NON-DYED SHREDDED BARK MULCH TO 6" OUTSIDE THE PLANTING HOLE, TAPERING MULCH TO 2" AROUND THE TRUNK OF ALL PLANTS. SUBMIT SAMPLE TO THE OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE PLACEMENT. WOOD CHIPS SHALL NOT BE ALLOWED ON THIS JOB. MULCH SHALL BE TREATED WITH PRE-EMERGENT HERBICIDE.

**WRAPPING DECIDUOUS TREES**  
 TREE WRAP SHALL COVER TRUNKS OF ALL DECIDUOUS TREES BEGINNING BELOW THE SOIL LINE JUST ABOVE THE ROOTS. TIE WITH TWINE IN 5 PLACES, INCLUDING THE TOP AND BOTTOM OF WRAPPING. MASKING TAPE OR WIRE WILL NOT BE ALLOWED.

**BRACING AND GUYING**  
 GUYING SHALL BE EMPLOYED TO PREVENT LEANING OR LOOSENING OF THE TREE FROM THE BALL. BRACING MATERIAL SHALL BE T-POSTS PAINTED GREEN. GUYING MATERIAL SHALL BE 12 GAUGE WIRE AND GARDEN HOSE 1/2 INCH DIAMETER. GUY WIRE SHALL BE ENCASED IN HOSE TO PREVENT DIRECT CONTACT WITH THE TREE. DECIDUOUS TREES SHALL BE BRACED OR GUYED IMMEDIATELY AFTER THE TREE WRAPPING IS COMPLETE.

**STEEL LANDSCAPE EDGING**  
 4" STEEL LANDSCAPE EDGING SHALL BE USED ON THIS PROJECT. ALUMINUM OR PLASTIC EDGING WILL NOT BE ALLOWED.

**PRUNING**  
 UPON COMPLETION, ALL PLANT MATERIAL MUST BE PRUNED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPANTING. ALL CUTS SHALL BE MADE FLUSH LEAVING NOT STUBS. PRUNING PAINT SHALL NOT BE USED.

**FINISHING AND CLEANING UP**  
 IMMEDIATELY UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN UP THE AREA OF SURPLUS MATERIALS. THE CONTRACTOR SHALL REPAIR AND RE-ESTABLISH TURF IN RUTTED AREAS.

**WARRANTY**  
 THE LANDSCAPE INSTALLATION CONTRACTOR SHALL REPLACE ALL UNHEALTHY VEGETATION AND PLANTINGS WITHIN ONE (1) YEAR OF INITIAL PLANTING OR SUBSEQUENT PLANTING PERIOD.

**bde**  
 Bud Design & Engineering Services, Inc.  
 Architecture | Engineering | Interior Design  
 10775 S. Saginaw St., Suite B  
 Grand Blanc, MI 48439  
 (PH) 810.695.0793  
 (FAX) 810.695.0569  
 Web: www.budesign.com

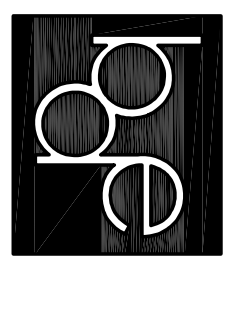
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 28TH STREET CT. SE  
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

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**ISSUED FOR** DATE  
**SPA** 04/28/16  
**SPA** 05/25/16  
**SPA** 08/04/16

DATE: \_\_\_\_\_  
 DRAWN: ACA  
 CHECKED: JT  
 SCALE: 1"=30'  
 JOB NO: BD-15-319  
 SHEET TITLE: **LANDSCAPE PLAN AND DETAILS**  
 SHEET **L1.0**

**811**  
 Know what's below.  
 Call before you dig.  
 0' 30' 60' 90'  
 SCALE: 1" = 30'



**Bud Design & Engineering Services, Inc.**  
 12025 S. University Ave. #100  
 Grand Haven, MI 49424  
 PH: 616.855.5793  
 FAX: 616.855.5299  
 WWW: www.buddesign.com

