

ARTICLE 14. Adjourn

Meeting format

1. **Staff Presentation** *Staff report and recommendation*
2. **Project presentation-** *Applicant presentation and explanation of project*
 - a. **PUBLIC HEARINGS**
 - i. *Open Public Hearing. Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants*
 - ii. *Close public hearing*
3. **Commission discussion –** *May ask for clarification from applicant, staff or public*
4. **Commission decision - Options**
 - a. *Table the decision*
 - b. *Deny*
 - c. *Approve*
 - d. *Approve with conditions*
 - e. *Recommendation to Township Board*

Minutes
Cascade Charter Township
Planning Commission
Monday, November 13, 2023
7:00 pm
2870 Jacksmith Ave SE

- ARTICLE 1.** Chair Noordyke called the meeting to order at 7:00 p.m.
Members Present: Noordhoek, Richardson, Moxley, Noordyke, Engel, Rissi, Rowland
Members Absent: Bruneau (excused)
Others Present: Zoning Administrator Madison Smith-Jacoby and others listed on the sign-in sheet.
- ARTICLE 2. Pledge of Allegiance**
- ARTICLE 3. Approve the current Agenda**
Motion was made by Member Rissi to approve the current agenda with the removal of Article 7. Supported by Member Engel. Motion carried 7 to 0.
- ARTICLE 4. Disclose any conflict of interest**
There were no conflicts of interest disclosed.
- ARTICLE 5. Approve the Minutes of the October 30, 2023 Meeting**
Motion was made by Member Engel to approve the October 30, 2023 meeting minutes as written. Supported by Member Rissi. Motion carried 7 to 0.
- ARTICLE 6. Acknowledge visitors and those wishing to speak**
There was no one wishing to speak.
- ARTICLE 7. Master Plan Amendments**
Danielle Bouchard and Chris Khorey from McKenna Associates attended the meeting to determine density bonuses for future residential developments in Cascade.
Bouchard summarized the determined mixed-use designation's height, permitted land uses, and density bonuses to ensure alignment with commission members.
Member Rowland questioned if the Glennwood Hills mixed-use should have a density bonus of 3.5 and 4.5. Chair Noordyke mentioned a concern that the Cascade Fire Department does not have a ladder truck to service buildings taller than 2 stories. Members agreed that to receive a story bonus, developers must provide funding of some degree to the fire department.
Bouchard and Korey created a preliminary density bonus program with a point system to award developers for completing development criteria for new projects located in the mixed-use area.

Commission Members made adjustments to the proposed program, such as modifying the point system numbers, applying penalty points for apartments and hotels, incentivizing LEED design, and removing minor categories from the document.

Some additions to the list included garages/carports for apartments or condos, enclosed bike storage space, a dog park, a community garden, a rooftop deck, parking lot islands, incentivizing pervious surfaces, electric vehicle charging stations, and fixing roads to county standards.

Bouchard will create a revised draft density bonus point system for the next meeting.

ARTICLE 8. Old Business

ZA Smith-Jacoby said there is an application for a building off of Old 28th St and she will need to meet with the Design Review Committee.

The next Planning Commission meeting is December 4.

ARTICLE 9. Any Other Business

Member Moxley is hosting a model railroad open house on November 24.

Chair Noordyke will not be in attendance for the next 2 scheduled meetings and advised the commission to discuss who will be nominated for chair, vice chair, and secretary.

ARTICLE 10. Acknowledge visitors and those wishing to speak

There was no one wishing to speak.

ARTICLE 11. Adjournment

Motion was made by Member Engel to adjourn the meeting. Supported by Member Rissi. Motion carried 7 to 0. The meeting adjourned at 8:31 p.m.

Respectfully submitted,

Joe Engel, Secretary

STAFF REPORT

STAFF REPORT: Case # 22-3798
REPORT DATE: October 27, 2023
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: November 13, 2023
PREPARED BY: Madison Smith-Jacoby

APPLICANT

Alan Salmon

PROPERTY LOCATION: 6390 Cascade Rd.

PP#: 41-19-08-276-016

STATUS OF APPLICANT: Property Owner

REQUESTED ACTION: The applicant is requesting a Type I Special Use Permit to build an accessory building exceeding 832sqft.

EXISTING ZONING OF SUBJECT PARCEL: R1

GENERAL LOCATION: South of Cascade Road and North of Burton Street

PARCEL SIZE: 1.9 acres

EXISTING LAND USE ON THE PARCEL: Residential

ADJACENT AREA LAND USES:
N: Residential
E: Residential
S: Residential
W: Vacant/ Under Same Ownership

ZONING ON ADJOINING PARCELS:
N: R1
E: R1
S: PUD-75
W: R1

STAFF COMMENTS:

- A. The applicant is requesting approval for a 1,440sqft accessory building on his property where a home is currently being constructed.
- B. Proposed is a pole barn measuring 30’ x 48’ with a height to the midpoint of 17’4”.
- C. The placement of the barn is in the rear yard and will be the only proposed accessory building. The parcel is just under 2 acres, allowing for 1 accessory building.
- D. The site plan indicates the following setbacks:
 - North: behind the home
 - West: over 100’
 - East: 40’
 - South: over 30’
- E. The property is on city water and sewer. No utilities will prevent this building.
- F. The applicant is still considering different materials for the drive running to the barn. Refer to the applicant for more details.
- G. The Accessory Building Inventory is included in the packet for reference.

Criteria for Approval

Upon review of a Type 1 Special Use Permit for an accessory building, Section 17.03(1)(a) of the Zoning Ordinance requires the Planning Commission to consider several factors. I have listed those items for your consideration followed by my comments for each

Factors	Comment
The intended use of the building.	Personal storage and personal woodworking shop with roof-mounted solar panels.
The proposed location, type and kind of construction and general architectural character of the building.	The design is proposed to match the existing house and the building is set in the backyard.
The size of the building in relation to the house, lot and zoning district.	The home is 3, 729sqft so the accessory building is less than half the size. The zoning district has permitted an average size of 2,170sqft. for an accessory building.
The type and kind of principal and accessory buildings and structures located on properties which are adjoining and in the general area.	In the general area there is a range of PUD homes with attached garages and various accessory buildings ranging from 500sqft to 1,440sqft. The applicant received a special use permit for his property across the street.
The topography and vegetation in the area.	The parcel was vacant prior to the existing home being built. The area is wooded/tree heavy sloping down towards the creek on the south side of the property.

Whether the proposed building will affect the light and air circulation of any adjoining properties.	The neighboring parcels would not be impacted. One is vacant (owned by Alan Salmon) and the parcel to the south is permanent Common Element for the PUD.
Whether the proposed building will adversely affect the view of any adjoining property owner or occupant.	No negative impact observed due to previous box reasons and the applicant's plan to keep as many trees as he can.
Points of access to the proposed building and their relationship to adjoining properties and the view from the adjacent streets.	The proposed access is shown as a drive extending from the main home's parking/driveway pad.

Based on these findings, it is evident that adjoining properties would not be negatively impacted by this accessory building.

RECOMMENDATION

Staff recommends that this permit be APPROVED with the following conditions:

1. The building is not used to operate a business
2. The building is not used as a dwelling.
3. All outdoor lighting would adhere to the Cascade Township zoning standards.

Attachments:

Application Packet

Inventory of Acc. Buildings



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: ALAN SALMON
 Address: 6390 CASCADE RD, SE
 City & Zip Code: GRAND RAPIDS, MI 49546-6424
 Telephone: 616-443-8188
 Email Address: amsalmon@comcast.net

OWNER: * (If different from Applicant)

Name: _____
 Address: _____
 City & Zip Code: _____
 Telephone: _____
 Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. - Rezoning * |
| <input type="checkbox"/> P.U.D. - Site Condominium * | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Subdivision Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

** Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:**

TO CONSTRUCT A BARN TOTALING 1,440 SQ FT
TOGETHER WITH A NEW HOME AT THE ABOVE
ADDRESS 6390 CASCADE RD

(**Use Attachments if Necessary)
 -SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

SEE ATTACHED

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 - 08-276-016

ADDRESS OF PROPERTY: 6390 CASCADE RD, SE, GR, MI, 49546

PRESENT USE OF THE PROPERTY: ~~HAB~~ VACANT LOT

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

NONE

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Owner – Print or Type Name
(*If different from Applicant)

ALAN SALMON
Applicant – Print or Type Name

*
Owner's Signature & Date
(*If different from Applicant)

 10/15/23
Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

Rev. 7/24/14

Parcel Identification

Parcel Number: 41-19-08-276-016

Property Address: 6390 CASCADE RD SE

Legal Description: 411908276016 PART OF NE 1/4 COM 1323.93 FT S 1D 21M 45S E ALONG E SEC LINE & 701.75 FT S 89D 42M 42S W ALONG N LINE OF S 1/2 NE 1/4 FROM NE COR OF SEC TH N 89D 42M 42S E ALONG SD N LINE 204.43 FT TH S 14D 07M 55S W 236.0 FT TH S 12D 12M 55S W 229.0 FT TH NWLY ALONG CL OF A CREEK TO A PT WHICH IS S 14D 27M 50S W FROM BEG TH N 14D 27M 50S E 354 FT M/L TO BEG * SEC 8 T6N R10W 1.90 A. SPLIT/COMBINED ON 05/02/2017 FROM 41-19-08-276-002, 41-19-08-276-015;

Alan Salmon
6350 Cascade Rd SE
Grand Rapids, MI 49546-6424

Cascade Charter Township

October 15th 2023

Planning & Zoning Application: Special Use Permit

Re Construction of barn together with new home at 6390 Cascade Rd

2. Applicant Statement

The barn I would like to build at 6390 Cascade Rd is to replace one of the same size at my current home at 6350 Cascade Rd, the lot immediately to the north of 6390, which I will sell once my new home is completed.

- a. The barn will be used for equipment storage and as a woodwork shop. In addition to my woodworking machines, the equipment I need to store includes a 33 foot-long portable sawmill (29'6" with the towing hitch removed), a tracked skid-steer loader and, in the winter, a ¾-ton pick-up truck. It may also house the battery back-up system for storage of solar energy. It will be finished, heated space and insulated to at least code levels, which will help reduce the level of noise heard outside the building.
- b. The barn will have a full frost wall and be of frame construction with a steel roof. The exterior of the barn is likely to be maintenance free wood-grain siding and soffits, matching those on the house, with an added architectural element to further tie the two structures together.
- c. Woodworking machines do create noise, but I believe that a combination of the construction, level of insulation and distance of the barn from neighbors' homes, will minimize the likelihood of it causing a nuisance. I currently do things in my existing barn similar to those I intend to do in the new one and I have never had any neighbor complain, or even mention, noise coming from the barn.

3. A site plan is included with this Statement.

- a. Shown
- b. and c. There are no existing buildings or structures. Proposed structures are shown.
- d. The private road ends just to the west of 6390. The closest driveway is approximately 307' east of the east lot line of 6390.
- e. 401 – Residential Improved.

Sincerely,



Alan Salmon

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SITE PLAN
 scale: 1" = 20'

Table 18-B: Placement and Yard Area Standards, Residential Dwellings

	Distance in Feet
Front Yard Setback	
Platted local & Pavement Streets	35 [68]
Collector Streets	43 [88]
Arterial Streets	50 [110]
Side Yard Setback	
Minimum on One (1) Side	10
Total on Both Sides	25
Rear Yard Setback	25

Editors Note: See Section 4.15 to determine the applicable line from which front yard building setbacks shall be measured.
 Note: Numbers in brackets [] refer to distances measured from the nominal centerline of the street right-of-way.

JOHNSON NEWHOF ASSOCIATES, INC.
 ARCHITECTS BUILDERS
 146 MONROE CENTER, SUITE 1120
 GRAND RAPIDS, MI 49503
 T 616-458-6195