**HOLIDAY INN EXPRESS & SUITES**  
 5375 28th STREET  
 CASCADE TOWNSHIP, MI

CONTRACTOR SHALL FIELD  
 ALL CONDITIONS REPORT TO ALL  
 CONDITIONS REPORT TO ALL  
 CONDITIONS REPORT TO ALL  
 CONDITIONS REPORT TO ALL

**ISSUED FOR DATE**  
 BVA 04/28/16

**REVISIONS**

NO.	DATE	DESCRIPTION
1	04/28/16	ISSUED FOR PERMITS

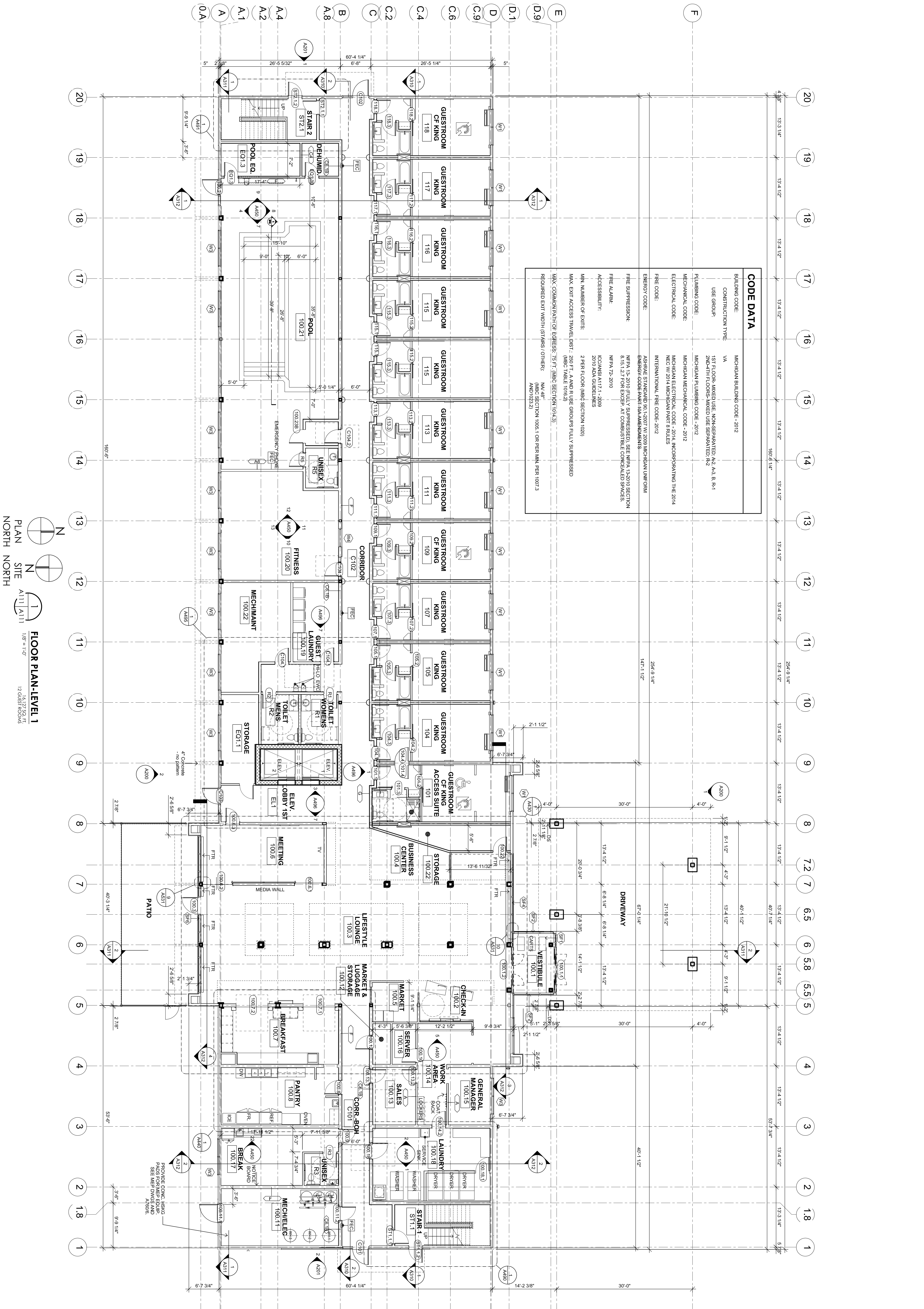
**PROJECT TITLE:**  
 FLOOR PLAN-LEVEL 1