ALAN SALMON
 ACCESSORY BUILDING

6390 Cascade Rd SE
 Grand Rapids, MI 49546

NO.	ISSUED FOR	DATE
1	PERMIT/FOUNDATION	10.09.2023
2	SPECIAL USE PERMIT	10.27.2023

SITE PLAN

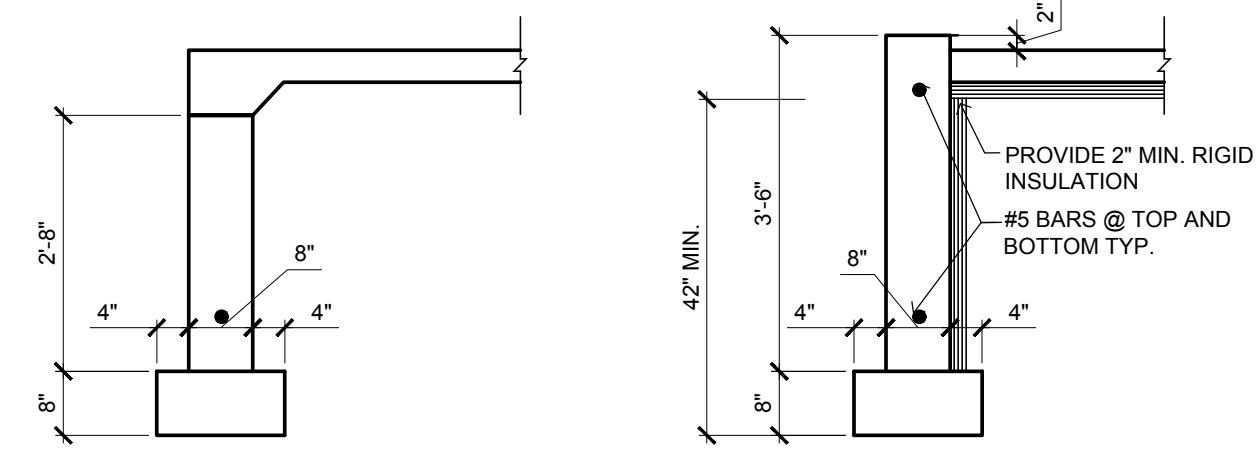
1 OF 3

2325 Project Number

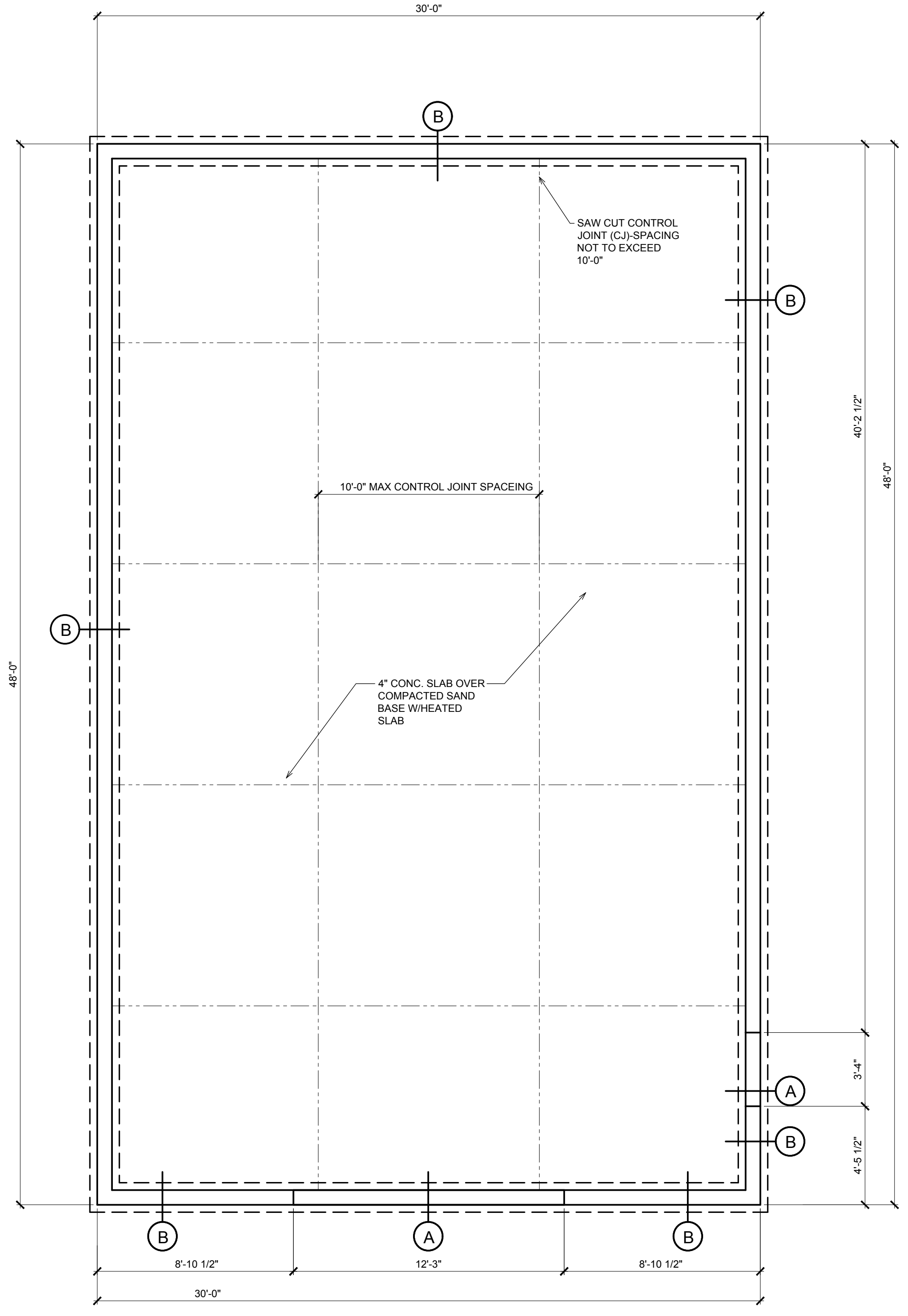
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- CONCRETE:**
- CONCRETE REINFORCING STEEL SHALL BE GRADE 60, Fy = 60 KSI
 - PRODUCTS:
 - PORTLAND CEMENT - ASTM C-150, TYPE 1
 - FLY ASH - ASTM C-618, TYPE C OR F
 - COARSE AGGREGATE
 - EXTERIOR CONCRETE USE CRUSHED LIMESTONE, MDOT 6AA OR ASTM C33, SIZE 57, EXPOSURE 5S
 - INTERIOR CONCRETE AND FOUNDATIONS, GRAVEL OR CRUSHED STONE, MDOT 6A 57, EXPOSURE 5S
 - FINE AGGREGATE - CLEAN, WELL GRADED SAND, MDOT 2NS OR ASTM C-33
 - PREPARE CONCRETE MIX DESIGNS PER ACI 301 BY EITHER MINIMUM W/C PROPORTION METHOD, LABORATORY TRIAL BATCH, OR FIELD EXPERIENCE METHODS. SUBMIT CONCRETE MIX DESIGNS FOR APPROVAL 10 WORKING DAYS PRIOR TO THE START OF CONCRETE INSTALLATION.
 - CONCRETE MIX GUIDELINES

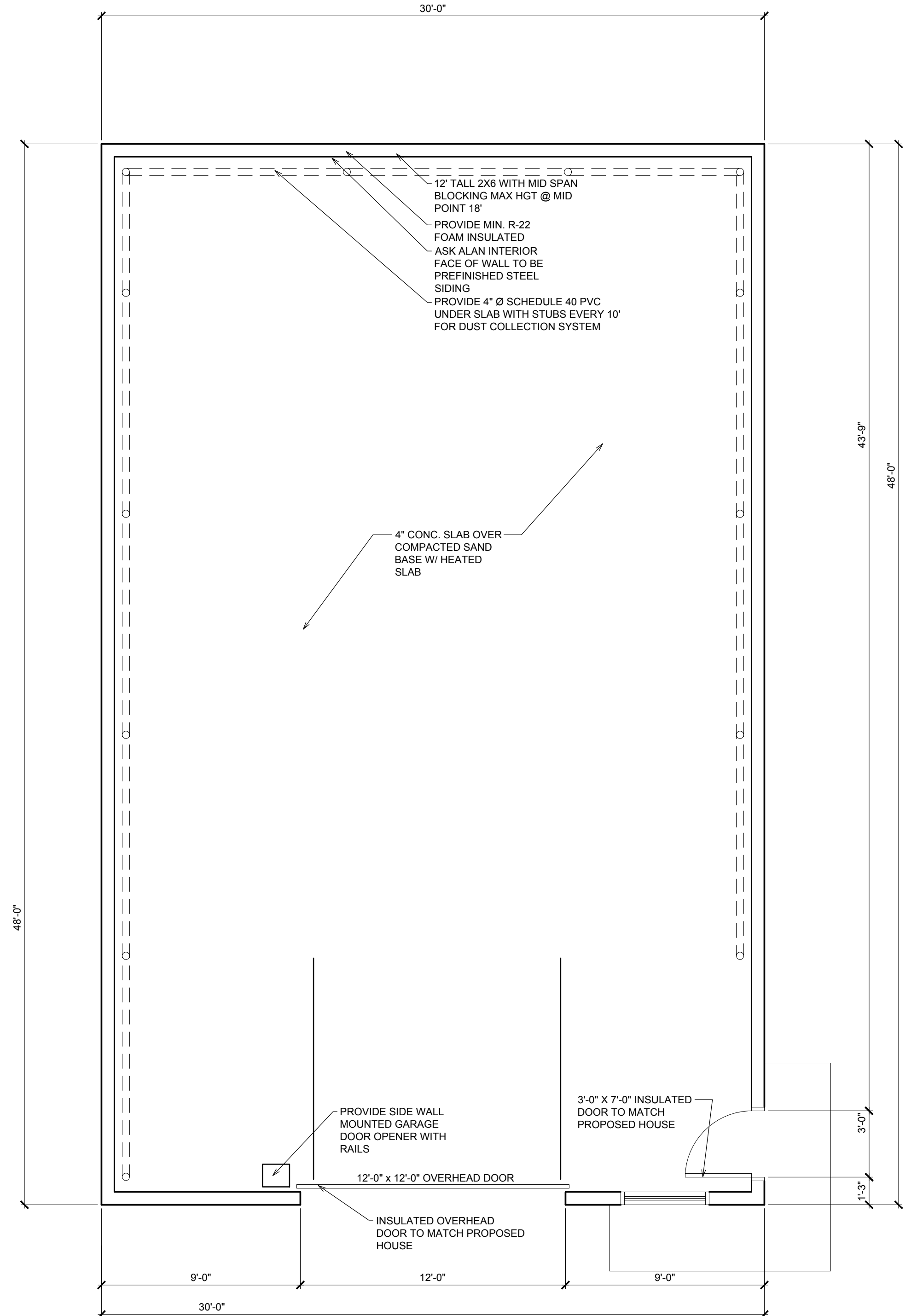
	FOOTINGS / FOUNDATIONS	SLABS	EXTERIOR CONCRETE
COMPRESSIVE STRENGTH (f'c)	3,500 PSI	4,000 PSI	3,500 PSI
CEMENTITIOUS MATERIAL	520 LBS/YD.*	520 LBS/YD.*	565 LBS/YD.
SLUMP	4" ± 1"	3" ± 1"	3" ± 1"
LARGE AGGREGATE	1 INCH	¾ INCH	¾ INCH (CRUSHED LIMESTONE)
AIR	N/A	N/A	6% ± 1%
 - SUBMIT CONCRETE MIX DESIGNS FOR APPROVAL.
 - CONCRETE ACCESSORIES:
 - REINFORCING BARS - ASTM GRADE A615, 60,000 PSI YIELD STRENGTH
 - WELDED WIRE FABRIC - ASTM GRADE A185, WELDED STEEL WIRE
 - FORMS - PLYWOOD OR METAL-FRAMED PLYWOOD, STRAIGHT AND IN GOOD CONDITION
 - FORM TIES - ADJUSTABLE LENGTH, REMOVABLE OR SNAP-OFF METAL TIES
 - REINFORCING CHAIRS - WIRE BAR TYPE SUPPORTS FOR ALL REINFORCING
 - MEMBRANE CURING COMPOUND - ASTM C-309, KURE-N-SEAL 30 BY SONNEBORN OR APPROVED. VERIFY COMPATIBILITY WITH FINISH
 - FLOORING ADHESIVES BEFORE APPLICATION.
 - INSTALL CONCRETE IN COMPLIANCE WITH ACI 304 RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE, ACI 305 HOT WEATHER CONCRETE AND ACI 306 COLD WEATHER CONCRETE.
 - CURE ALL CONCRETE FOR A MINIMUM OF 7 DAYS BY MOIST CURING, LIQUID CURING COMPOUND, OR MOISTURE RETAINING COVER.
 - INSTALL 6" GRANULAR FILL ON 6" GRANULAR BASE.
 - FINISHES:
 - ROUGH FORM FINISH TO ALL SURFACES NOT EXPOSED TO VIEW
 - SMOOTH RUBBED FINISH (WITH CARBORUNDUM BRICK) TO ALL FORMED SURFACES EXPOSED TO VIEW.
 - TROWEL FINISH TO SLAB TO RECEIVE FLOOR COVERINGS OR EXPOSED TO VIEW.
 - PROVIDE NON-SLIP BROOM FINISH TO SLAB EXPOSED TO EXTERIOR.
 - PROVIDE ¼" CHAMFER AT ALL CORNERS EXPOSED TO VIEW.
 - TESTING:
 - COMPRESSION STRENGTH - SAMPLE 1 SET OF 3 CYLINDERS PER ASTM C-31 TEST 1 AT 7 DAYS, AND 2 AT 28 DAYS PER ASTM C-39 FOR EACH 100 CY OF EACH MIX USED IN ANY ONE DAY.
 - SLUMP - 1 TEST FOR EACH SET OF COMPRESSIVE TEST SPECIMENS OR WHEN CONSISTENCY VARIES PER ASTM C-143.
 - AIR CONTENT - 1 TEST FOR EACH SET OF COMPRESSIVE TEST SPECIMENS OR WHEN CONSISTENCY VARIES PER ASTM C-173.
 - CONCRETE TEMPERATURE - 1 TEST FOR EACH SET OF COMPRESSIVE TEST OR WHEN CONSISTENCY VARIES.
 - SLABS ON GRADE SHALL HAVE CONSTRUCTION OR CONTROL JOINTS AT A MAXIMUM SPACING OF 10'-0" EACH WAY, EXCEPT AS NOTED ON THE DRAWINGS. MAINTAIN AN ASPECT RATIO OF NOT MORE THAN 1.5.
 - SLABS ON GRADE SHALL BE REINFORCED WITH FIBROUS REINFORCING. FIBERS SHALL BE PLACED IN THE CONCRETE AT THE BATCH PLANT IN THE AMOUNT AND METHOD RECOMMENDED BY THE SUPPLIER.
 - PROVIDE CONCRETE COVER OVER REINFORCING BARS AS FOLLOWS UNLESS NOTED OTHERWISE:
 - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3"
 - PERMANENTLY EXPOSED TO EARTH OR WEATHER, #5 AND SMALLER = 1-1/2", #6 AND LARGER = 2"
 - NOT EXPOSED TO EARTH OR WEATHER, WALLS AND SLABS = ¾", BEAMS AND COLUMNS = 1-1/2"
 - PROVIDE CLASS "B" TENSION LAP SPLICES FOR ALL BARS UNLESS OTHERWISE NOTED. MINIMUM TENSION LAP SPLICES ARE AS FOLLOWS: #3=21", #4=28", #5=34", #6=41", #7=59", #8=67", #9=76"
 - SHOP DRAWINGS - SUBMIT SHOP DRAWINGS FOR FABRICATION, BENDING, AND PLACEMENT OF ALL REINFORCING STEEL PER ACI SP-66 DETAILING MANUAL.
 - REINFORCING STEEL WILL BE WIRED IN PLACE TO PREVENT MOVEMENT DURING CONCRETE POURING.
 - PROVIDE DIAGONAL REINFORCING ACROSS EACH CORNER OF OPENINGS IN FOUNDATION WALLS AND SLABS AS FOLLOWS:
 - (1) #4 BAR x 44" FOR EACH 4" OF CONCRETE THICKNESS.
 - LAP CONTINUOUS WALL REINFORCING 44 DIAMETERS UNLESS NOTED OTHERWISE. PROVIDE CORNER BARS FOR HORIZONTAL REINFORCING. PROVIDE DOWELS FROM FOOTINGS EQUAL IN SIZE AND NUMBER TO VERTICAL WALL OR PIER REINFORCING.
 - COVER FOR REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI-318-02.
 - FLOORS SHALL BE CONSTRUCTED WITH NYLON OR POLYPROPYLENE FIBERS, AT MANUFACTURER'S SUGGESTED DOSAGE (NYLON, FIBERMESH, GRACE, OR FORTA)
 - EXERCISE CARE WHEN BACKFILLING WALLS. EXCEPT FOR WALLS WITH EQUAL FILL ON BOTH SIDES, NO BACKFILLING OF WALLS SHALL BE DONE UNTIL THE WALL HAS ATTAINED ITS FULL STRENGTH AND HAD BEEN PROPERLY SUPPORTED BY BRACING OR BY A COMPLETED FLOOR OR ROOF STRUCTURE. ALTERNATE FILL WHEN BACKFILLING WALLS WITH FILL ON BOTH SIDES.



FOUNDATION DETAIL
 scale: 1/2" = 1'-0"



FOUNDATION PLAN
 scale: 1/4" = 1'-0"



FLOOR PLAN
 scale: 1/4" = 1'-0"

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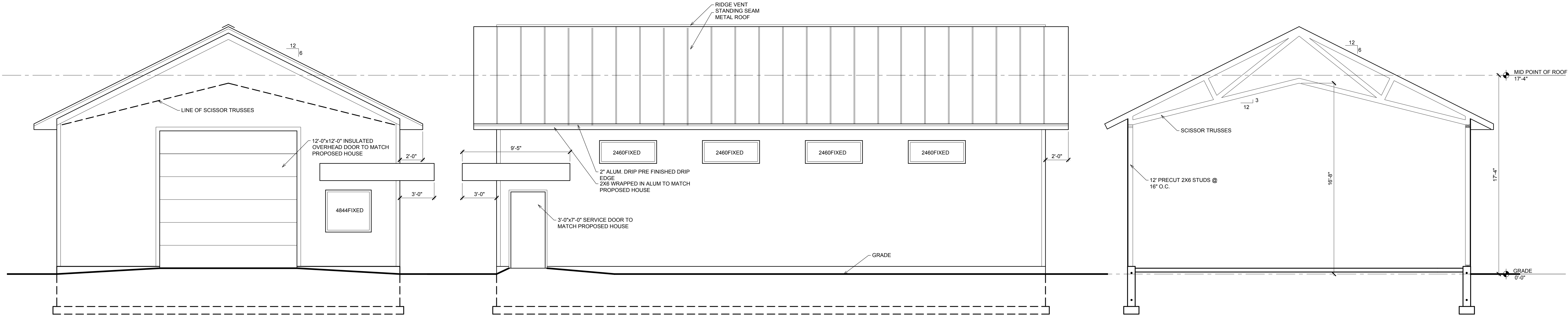
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FOUNDATION PLAN, FLOOR PLAN & DETAILS

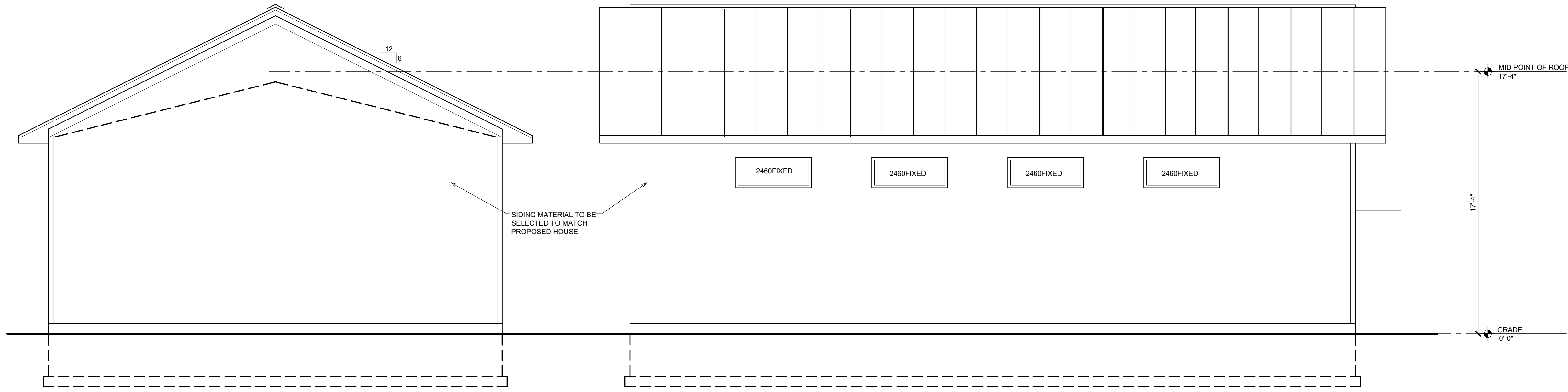
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FRONT ELEVATION
scale: 1/4" = 1'-0"

RIGHT ELEVATION
scale: 1/4" = 1'-0"

BUILDING SECTION
scale: 1/4" = 1'-0"



REAR ELEVATION
scale: 1/4" = 1'-0"

LEFT ELEVATION
scale: 1/4" = 1'-0"

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6390 Cascade Rd SE
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EXTERIOR ELEVATIONS
& SECTIONS
3 OF 3

2325 Project Number

STAFF REPORT

STAFF REPORT: Case # 23-3795
REPORT DATE: November 4, 2023
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: December 4, 2023
PREPARED BY: Madison Smith-Jacoby, Zoning Administrator

APPLICANT

Josh Baker
5441 36th Street

STATUS

OF APPLICANT: Owner

REQUESTED ACTION: Site Plan Review for a 12,000sqft. addition.