**SCALE:**  
 1/8" = 1'-0"

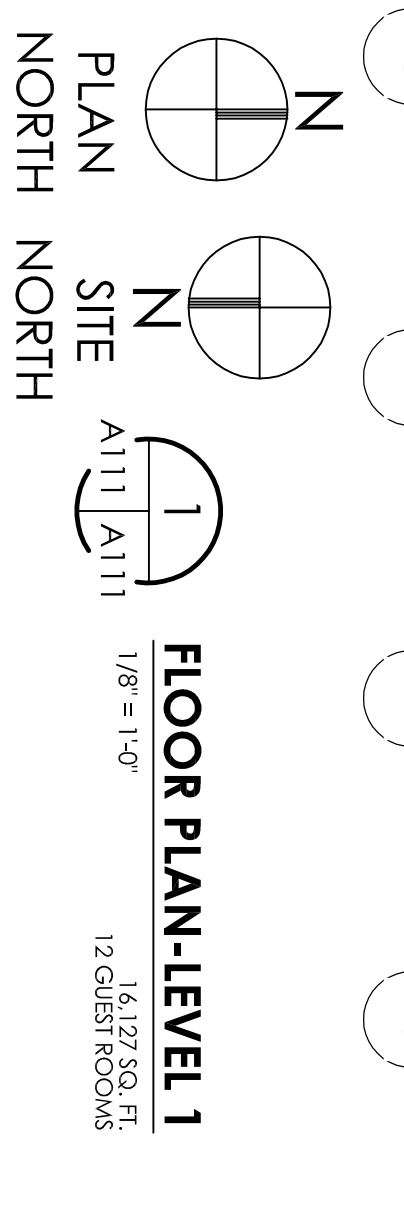
**DATE:**  
 04/28/16

**PROJECT NO.:**  
 16-00-000

**SHEET:**  
**A111**



CODE DATA	
BUILDING CODE:	MICHIGAN BUILDING CODE - 2012
CONSTRUCTION TYPE:	VA
USE GROUP:	151 FLOOR-MAKED USE, NONSEPARATED, A-2, A-3, B, R-1 2ND-4TH FLOORS-MAKED USE, SEPARATED, R-2
PLUMBING CODE:	MICHIGAN PLUMBING CODE - 2012
MECHANICAL CODE:	MICHIGAN MECHANICAL CODE - 2012
ELECTRICAL CODE:	MICHIGAN ELECTRICAL CODE - 2014, INCORPORATING THE 2014 NEC BY 2014 MICHIGAN PART 9 TABLES
FIRE CODE:	INTERNATIONAL FIRE CODE - 2012
ENERGY CODE:	ASHRAE STANDARD 90.1-2007 W/ 2009 MICHIGAN UNIFORM ENERGY-CODE PART 404-AMENDMENTS
FIRE SUPPRESSION:	NFPA 13-2010 FULLY SUPPRESSED, SEE NFPA 13-2010 SECTION 8.15.1.2.7 FOR EXCEPT COMBUSTIBLE CONCEALED SPACES.
FIRE ALARM:	NFPA 72-2010
ACCESSIBILITY:	ICC ANS A117.1 - 2009 2010 ADA STANDARDS
MIN. NUMBER OF EXITS:	2 PER FLOOR (MBC SECTION 1020)
MAX. EXIT ACCESS TRAVEL DIST.:	250 FT., A AND R USE GROUPS FULLY SUPPRESSED (MBC TABLE 1016.2)
MAX. COMPONENTS OF EXITS:	75 FT. (MBC SECTION 1014.3)
REQUIRED EXIT WIDTH (STAIRS) OTHERS:	MIN. 44" (MBC SECTION 1005.1 OR PER MIN. PER 1007.3 AND 1002.3)