EXISTING ZONING OF SUBJECT PARCEL: TI – Transitional Industrial

GENERAL LOCATION: 36th Street between Kraft Ave. and Patterson Ave.

PARCEL SIZE: Approximately 2.2 acres

EXISTING LAND USE ON THE PARCEL: Office and Warehouse space

ADJACENT AREA LAND USES:

N: Lacks Enterprise
E: Warehouse
S: Office/Warehouse
W: Best Metal Products – manufacturing/warehouse

ZONING ON ADJOINING PARCELS:

N: TI
E: TI
S: I
W: TI

STAFF COMMENTS:

1. The applicant is requesting site plan approval to construct a new 12,000sqft addition to the existing office and warehouse, Bakers & Son.
2. The use of the property is for business storage. The applicant owns AT&T stores – they get display cases etc. removed from renovations and they are recycled and stored here as well as high end cars personal cars. Refer to the applicant for further information on usage. This is an approved use for the zoning district.
3. Also included on the plans is an addition of trucking doc, parking lot, and retention pond. The site plan was reviewed under the criteria of Section 21.07 of the Site Plan Review Chapter of the Zoning Ordinance.
4. The use on the property is for warehousing storage and truck terminal, along with the existing office space.
5. The proposed use requires the following number parking spaces:
 - Existing building: 7,176sqft of office space – 3 spaces/1,000sqft = 21.53 spaces
 - Proposed Addition: 12,000sqft. of warehouse space - .67 spaces/1,000sqft. = 8.04 spaces.

Total Required = 30 spaces

The plan indicates a total of 23 spots. The Planning Commission should determine if this number of parking spaces will suffice for the presented use. Deferring parking spaces has been approved in the past for applicants until the parking is needed or the Township requires it. The applicant defers 7 spaces.

6. The site plan has been reviewed by the Township Engineer and the stormwater review report is included in the packet. The report approves the site with the contingency that that the applicant provides a geotechnical report with soil test data.
7. There are no new access points proposed on the site but the parcel shares the drive with the parcel to the east. The applicant has been notified to confirm all permits and agreements with the neighboring parcel prior to any surface improvements.
8. The Gerald R. Ford Airport staff has been made aware of the project and provided comments in relation to the building permits, lighting, and the retention/detention pond.
9. The lighting plan submitted meets the ordinance standards not to exceed 5 candles.
10. The submitted landscaping plan meets the requirements. A Landscape Bond of \$5,000 should be submitted.

11. The site plan has been reviewed by the Fire Department and there are no concerns.
12. The building height, area, and setback all meet the standards of the TI district.

Section 21.07: Criteria For Site Plan Approval:

The Planning Commission shall use the following criteria in evaluating a site plan submittal:

1. Whether the required information has been furnished in sufficiently complete and understandable form to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.
2. Whether there are ways in which the configuration of uses and structures can be changed which would improve the impact of the development on adjoining and nearby properties, persons, and activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and proposed use and structures.
3. The extent to which natural features and characteristics of the large trees, natural groves, watercourses, and similar will be preserved; the regard given to existing natural features that would add attractiveness to the property and environs if they were preserved; the preservation of natural drainage systems the dedication and/or provision, where appropriate, of scenic easements, natural buffering, and other techniques for preservation and enhancement of the physical environment.

STAFF RECOMMENDATION:

Staff is recommending Site Plan Approval for the 12,000 sq. ft. addition under the following conditions:

1. Execute the storm water agreement.
2. Provide a landscape bond for \$5,000.

Attachments: Twp Engineer report
Site Plan
Application



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids, Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Randall Burri Builder
 Address: An & Randy Burri
290 N Green Meadow St SE
Grand Rapids, MI 49548
 City & Zip Code: _____
 Telephone: 616-307-6018
 Email Address: randallburri@yahoo.com

OWNER: * (If different from Applicant)
 Name: Josh Baker
 Address: 5441-36th St SE
 City & Zip Code: Grand Rapids, mi 49512
 Telephone: 1-616-901-7900
 Email Address: Joshua@smartlinksinc.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. – Rezoning * |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance Subdivision |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

** Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:**

Building 80x150 steel Building-Addition of existing Building

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY**:

See Paper work & Survey.

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 - 18-477-013

ADDRESS OF PROPERTY: 5441 - 36th st SE, Grand Rapids m. 49512

PRESENT USE OF THE PROPERTY: office, Light storage, warehouse

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

Joshua Baker
owner

(E-mail) Joshua@smartlinksinc.com

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Joshua Baker

Randall Bueri Builder

Owner - Print or Type Name
(*If different from Applicant)

Applicant - Print or Type Name

*

Owner's Signature & Date
(*If different from Applicant)

Applicant's Signature & Date

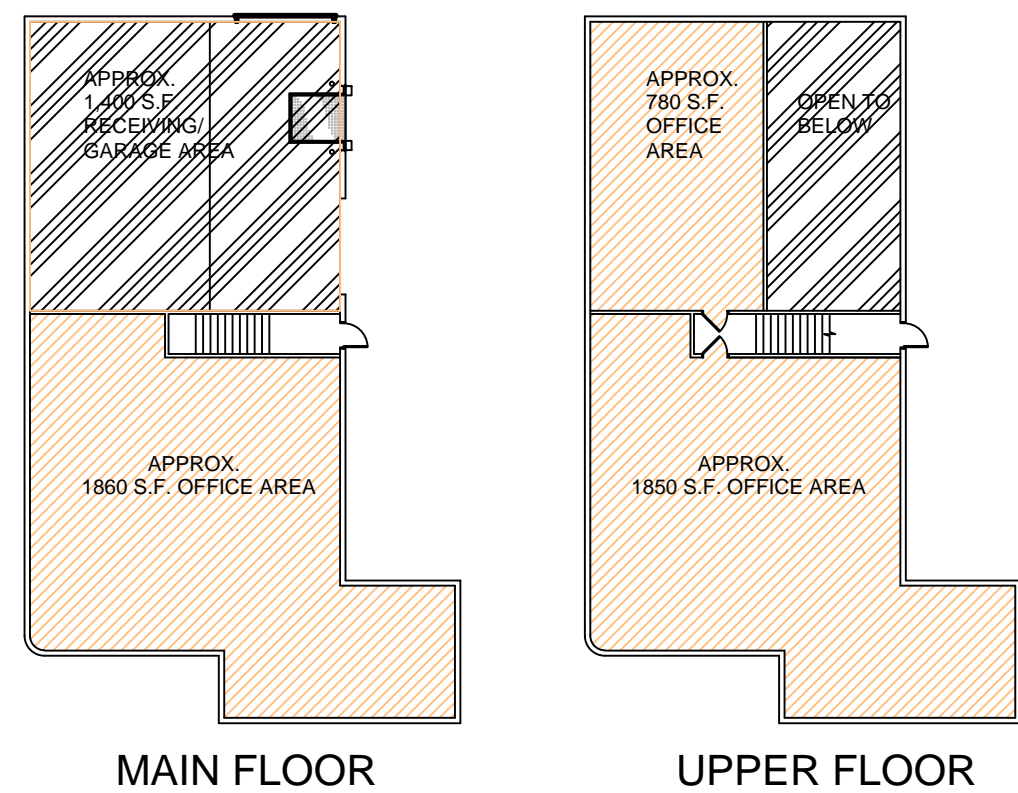
6/29/23

6-29-2023

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET - THANK YOU

GENERAL NOTES:

- THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS, INCLUDING THE CONTRACTORS, SUBCONTRACTORS, AND MANUFACTURERS SHOP DRAWINGS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED THEREBY UNTIL CORRECTIONS HAVE BEEN MADE.
- CONSTRUCTION SHALL COMPLY WITH ALL CODES, STANDARD BUILDING PRACTICES AND REGULATIONS OF GOVERNING AUTHORITIES
- CONTRACTOR SHALL NOTIFY MISS DIG AT 1-800-482-7171 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- FLOOR DRAINS: UNLESS REQUIRED OTHERWISE, SET ALL FLOOR DRAINS 1/4" BELOW FLOOR LINE AND PITCH FROM 24" RADIUS.
- DRAWINGS: ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS IF INCLUDED. CONTRACTORS ARE RESPONSIBLE FOR COMPLETE REVIEW. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE SET OF DRAWINGS. NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS. THE OWNER SHALL DISTRIBUTE COMPLETE SETS OF DRAWINGS TO ALL SUBCONTRACTORS. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. **DO NOT SCALE DRAWINGS.**
- COMPLETENESS: ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL APPLICABLE CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER OR THE ARCHITECT. IN THE CASE OF CONFLICTING QUANTITIES / VALUES, THE GREATER AMOUNT OR THE ONE OF GREATER VALUE SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION. IN THE CASE OF CONFLICTING OR INCONSISTENT INFORMATION, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION.
- PERMITS: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, LABORS, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK CATEGORY. CONTRACTORS SHALL FORWARD TO THE ARCHITECT A COPY OF ALL APPROVED PERMITS, DRAWINGS AND CODE COMPLIANCE ADDENDA WITH PLAN EXAMINERS COMMENTS WITHIN 48 HOURS OF RECEIPT OF THE SAME AT NO COST TO THE ARCHITECT. ANY ADDITIONAL WORK REQUIRED AS A RESULT OF THE ABOVE SHALL BE PROVIDED BY THE CONTRACTOR AS PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION IF THE CONTRACTOR FAILS TO COMPLY WITH PROVIDING THE APPROVED PLANS OR ADDENDA TO THE ARCHITECT.
- DOCUMENTATION: THE CONTRACTOR SHALL KEEP A RECORD OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. THEY SHALL NEATLY AND CORRECTLY ENTER IN COLOR PENCIL, ANY DEVIATIONS ON THE DRAWINGS AND SPECIFICATIONS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AN EXTRA SET OF CONSTRUCTION DOCUMENTS WILL BE FURNISHED FOR THE PURPOSE.
- AT COMPLETION OF THE JOB AND BEFORE FINAL APPROVAL, THE CONTRACTOR WILL MAKE ANY FINAL CORRECTIONS TO DRAWINGS RELATED TO THEIR WORK CATEGORY AND SHALL CERTIFY TO THE ACCURACY OF EACH PRINT, THAT THE WORK IS COMPLETE ACCORDING TO ALL CONTRACT DOCUMENTS, AND THE CORRECTIONS TO THE DRAWINGS BY SIGNATURE THEREON AND DELIVER SAME TO THE ARCHITECT.
- DRAWINGS INDICATE THE MINIMUM STANDARDS, SHOULD ANY WORK INDICATED BE SUBSTANDARD TO ANY ORDINANCE, LAWS, CODES, RULES OR REGULATIONS BEARING ON THE WORK, THE CONTRACTOR SHALL EXECUTE THE WORK IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS AS A PART OF HIS BASE CONTRACT WITHOUT INCREASE IN COST TO OWNER OR ARCHITECT.
- FIELD MEASURE AND VERIFY OR REVISE DIMENSIONAL INFORMATION TO THE EXTENT REQUIRED TO EXECUTE THE WORK REQUIRED ON THE CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY THE ARCHITECT/ ENGINEER IMMEDIATELY IF EXISTING CONDITIONS INVALIDATE THE DRWG.S OR WHEN QUESTIONS ARISE REGARDING THE INTENT OF THE DRAWINGS.
- UNLESS INDICATED OTHERWISE, FLR. MAT'L CHANGES SHALL OCCUR BENEATH DOORS OR THRESHOLDS.
- UNLESS INDICATED OTHERWISE, ALL NEW AND EXISTING UNFINISHED EXPOSED TO VIEW MATERIALS AND SURFACES OCCURRING WITHIN AREAS OF RENOVATION SHALL RECEIVE A PAINT FINISH
- WHERE RATED PARTITIONS ARE PENETRATED BY FIRE EXTINGUISHER CABINETS, WATER COOLERS, ELECTRICAL DISTRIBUTION PANELS AND OTHER SIMILAR ITEMS, PROVIDE RECESS OF EQUAL RATING TO PARTITION.
- WHERE OPENINGS IN INTERIOR PARTITIONS OCCUR (INCLUDING DOORS AND WINDOWS), CONSTRUCTION ABOVE OPENINGS SHALL MATCH ADJ. CONSTRUCTION IN FINISH AND FIRE RATING.
- GENERAL CONTRACTOR IS TO VERIFY LOCATION OF ALL EMERGENCY AND EXIT LIGHTS WITH THE BUILDING OFFICIAL PRIOR TO INSTALLATION.
- WHERE OPENINGS IN INTERIOR PARTITIONS OCCUR (INCLUDING DOORS AND WINDOWS), CONSTRUCTION ABOVE OPENINGS SHALL MATCH ADJ. CONSTRUCTION IN FINISH AND FIRE RATING.
- MECHANICAL AND ELECTRICAL CONTRACTORS MUST COORDINATE WITH OTHER TRADES TO ASSURE COMPATIBILITY INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - STRUCTURAL LOADING
 - POWER REQUIREMENTS
 - CLEARING FOR INSTALLATION & MAINTENANCE
- MECHANICAL AND ELECTRICAL CONTRACTORS ARE FULLY RESPONSIBLE FOR THEIR OWN WORK IN TERMS OF BUT NOT LIMITED TO: ALL CODES, DIMENSIONS, COORDINATION WITH OTHER TRADES & ALL APPLICABLE MUNICIPAL AND OTHER GOVERNMENTAL APPROVALS.
- MECHANICAL SCOPE: FURNISH AND INSTALL A COMPLETE AND OPERABLE SYSTEM BASED ON THE OWNERS CRITERIA INCLUDING, BUT NOT LIMITED TO THE FOLLOWING.
 - HEATING AND COOLING REQUIREMENTS
 - AIR HANDLING UNIT(S)
 - FIRE PROTECTION SYSTEM(S)
 - PLUMBING SYSTEM
 - TEMPERATURE CONTROL SYSTEM
 - SUPPLY DIFFUSERS, RETURN AIR GRILLS
 - DUCTWORK, PIPING & INSULATION
 - FIRE AND BALANCING DAMPERS
- ELECTRICAL SCOPE: LIGHTING SYSTEM SHALL BE PROVIDED TO MAINTAIN LIGHT CONSISTENT WITH CURRENT IES STANDARDS. FURNISH AND INSTALL A COMPLETE AND OPERABLE SYSTEM BASED ON THE OWNERS CRITERIA INCLUDING, BUT NOT LIMITED TO THE FOLLOWING.
 - CONDUIT
 - WIRING
 - PANELS
 - TRANSFORMERS
 - SWITCHES
 - RECEPTACLES
 - COMMUNICATION
 - EXIT SIGNS
 - SMOKE DETECTORS
 - LIGHT FIXTURES

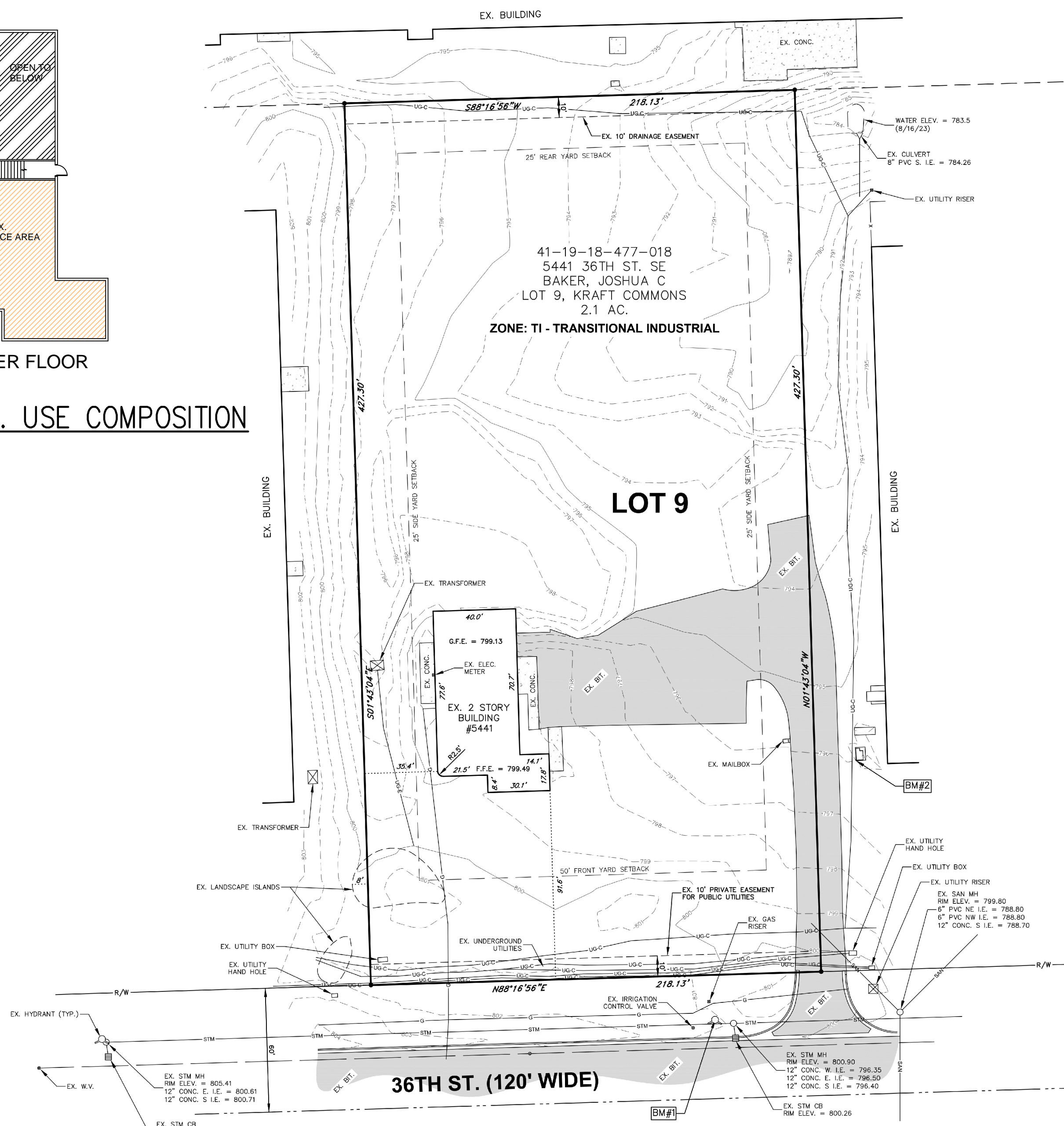


EXIST. BLD'G. USE COMPOSITION
SCALE: NO SCALE

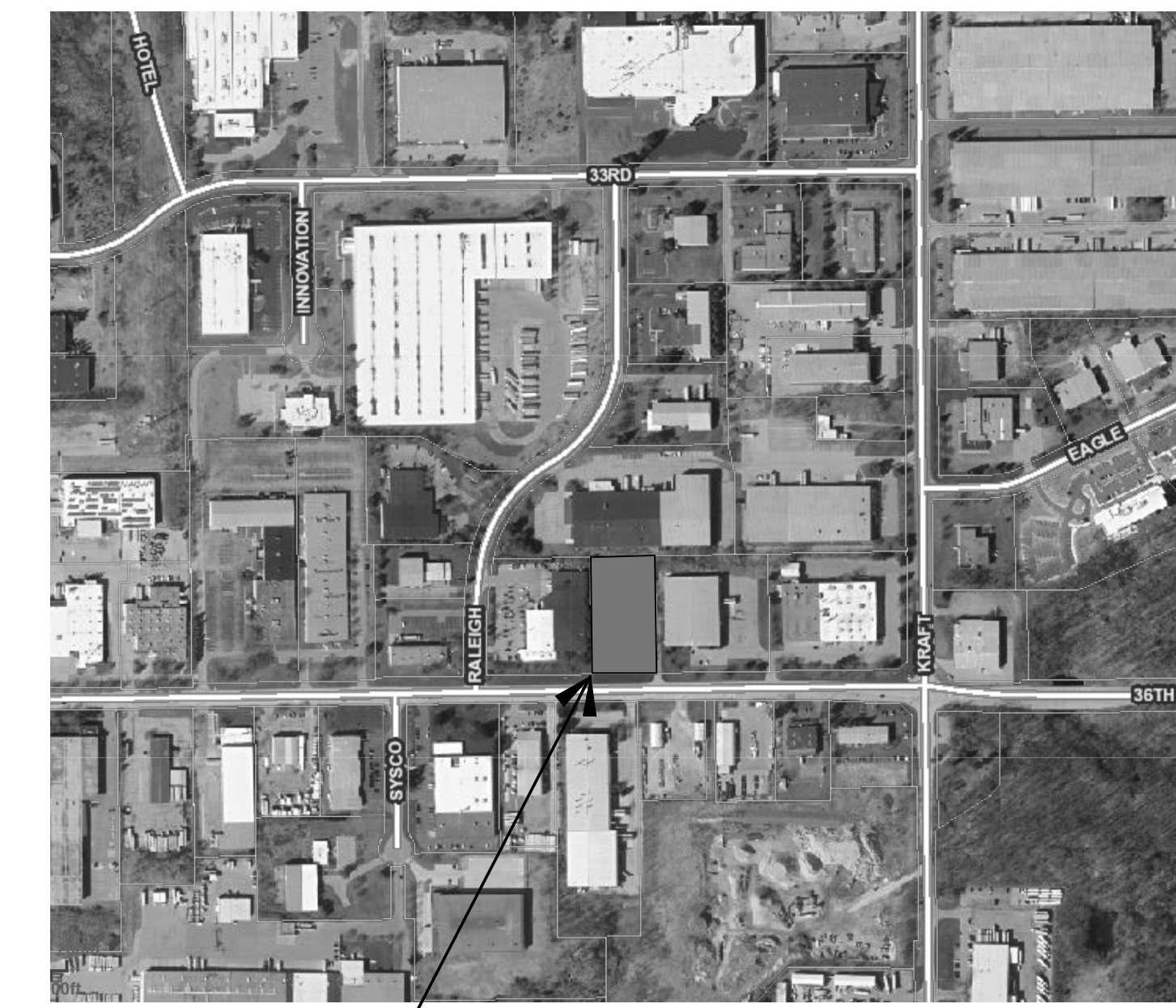
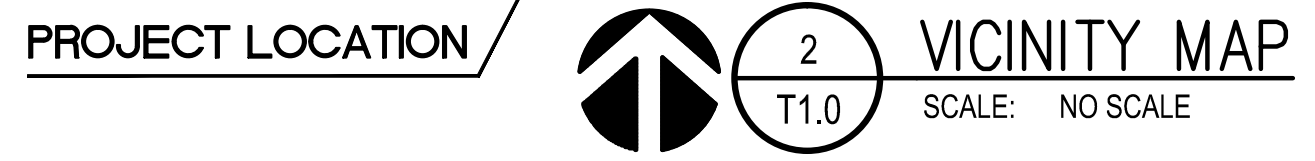
- EARTHWORK CONTRACTORS SHALL COMPLY AND BE RESPONSIBLE FOR BERMING AND FILTERING OF PROPERTY LINES WHERE EROSION COULD OCCUR, MINIMIZATION OF TRACKING OF MATERIALS OFF-SITE, SWEEPING AND CLEANING OF ADJACENT STREETS AS NECESSARY, AND OBTAINING SOIL EROSION CONTROL PERMITS.
- REQUEST FOR CONSTRUCTION STAKING SHALL BE DIRECTED TO THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO THEIR ACTUAL NEED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES FOR THE PROTECTION AND/OR RELOCATION OF EXISTING UTILITIES.
- ALL CONSTRUCTION SHALL BE SUBJECT TO CONSTRUCTION INSPECTION BY OWNER OR THEIR REPRESENTATIVE.
- ALL MATERIALS PLACED DURING CONSTRUCTION SHALL BE IN NEW CONDITION, SHALL BE FREE FROM DEFECTS AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE.
- THE CONTRACTOR SHALL CONNECT THE ROOF DRAINS TO THE ON SITE STORM SEWER SYSTEM.
- ALL EXTERIOR CONC. BLK. WALLS SHALL BE FILLED W/ PERLITE
- CONSTRUCTION MANAGER MUST SEE THAT CONSTRUCTION SAFE GUARDS ARE PLACED PER CHAPTER 33 MI BLD'G. CODE 2003

PROPOSED NEW BUILDING ADDITION FOR: 36TH ST. OFFICE BUILDING OWNER CONTACT: JOSHUA BAKER CELL: 616.901.7900 PROJECT ADDRESS: 5441 36TH ST SE CASCADE TWP, GRAND RAPIDS MI 49502

NEW 12,000 S.F. STORAGE WAREHOUSE WILL BE USED TO STORE OWNERS PRODUCT FOR AN INTERNET CO. SUCH AS PHONES AND CLOTHING ETC.. SOME HIGH END AUTOMOBILES WILL ALSO BE STORED AT THIS LOCATION



EXISTING SITE PLAN
SCALE: NO SCALE



BUILDING DATA

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE & BELIEF, THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE:

- 2015 MICHIGAN BUILDING CODE - AMENDMENTS
- 2015 INTERNATIONAL (W/MICH AMENDMENTS) PLUMBING CODE
- 2015 INTERNATIONAL (W/MICH AMENDMENTS) MECHANICAL CODE
- 2017 NATIONAL ELECTRICAL CODE
- FIRE CODE: 2015 IFC
- ACCESSIBILITY CODE: 2015 MBC & 2009 ANSI 117.1 AND 2009 MICHIGAN BARRIER FREE CODE
- ENERGY CODE: INTERNATIONAL (W/MICH AMENDMENTS) UNIFORM ENERGY CODE 2013 ASHRAE


CONSTRUCTION TYPE - 3B
OCCUPANCY CLASSIFICATION - MIXED USE - B (BUSINESS) & S-2 LOW HAZARD STORAGE
EXISTING BUILDING 1ST FLOOR TOTAL S.F. 3,588 S.F.
EXISTING BUILDING 2ND FLOOR TOTAL S.F. 2,850 S.F.
EXISTING BUILDING TOTAL S.F. 6,438 S.F.
ZONED T-1
BUFFER ZONE "C"
ALLOWABLE BUILDING AREA = 19,000 S.F. PLUS PROPOSED NEW S-2 ADDITION = 12,000 S.F.
PROPOSED NEW TOTAL S.F. = 18,438 S.F. PLUS BUSINESS AREA OCCUPANCY LOAD = 6,438 S.F./100 = 64
WAREHOUSE AREA OCCUPANCY LOAD 12,000 S.F./500 = 24
TOTAL OCCUPANCY LOAD = 88
NUMBER OF EXITS REQUIRED PER STORY = 2
NUMBER OF EXITS PROVIDED PER STORY = 2
NUMBER OF EXITS TOTAL PROVIDED = 6
MAXIMUM EGRESS TRAVEL PROVIDED FOR "B" = 75'
MAXIMUM EGRESS TRAVEL PROVIDED FOR "S" = 100'
PARKING REQUIRED BUSINESS GENERAL OFFICE = 4,500 SF/1000 /3 = 14
WAREHOUSE .67x13,400 SF = 8,040/1000 = 9
TOTAL PARKING REQUIRED = 23 SPACES

SCOPE OF WORK

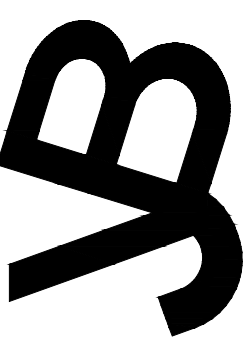
NEW 12,000 S.F. STORAGE ADDITION & TRUCK DOCK REPLACEMENT ADDED ONTO EXISTING OFFICE BUILDING. EXISTING UTILITIES TO BE USED TO SUPPLY NEW WAREHOUSE. NEW STORM DRAINAGE DESIGN UPDATED TO CURRENT REQUIREMENTS.

TITLE/SITE	ARCHITECTURAL
T100 SITE LOCATION MAP, SHEET INDEX,	A1.0 FLOOR PLAN
BUILDING DATA, EXIST. SITE PLAN,	A2.0 EXTERIOR ELEVATIONS
EXIST. ZONING PLAN	A3.0 BUILDING SECTIONS
	ADA1.0 BARRIER FREE DETAILS
CIVIL	FOUNDATION
D1.0 DEMOLITION/SILTATION PLAN	S1.0 FOUNDATION PLAN & DETAILS
C1.0 SITE PLAN	S1.1 FOUNDATION DETAILS
C2.0 UTILITY SITE PLAN	S2.0 STRUCTURAL NOTES
C3.0 SITE DETAILS	
L1.0 LANDSCAPE SITE PLAN & SITE PHOTOMETRIC PLAN	
L2.0 LANDSCAPE/PHOTOMETRIC DETAILS	





RDC
Retail Design Consultants, LLC
7660 48th Street, S.E.
Grand Rapids, MI 49512
P. 616.634.2253
Glenn@rdc-llc.com




JB
JAMES VANDEN BERGE
CIVIL & ARCHITECTURAL CONSULTATION & DESIGN SERVICES
2065 FOXWOOD DRIVE, SUITE 100
GRAND RAPIDS, MI 49503
PHONE: 616.901.7900
EMAIL: JVB@ARCH@COMCAST.NET

METAL WAREHOUSE ADDITION
5441 36TH ST. SE CASCADE TWP.
GRAND RAPIDS, MI 49512

SITE PLAN COMMENTS 10/31/23

SITE PLAN APPROVAL 10/5/23

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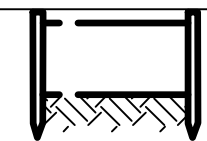