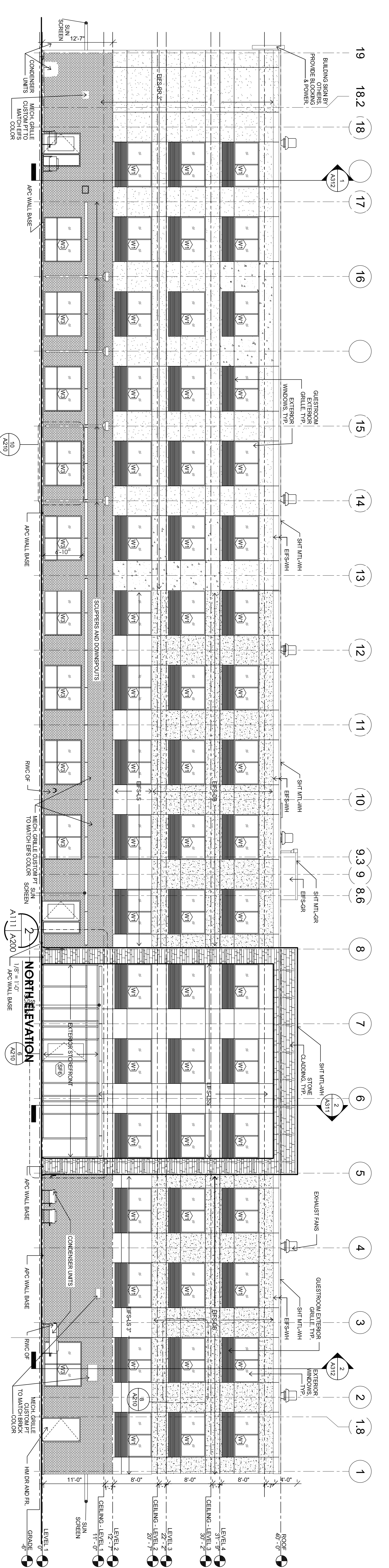
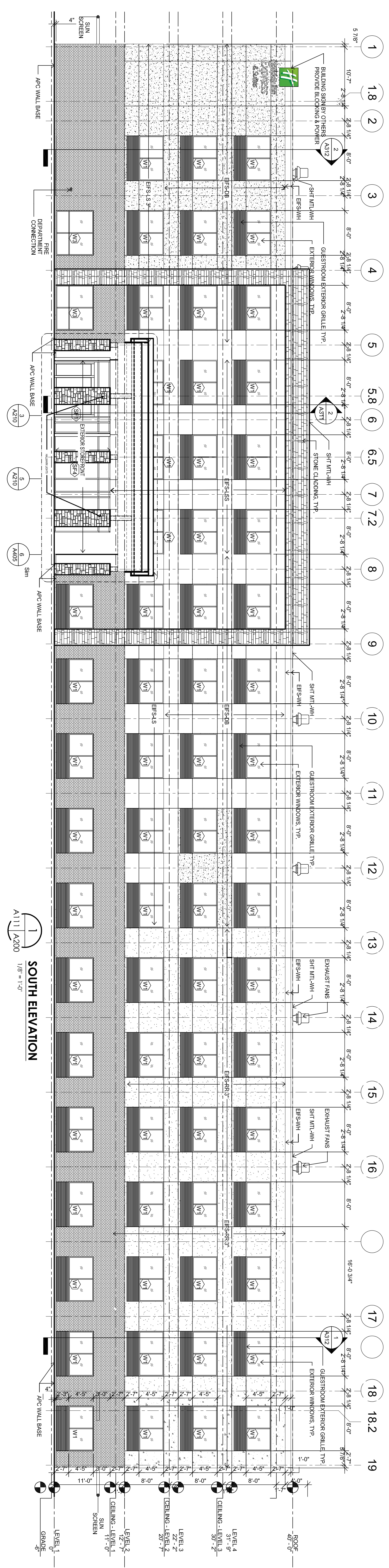