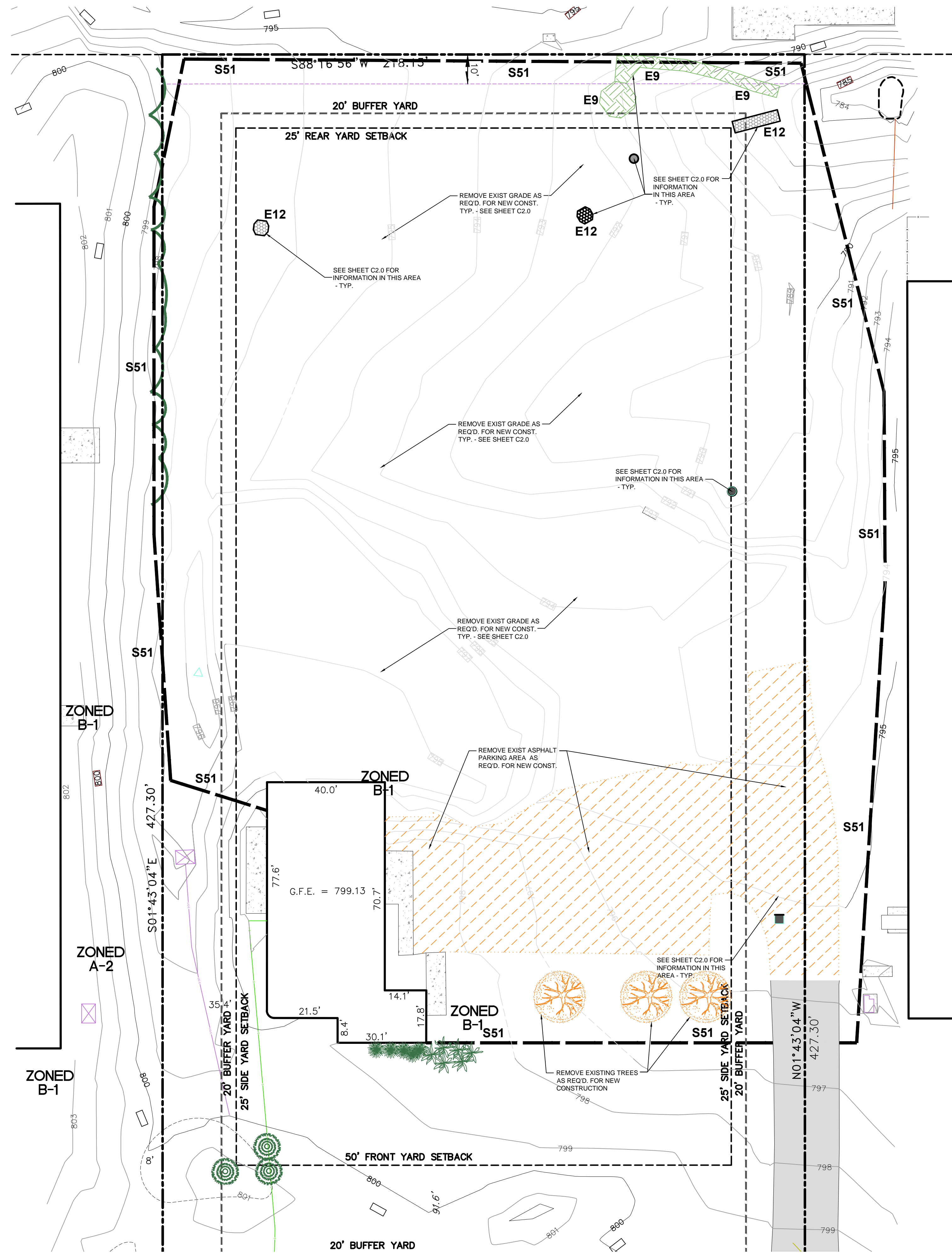
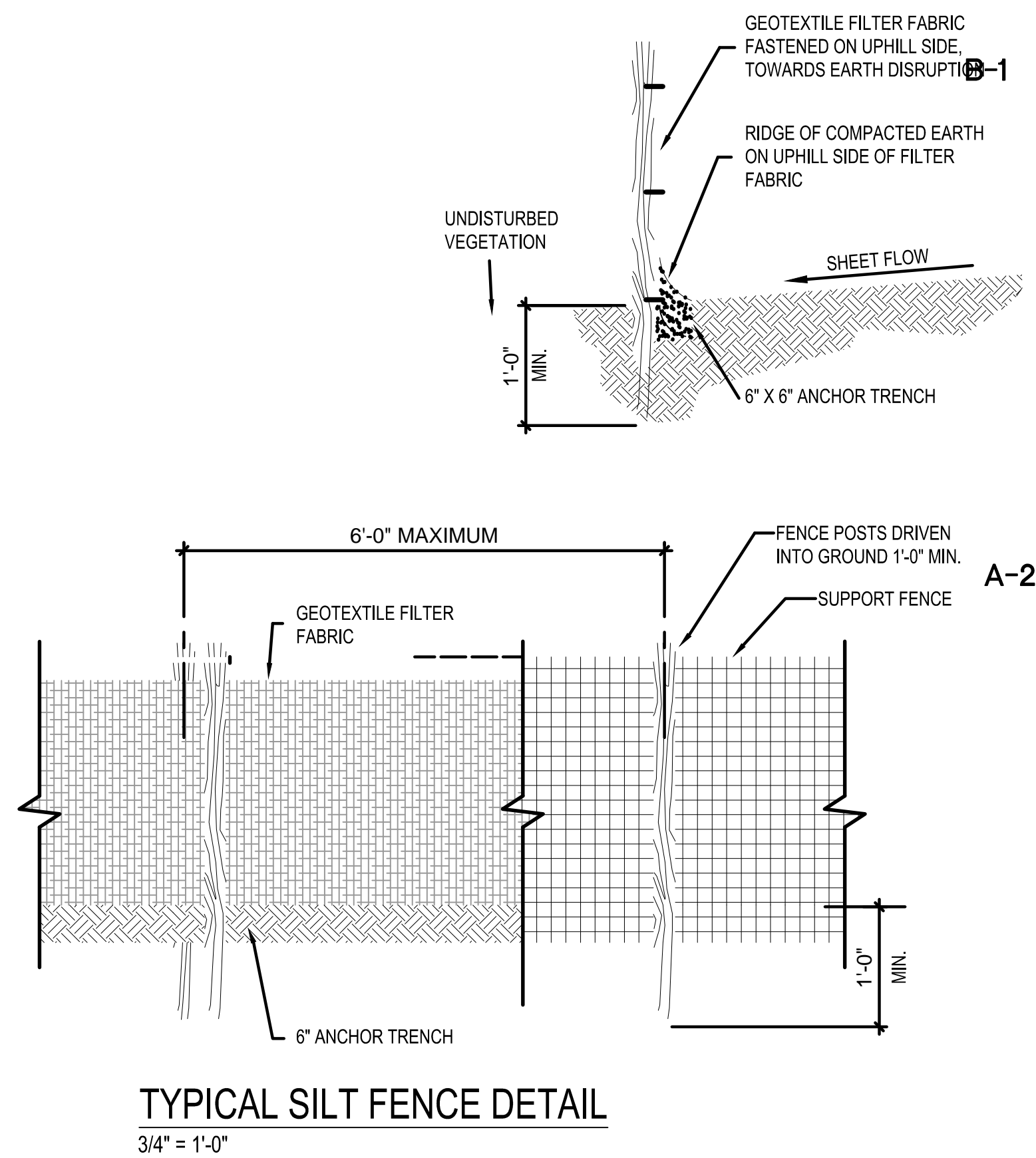
SEAL

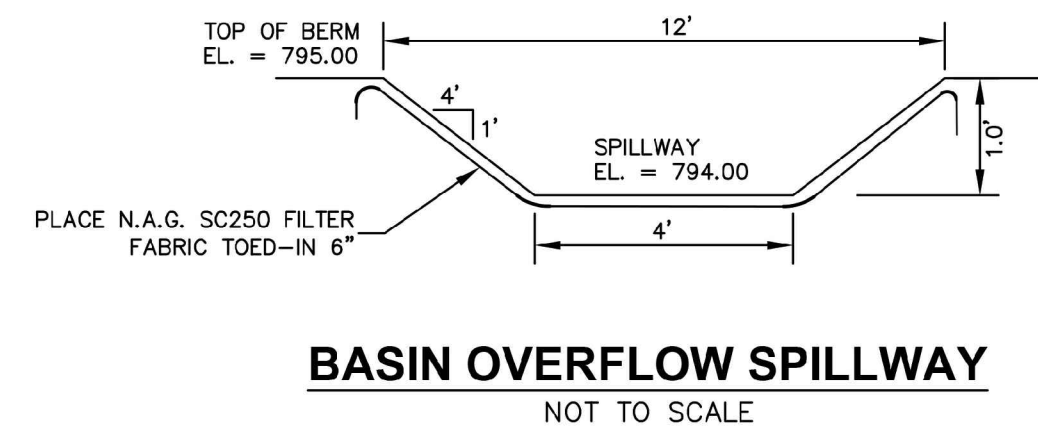
DRAWN BY JVB
CHECKED BY GLR
PROJECT NUMBER 2023011

T1.0

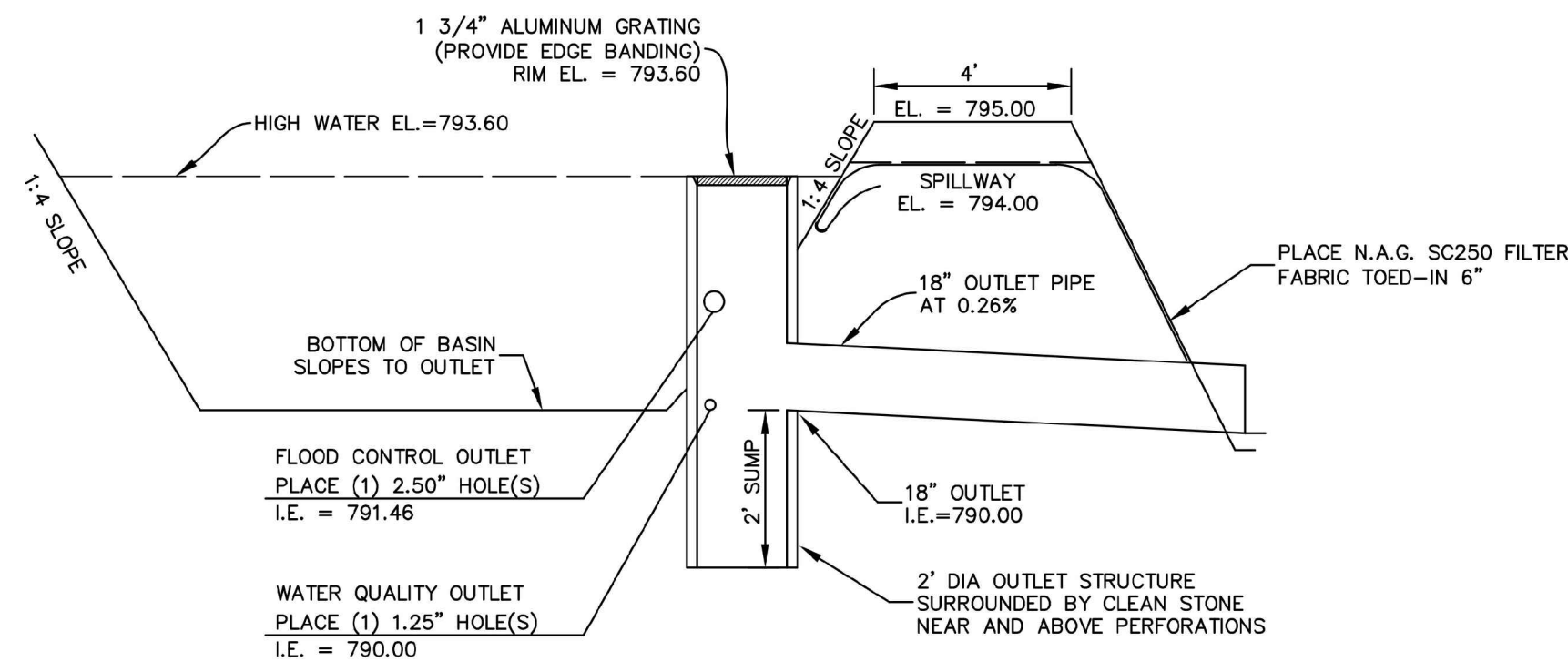
**MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET
S-E-S-C KEYING SYSTEM**

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
SEDIMENT CONTROLS			
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
E12	RIPRAP		Use along shorelines, waterways, or where concentrated flows occur. Slows velocity, reduces sediment load, and reduces erosion.
E9	MULCH BLANKETS		On exposed slopes, newly seeded areas, new ditch bottoms, or areas subject to erosion.

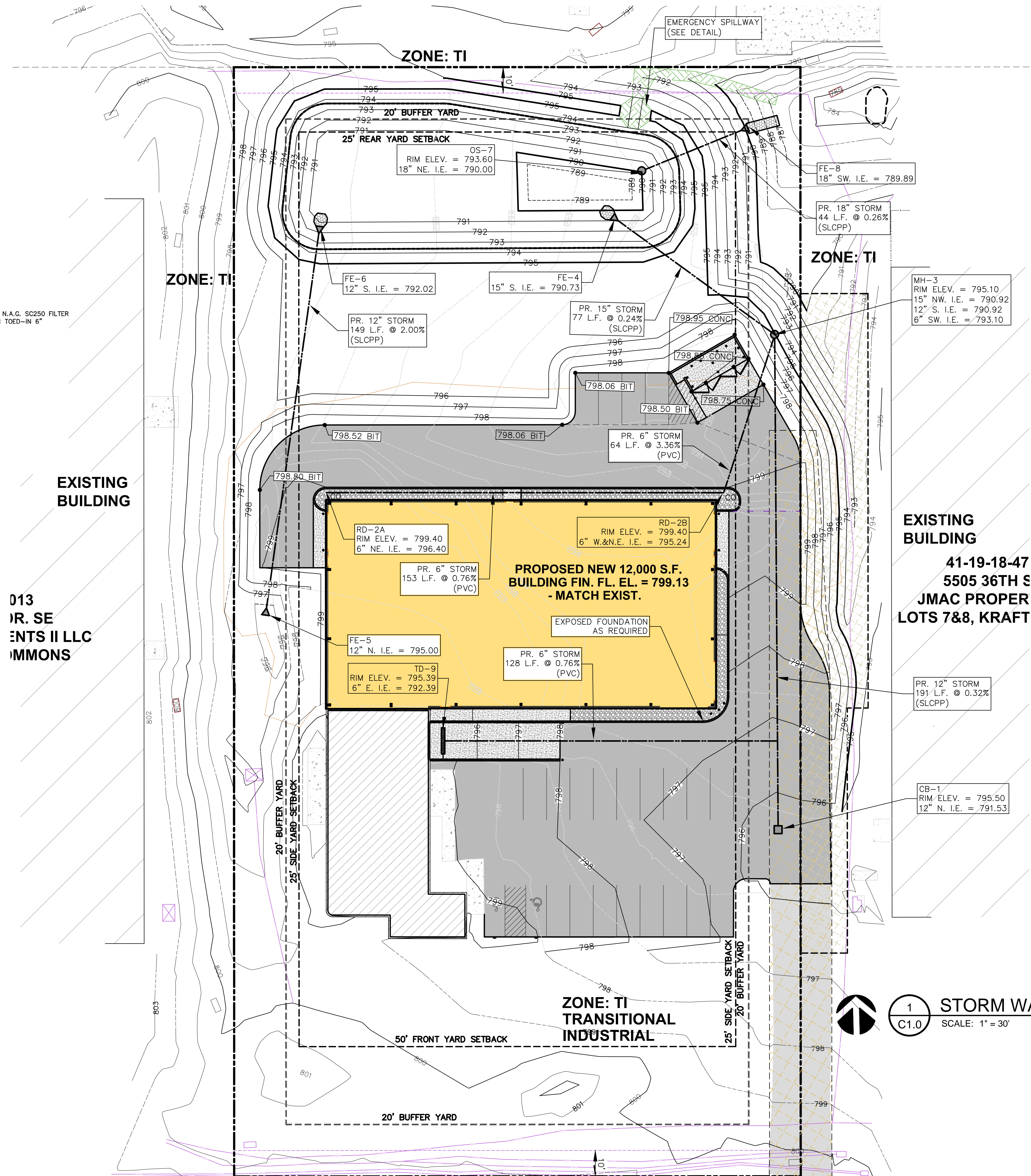




BASIN OVERFLOW SPILLWAY
NOT TO SCALE



BASIN OUTLET STRUCTURE (OS-7)
NOT TO SCALE



013
JR. SE
ENTS II LLC
MMONS

EXISTING
BUILDING

EXISTING
BUILDING
41-19-18-47
5505 36TH S
JMAC PROPER
LOTS 7&8, KRAFT

1 STORM WATER SITE PLAN
C1.0 SCALE: 1" = 30'

**METAL WAREHOUSE
ADDITION**
5441 36TH ST. SE CASCADE TWP.
GRAND RAPIDS, MI 49512

SITE PLAN COMMENTS	10/31/23
SITE PLAN APPROVAL	10/5/23

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SEAL	
DRAWN BY	JVB
CHECKED BY	GLR
PROJECT NUMBER	2023011

C2.0



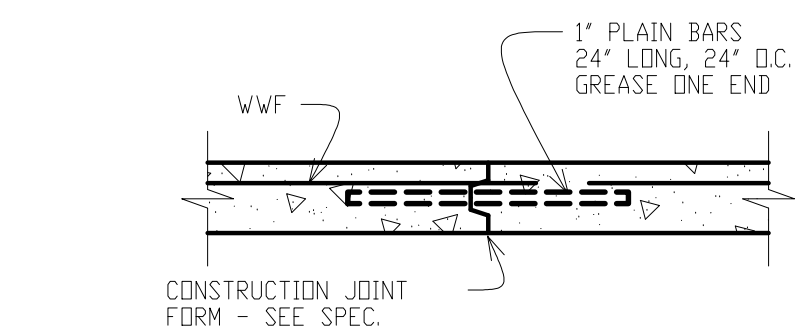
**METAL WAREHOUSE
ADDITION**
5441 36TH ST. SE CASCADE TWP.
GRAND RAPIDS, MI 49512

SITE PLAN APPROVAL 10/5/23

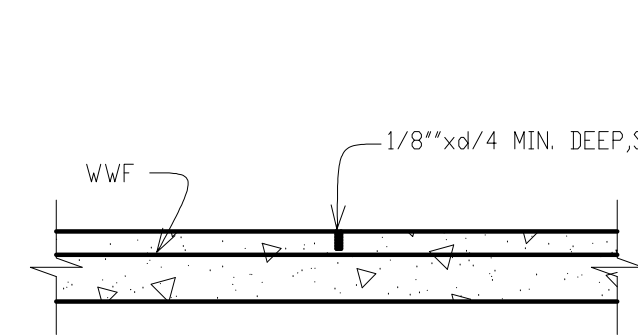
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SEAL
DRAWN BY JVB
CHECKED BY GLR
PROJECT NUMBER 2023011

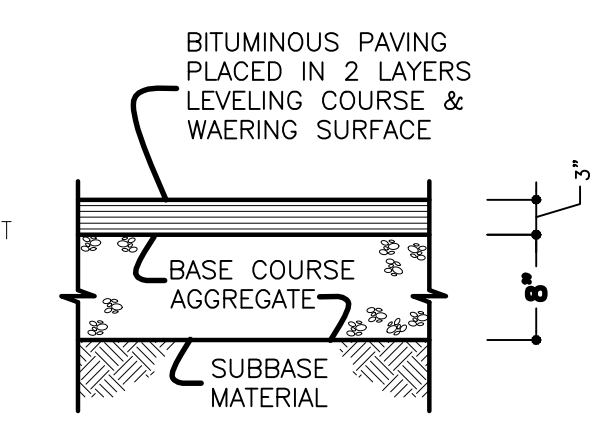
C3.0



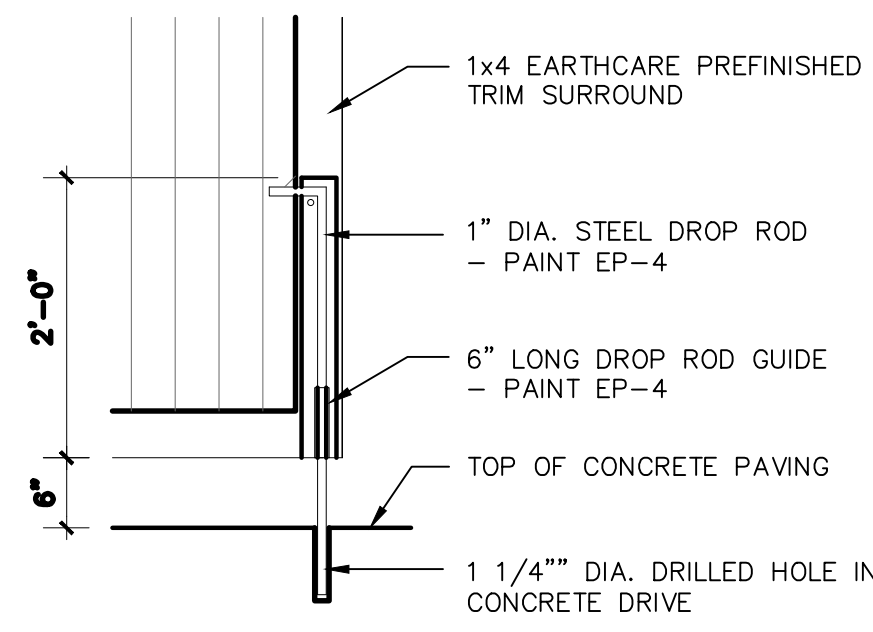
TYPICAL CONSTRUCTION JOINT DETAIL



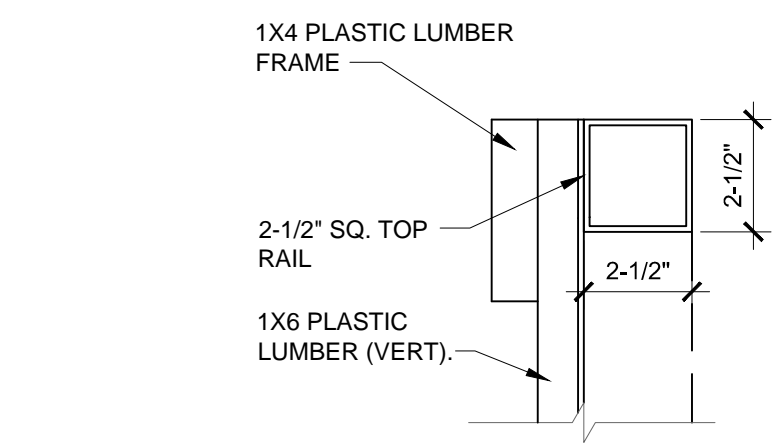
TYPICAL CONTROL JOINT DETAIL



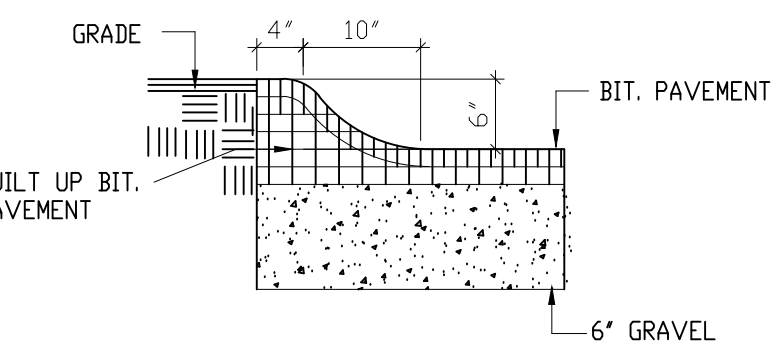
TYPICAL STANDARD DUTY PAVING SECTION



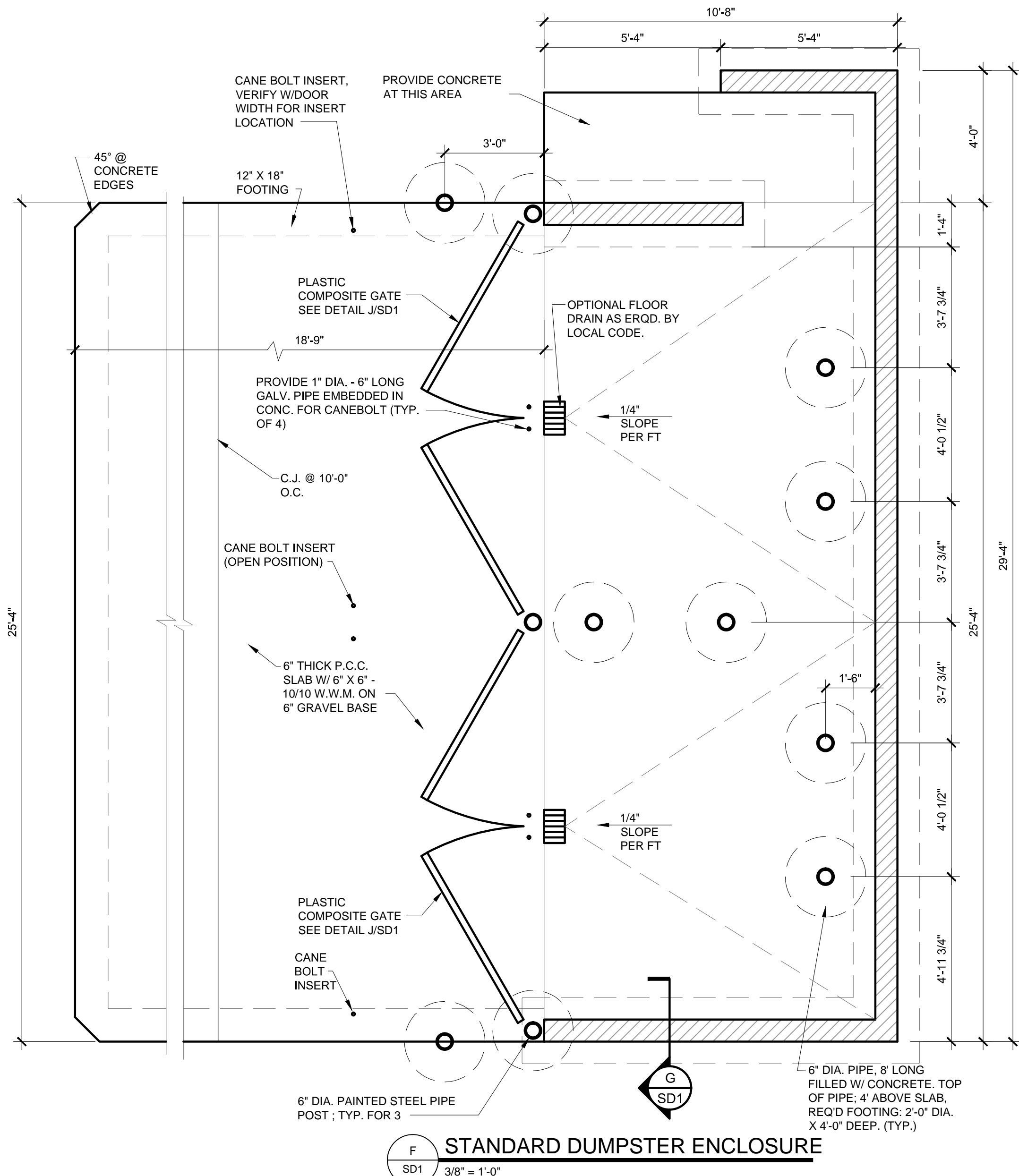
DROP ROD DETAIL