**CODE DATA**  
 BUILDING CODE: MICHIGAN BUILDING CODE 2012  
 USE GROUP: MIBED USE - REHABILITATED A2, A3, B, B-1  
 CONSTRUCTION TYPE: FULLY SUPPRESSED PER NFPA 13)

**EXTERIOR MATERIALS & LEGEND**  
 EXTERIOR WINDOWS: KAWNEER ENCORE 4 1/2" X 1 3/4" FINISH SYSTEM  
 KAWNEER ENCORE 4 1/2" X 1 3/4" FINISH SYSTEM  
 EXTERIOR INTERIOR STEPPED FRAMING AND ENTRANCE SANG COOR METAL PANEL SET  
 METAL PANEL SET  
 EXTERIOR INSULATED SHAPERS GLASS GL-05 (W/CON VET-50 WITH HIGH-CAPACITY INSULATED GLASS BRACERS CLEAR ANODIZED ALUMINUM INTERIOR CLEAR GLASS GL-1 (W/CON CLEAR FLUOR GLASS INTERIOR THERMALLY BROKEN GLASS BRACERS)  
 EPDM ROOF SYSTEM CARBLES BLACK EPDM 90 IN SURE SEAL COMPLETE WITH TREATED BARBER ROOF INSULATION WALKWAY PADS AND ROOF BOARDS  
 EXTERIOR INSULATED HOLLOW METAL DOORS AND FRAMES  
 EXTERIOR GRADE PAINT CUSTOM COLOR TO MATCH PLUMB ALUMINUM  
 APC WALL BASE  
 CLEAR SEALER  
 QUESTROOM EXTERIOR GRILLS  
 EXTERIOR STAIRWAY DOOR AND BLANK OFF BOOKING PANELS  
 COOR CLEAR ANODIZED ALUMINUM  
 STONE  
 BLEND  
 SHFT MTL-WH SHEET METAL GRAVEL STOP TYPE COPPING  
 APC-CLD CUSTOM FABRICATED ROOF EDGE FLASHING AND FASCIA  
 DOWNSPOUT  
 ELEVATOR OVERRAN GRAVEL STOP TYPE COPPING SCOPERS AND APC-CLD CUSTOM FABRICATED ROOF EDGE FLASHING AND FASCIA  
 COLOR SLATE GRAY  
 EPS NOTE: PROVIDE HIGH IMPACT SYSTEM WITHIN 6'-0" ABOVE GRADE

**COOL EXTERIOR SCHEME**  
 EPS-5 LIMESTONE SANDSTONE  
 PAKE TEXTURED MULTITEXURE SURFACE WITH POR ACRYLIC FINISH  
 PAKE SMOOTH SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 COOR PAKED MOUNTAIN 301L  
 EPS-5A DARK BRONZE  
 PAKE SMOOTH SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 COOR PAKED MOUNTAIN 301L  
 EPS-5B BRIGHT RED  
 PAKE SMOOTH SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 COOR PAKED MOUNTAIN 301L  
 EPS-5C WHITE  
 PAKE SMOOTH SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 COOR PAKED MOUNTAIN 301L  
 EPS-5D SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 PAKE SMOOTH SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 COOR PAKED MOUNTAIN 301L  
 EPS-5E SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 PAKE SMOOTH SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 COOR PAKED MOUNTAIN 301L

SUN SHADE: RUBINI RECTANGULAR TUBE BLADE SUNSHADE SYSTEM CLEAR ANODIZED ALUMINUM FINISH  
 ROOF HATCH: JL INDUSTRIES INDOOR-OUTDOOR ACCESS HATCH 30" x 48" WITH SAFETY RAILING  
 ENTRANCE CANOPY: STAINLESS SEAM METAL ROOF  
 PAKE SMOOTH SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 COOR PAKED MOUNTAIN 301L  
 PAKE SMOOTH SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 COOR PAKED MOUNTAIN 301L  
 ENTRANCE CANOPY: VENTED SOFFIT  
 PAKE SMOOTH SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 COOR PAKED MOUNTAIN 301L  
 ENTRANCE CANOPY: STEEL FRAME PAINT FINISH  
 PAKE SMOOTH SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 COOR PAKED MOUNTAIN 301L  
 ENTRANCE CANOPY: LAM W/CLD WOOD GRAIN PREFINISHED UNPREFRATED PANELS  
 EPS-5D SAND SMOOTH SURFACE WITH POR ACRYLIC FINISH  
 COOR PAKED MOUNTAIN 301L  
 STAMPED CONCRETE CANOPY AND PANTO  
 BRONZE FINISH 2 1/2" SHT (TEXTURE) 1/4"X30" 50'X PATTERN WITH SUN COLOR





**Bud Design & Engineering Services, Inc.**  
 10000 E. 14th Street, Suite 100  
 Grand Rapids, MI 49508  
 (616) 805-5599  
 www.budesign.com

**HOLIDAY INN EXPRESS & SUITES**  
 5375 28th STREET  
 CASCADE TOWNSHIP, MI

CONTRACTOR SHALL FIELD  
 CONDITIONS REFER TO ALL  
 CONDITIONS SHOWN TO  
 FURNISH TO  
 ARCHITECT/ENGINEER

**ISSUED FOR DATE**

SEALED 02/28/16

BY 02/28/16

BY 02/28/16

**DESIGNED BY**

**SCALE** 1/8" = 1'-0"

**JOB NO.** 1501-0000

**PROJECT TITLE**

**EXTENSION ELEVATIONS**

**SHEET**

**A200**

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CASCADE CHARTER TOWNSHIP  
**Ordinance # of 2016**  
AN ORDINANCE TO AMEND ORDINANCE #4 OF 1994, THE  
**SPRUCE MEADOWS**  
PLANNED UNIT DEVELOPMENT PROJECT

CASCADE CHARTER TOWNSHIP ORDAINS:

Section 1. Amendment to the Spruce Meadows PUD Ordinance

**Section VI.B. Design Guidelines, Requirements and Limitation**

This section will be amended to read as follows:

- B. Site Development Standards for the Hotel site. (amended by Ord No 6 of 2007)
  - a. Maximum height – 40 feet or 4 stories whichever is the lesser.
  - b. Setback Requirements:
    - i. Front: 80 feet
    - ii. Side: 25 feet
    - iii. Rear: 50 feet
  - c. Maximum Hotel Size – 114 room 16,000 square feet footprint.
  - d. The lot size and site shall be developed in accordance with the approved site plan dated 8/4/16 and the approved elevation pan dated 5-25-16. These plans shall be signed by the Township.

**Section VI.D.2. Design Guidelines, Requirements and Limitation**

This section will be amended to read as follows:

- 2. The landscaping and bufferyards for the hotel site shall be in compliance with the landscape plan dated 8/4/16.

**Section X.C Miscellaneous Development Requirements**

This section shall be added to read as follows:

- C. Each individual site shall be required to enter into a storm water maintenance agreement at the time the site plan is approved in a form acceptable to the Township.

Section 2. Effective Date

This PUD Ordinance amendment shall become effective upon publication in the Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

Section 3. Effect

The Cascade Charter Township Zoning Ordinance, as amended, and the remainder of Ordinance #4 of 1994, as amended, except as otherwise expressly amended herein, shall remain in full force and effect.

The foregoing Ordinance amendment was offered by Board Member \_\_\_\_\_ supported by Board Member \_\_\_\_\_. The roll call vote being as follows:

YEAS:

NAYS:

ABSENT:

ABSTAIN:

ORDINANCE DECLARED ADOPTED.