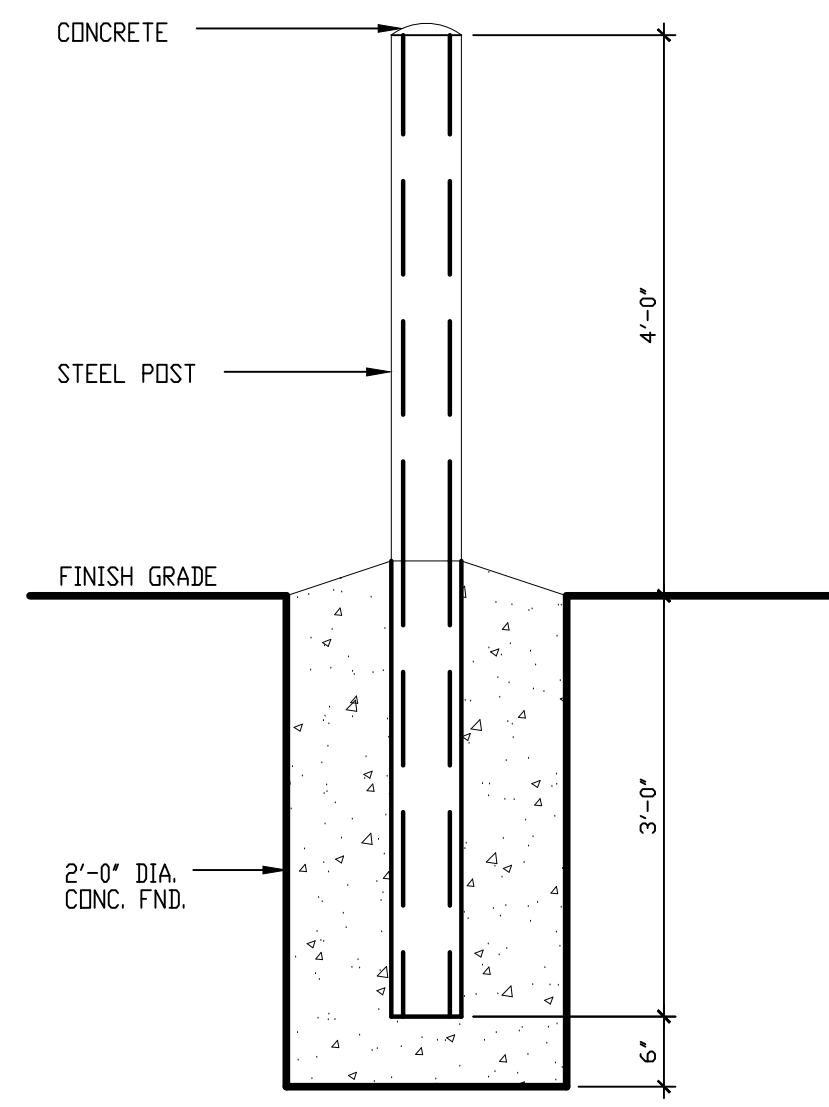
FLASHING DETAIL



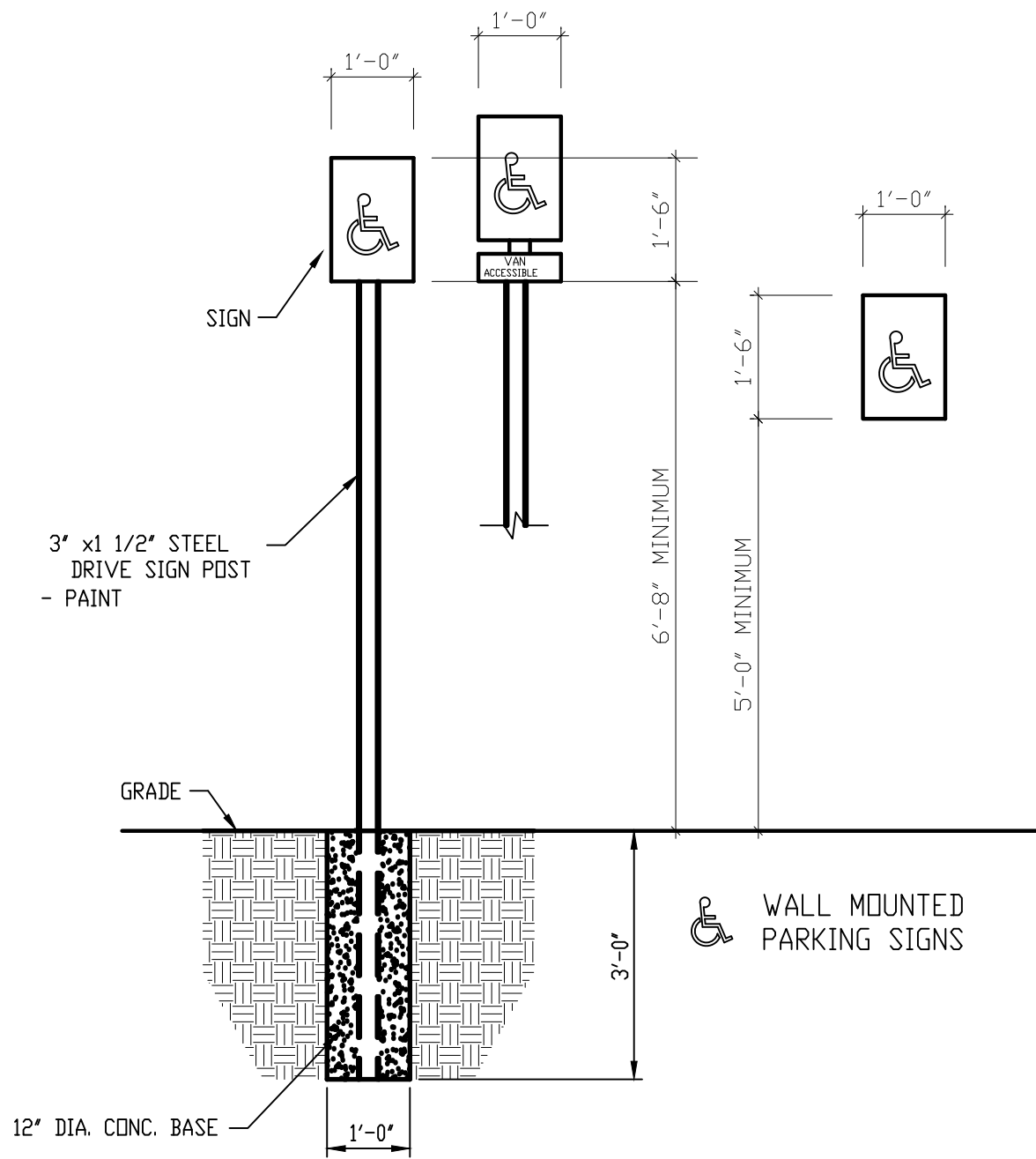
TYPICAL ASPHALT ROLLED CURB DETAIL



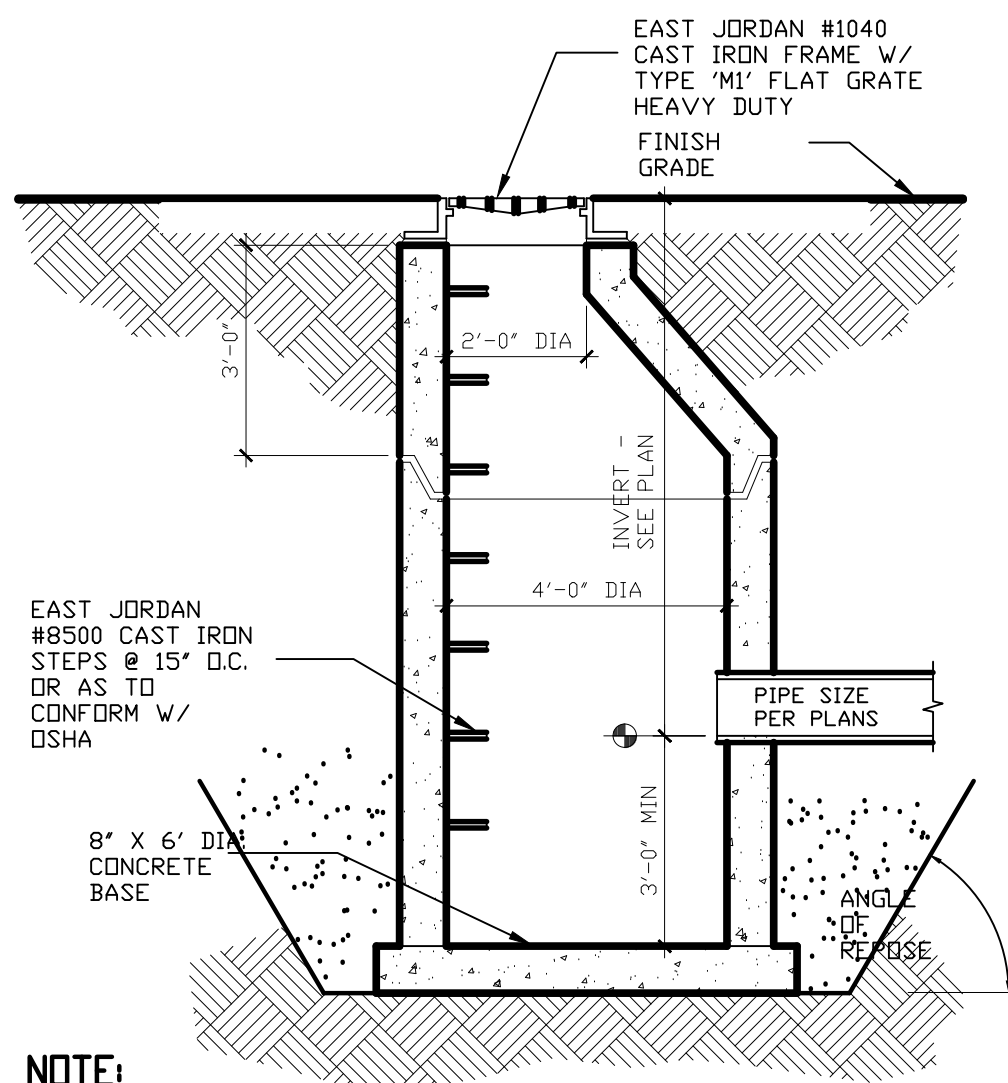
STANDARD DUMPSTER ENCLOSURE



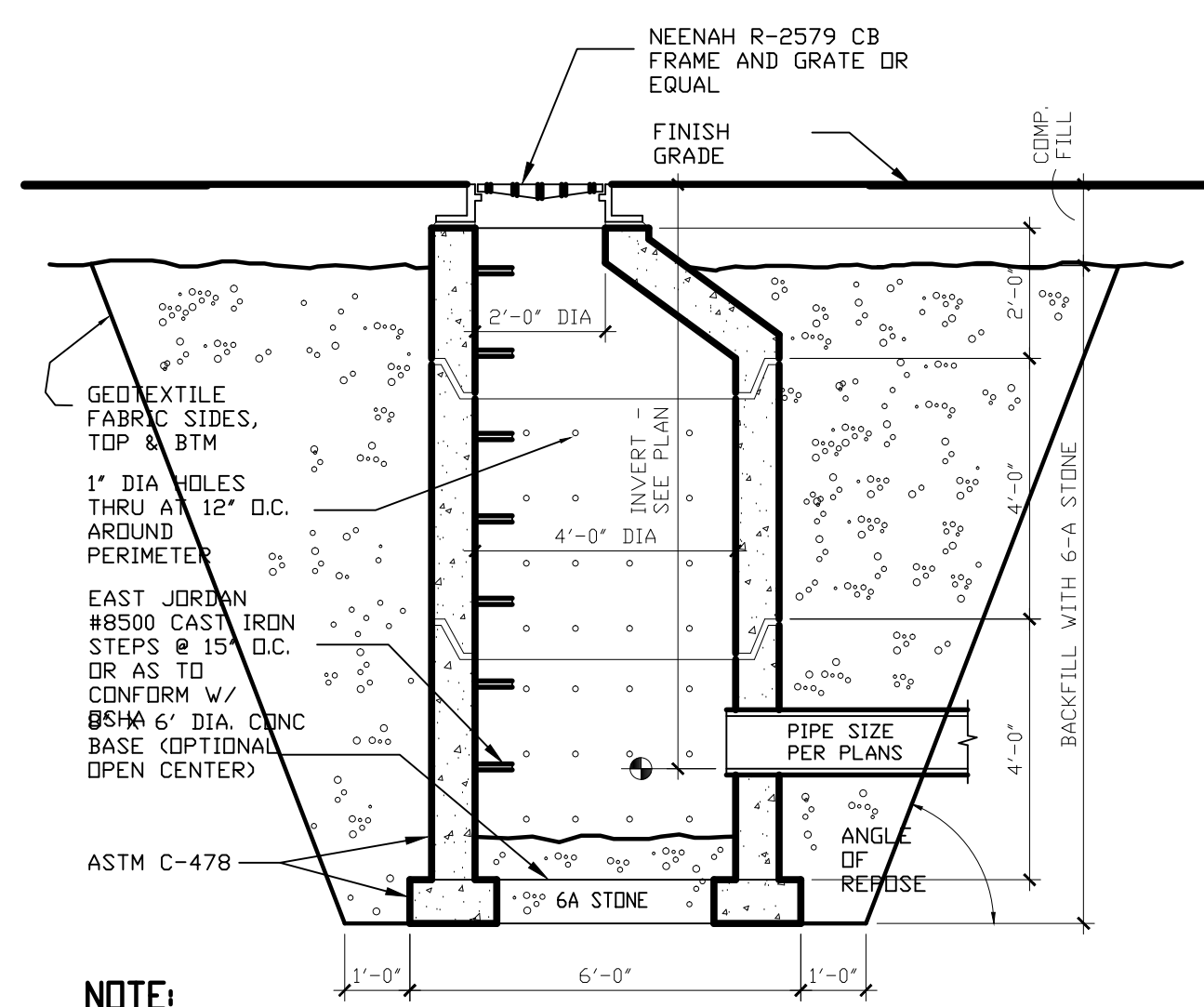
TYPICAL BUMPER POST DTL



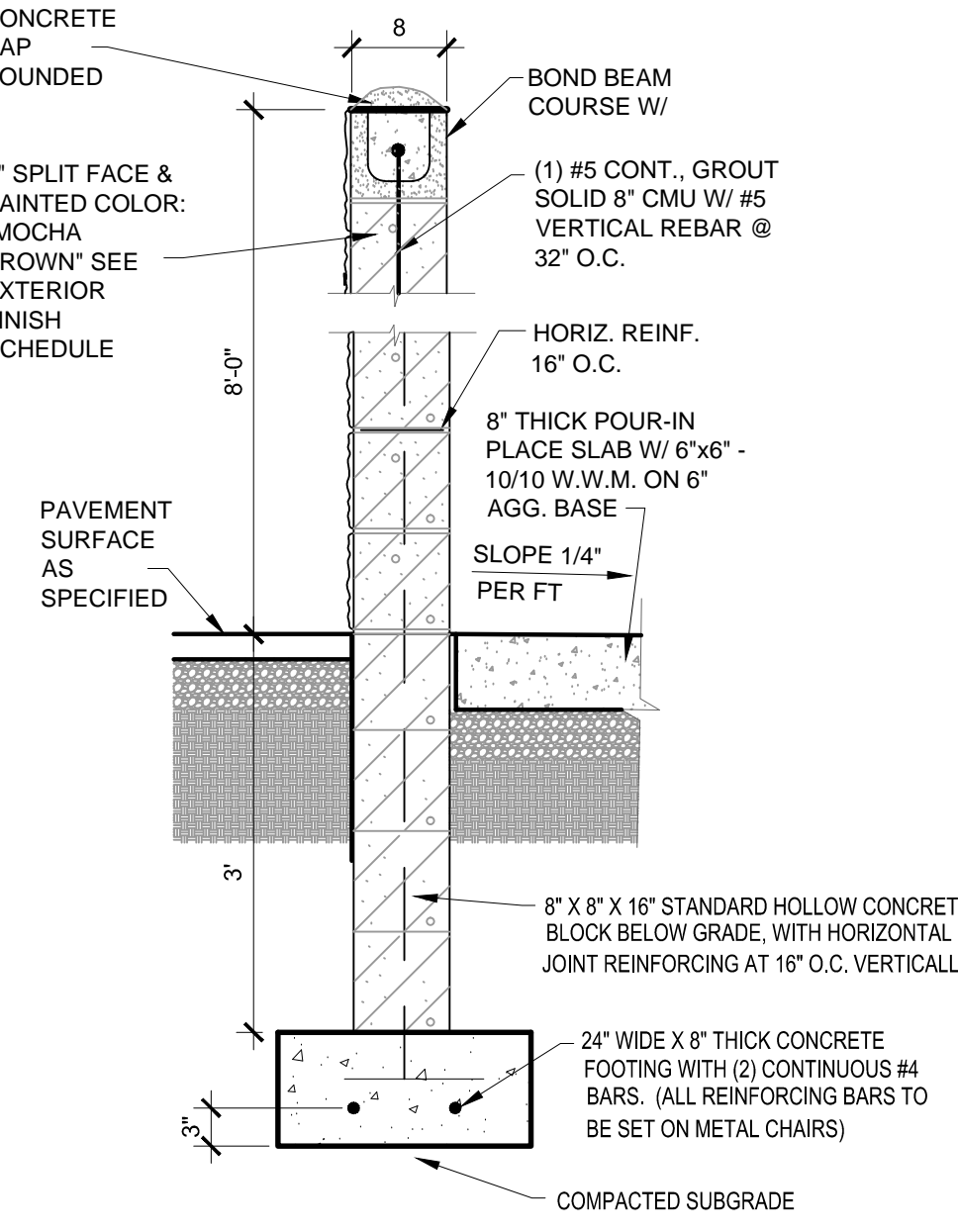
TYPICAL B.F. SIGN POST DETAIL



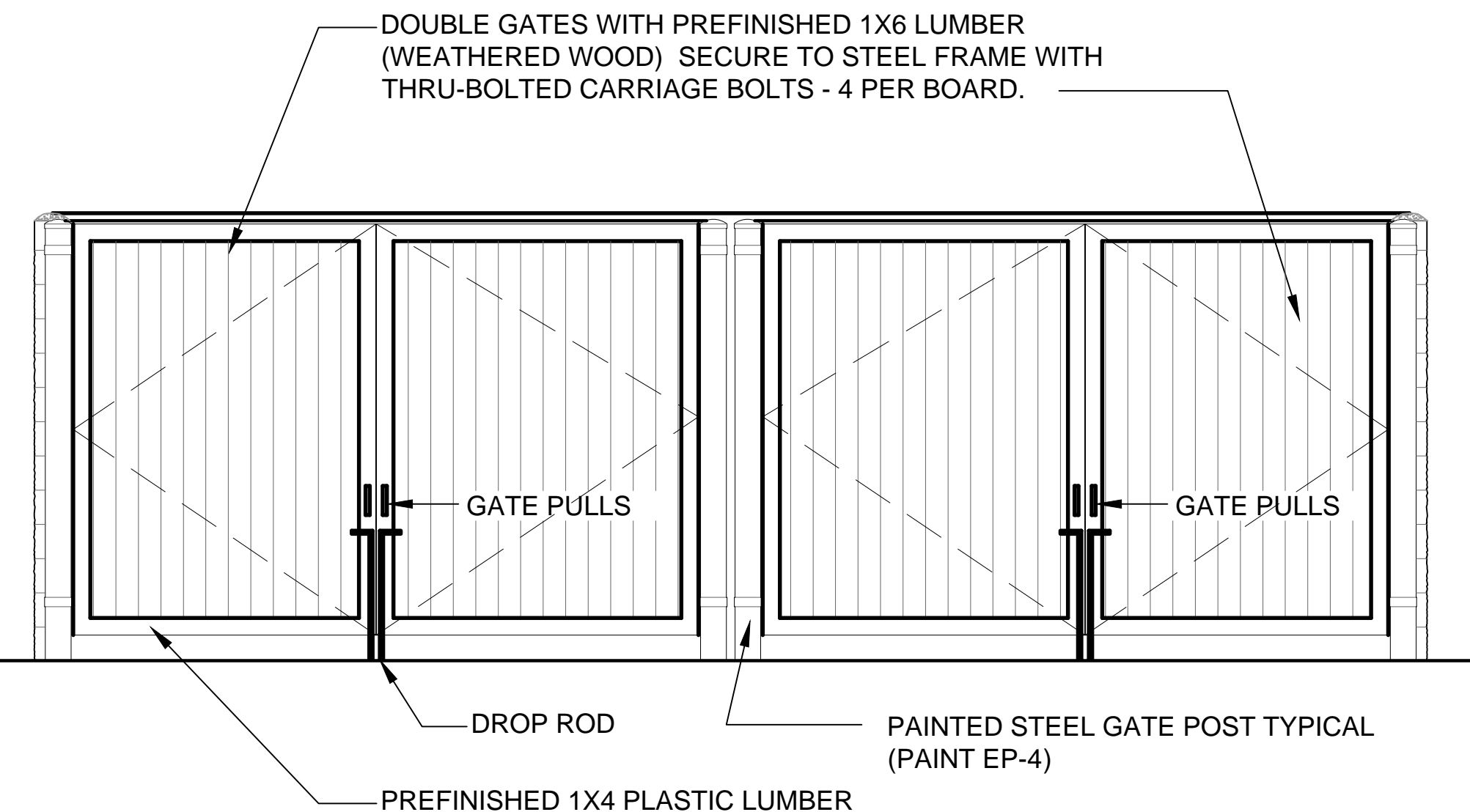
TYPICAL CATCH BASIN DTL



PRECAST LEACHING BASIN DTL



DUMPSTER WALL SECTION



DUMPSTER ENCLOSURE & GATE ELEV.