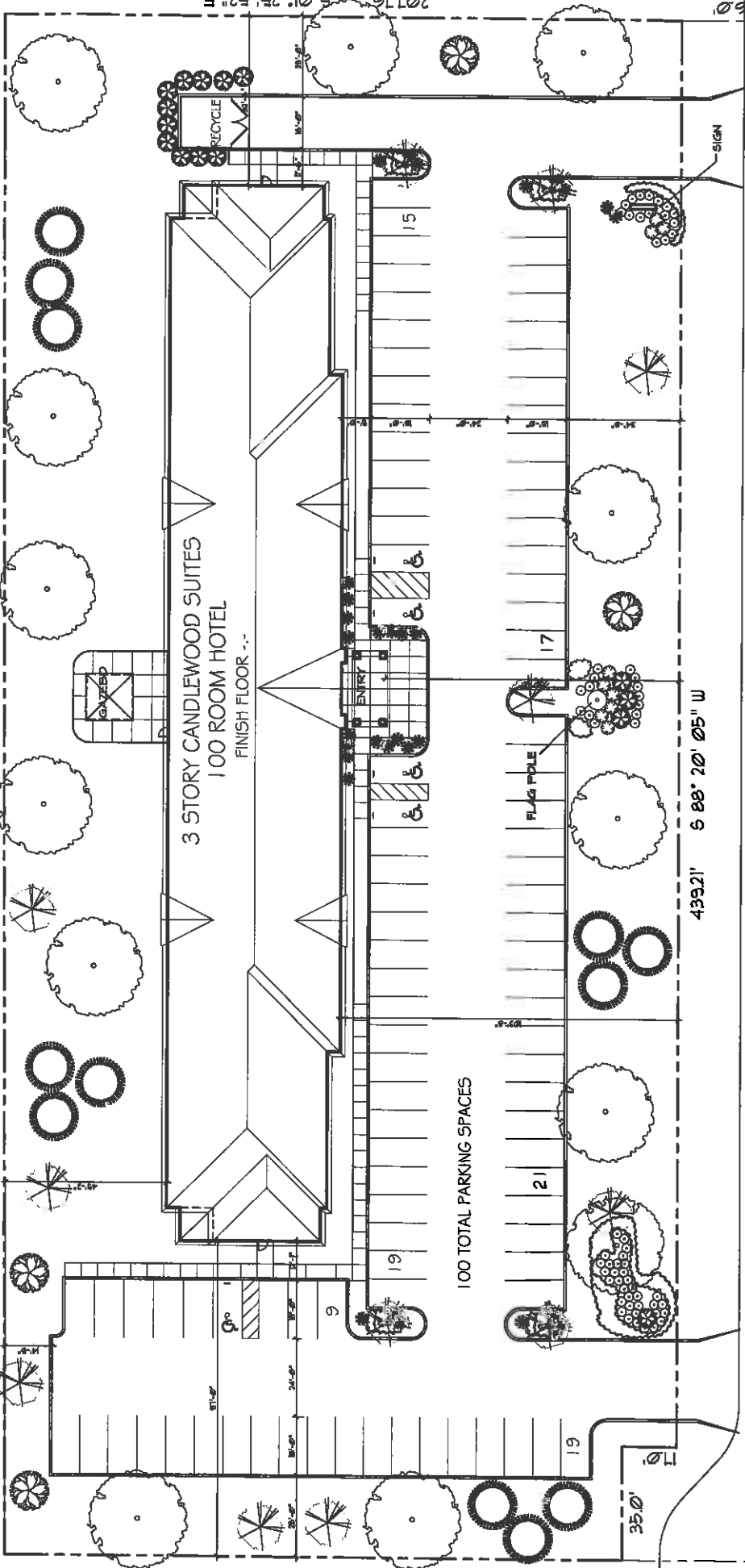
\_\_\_\_\_  
Clem Bell  
Cascade Charter Township Clerk

**CERTIFICATION**

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the \_\_\_\_day of October 2016.

\_\_\_\_\_  
Clem Bell  
Cascade Charter Township Clerk

47422' N 88° 05' 02" E



28th STREET COURT

SITE PLAN

1" = 20'-0"



271.86' 5 01' 37' 57" W

207.16' 5 01' 25' 52" E

660

35' 0"

499.21' 6 88' 20' 05" W

3 STORY CANDLEWOOD SUITES  
100 ROOM HOTEL  
FINISH FLOOR

100 TOTAL PARKING SPACES

COVERED

ENTRY

FLAG POLE

SIGN

19

21

17

15

17

19