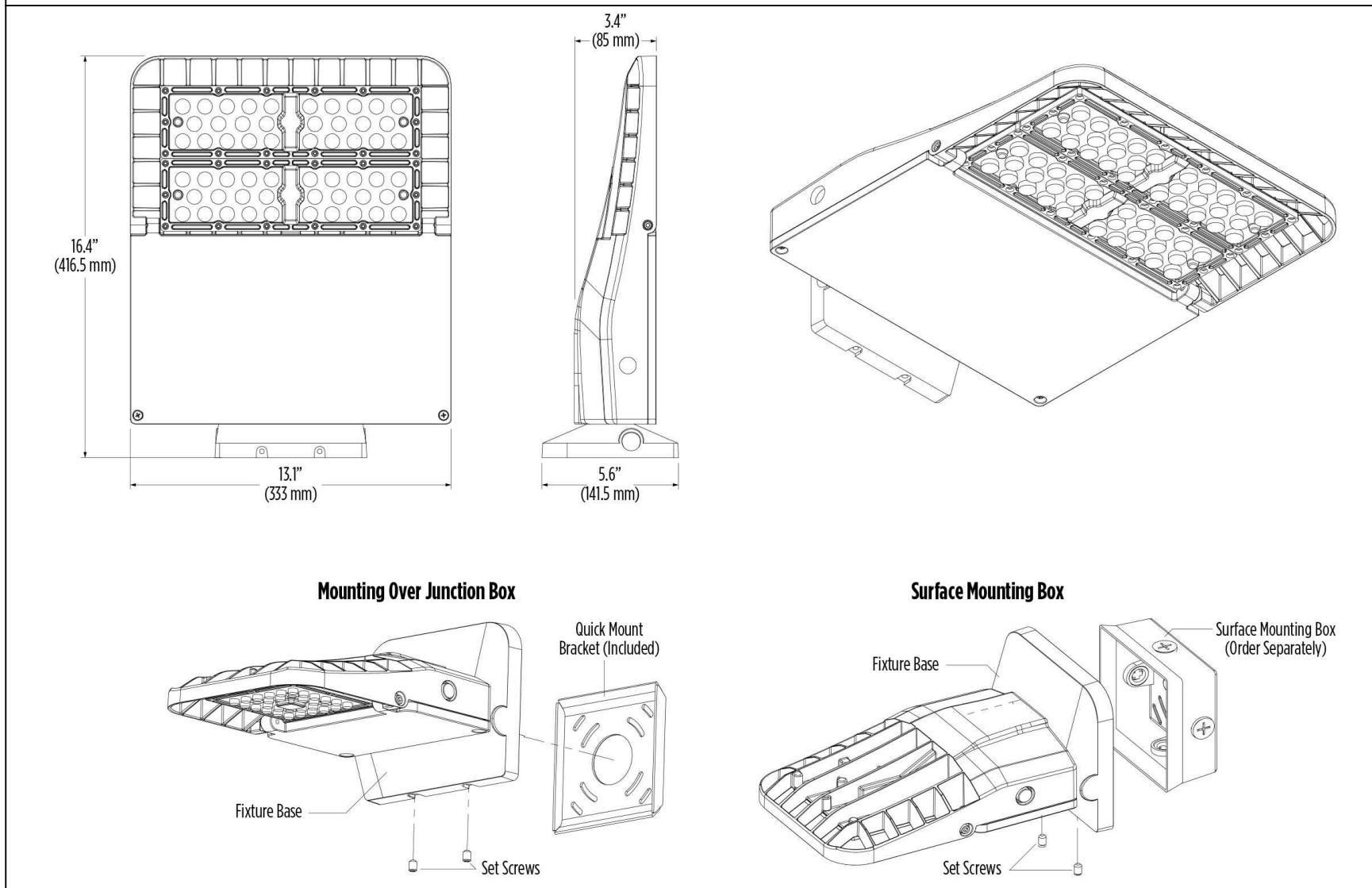
Large Commercial Wall (SLW) LED Wall Light



OVERVIEW	
Lumen Package (lm)	14,000 - 20,000
Wattage Range (W)	104 - 156
Efficacy Range (LPW)	123 - 138
Color Temperature (K)	4,000, 5,000
Weight lbs (kg)	10 (4.5)

QUICK LINKS

- Ordering Guide
- Performance
- Photometrics
- Dimensions

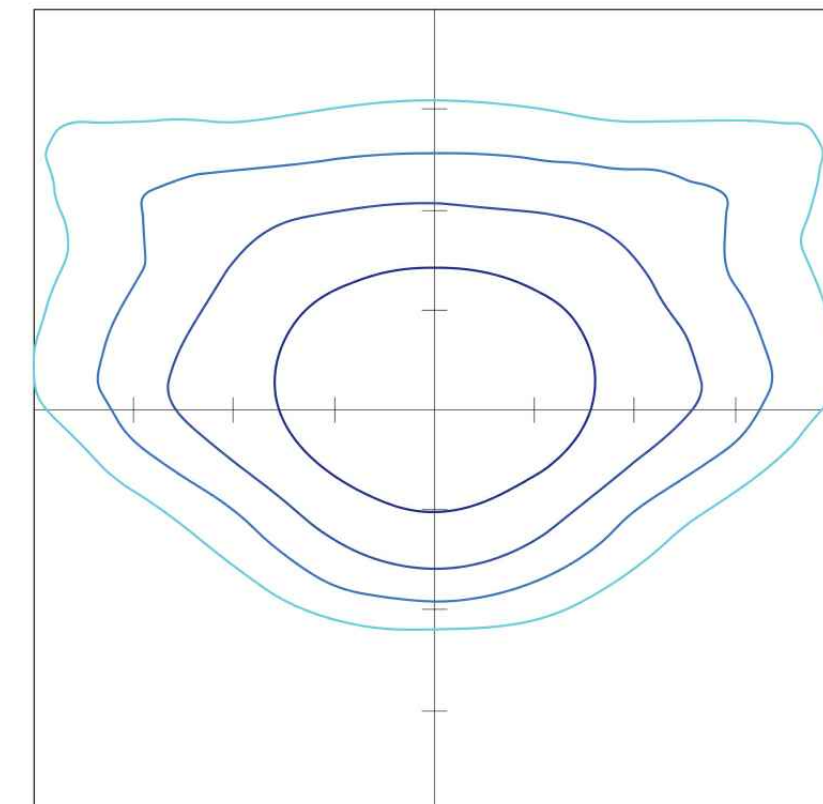


SLW-20L-3-40

Luminaire Data	
Wide Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	19,955
Watts	155
Efficacy	129
IES Type	Type IV - Medium
BUG Rating	B3-U0-G3

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3,532	18%
Medium (30-60°)	9,621	48%
High (60-80°)	6,297	32%
Very High (80-90°)	505	3%
Uplight (90-180°)	0	0%
Total Flux	19,955	100%

ISO Footcandle

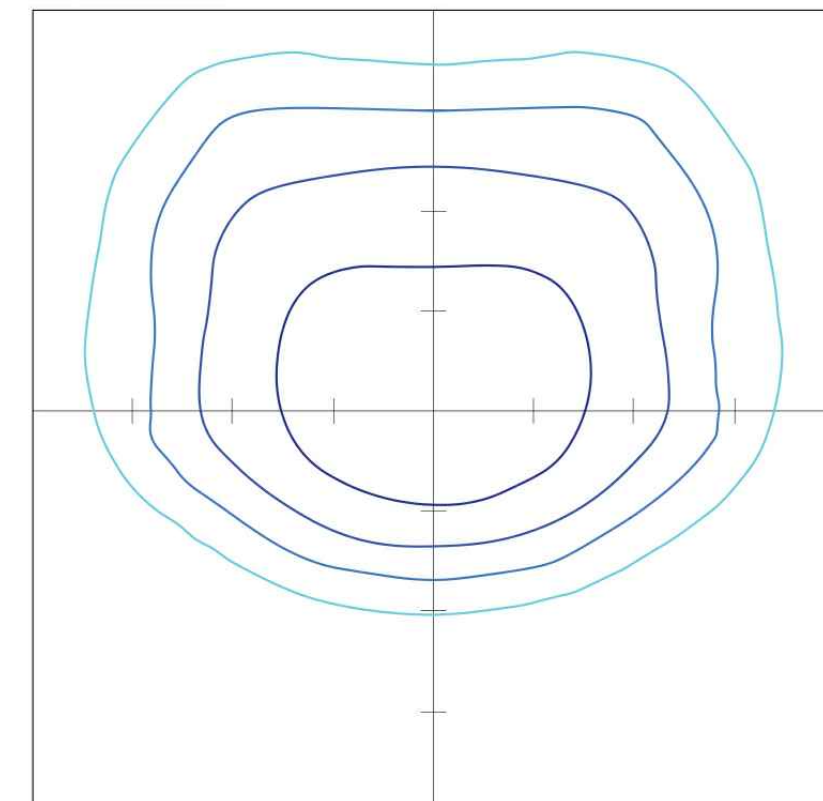


SLW-20L-FT-40

Luminaire Data	
Wide Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	19,827
Watts	155
Efficacy	128
IES Type	Type IV - Short
BUG Rating	B3-U0-G3

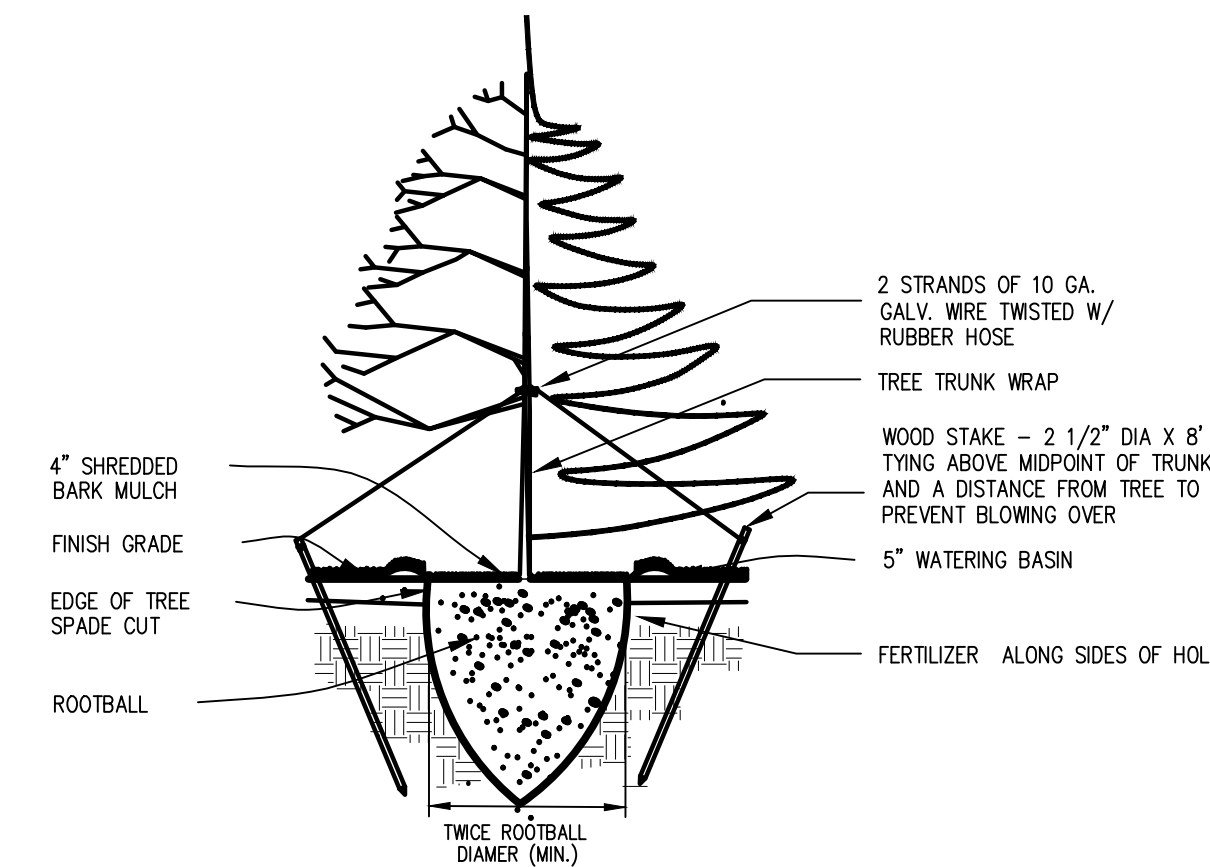
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3,445	17%
Medium (30-60°)	9,803	49%
High (60-80°)	6,337	32%
Very High (80-90°)	243	1%
Uplight (90-180°)	0	0%
Total Flux	19,827	100%

ISO Footcandle



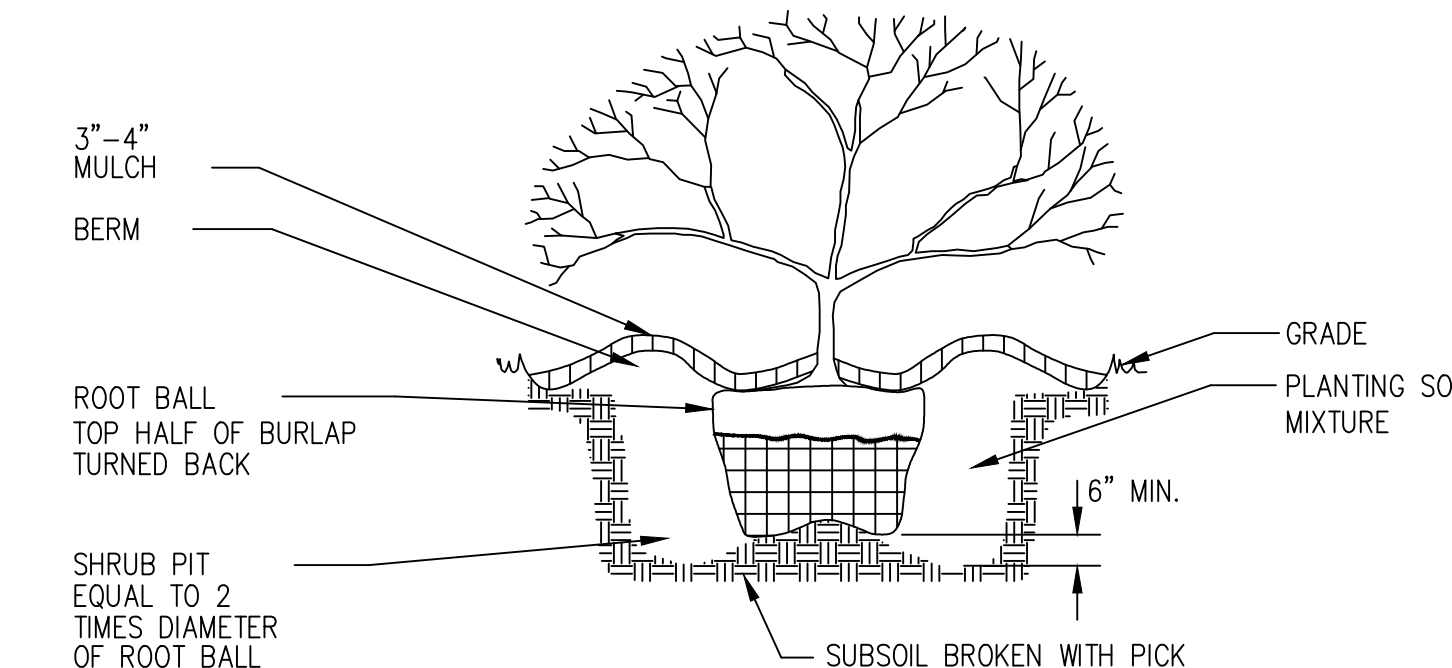
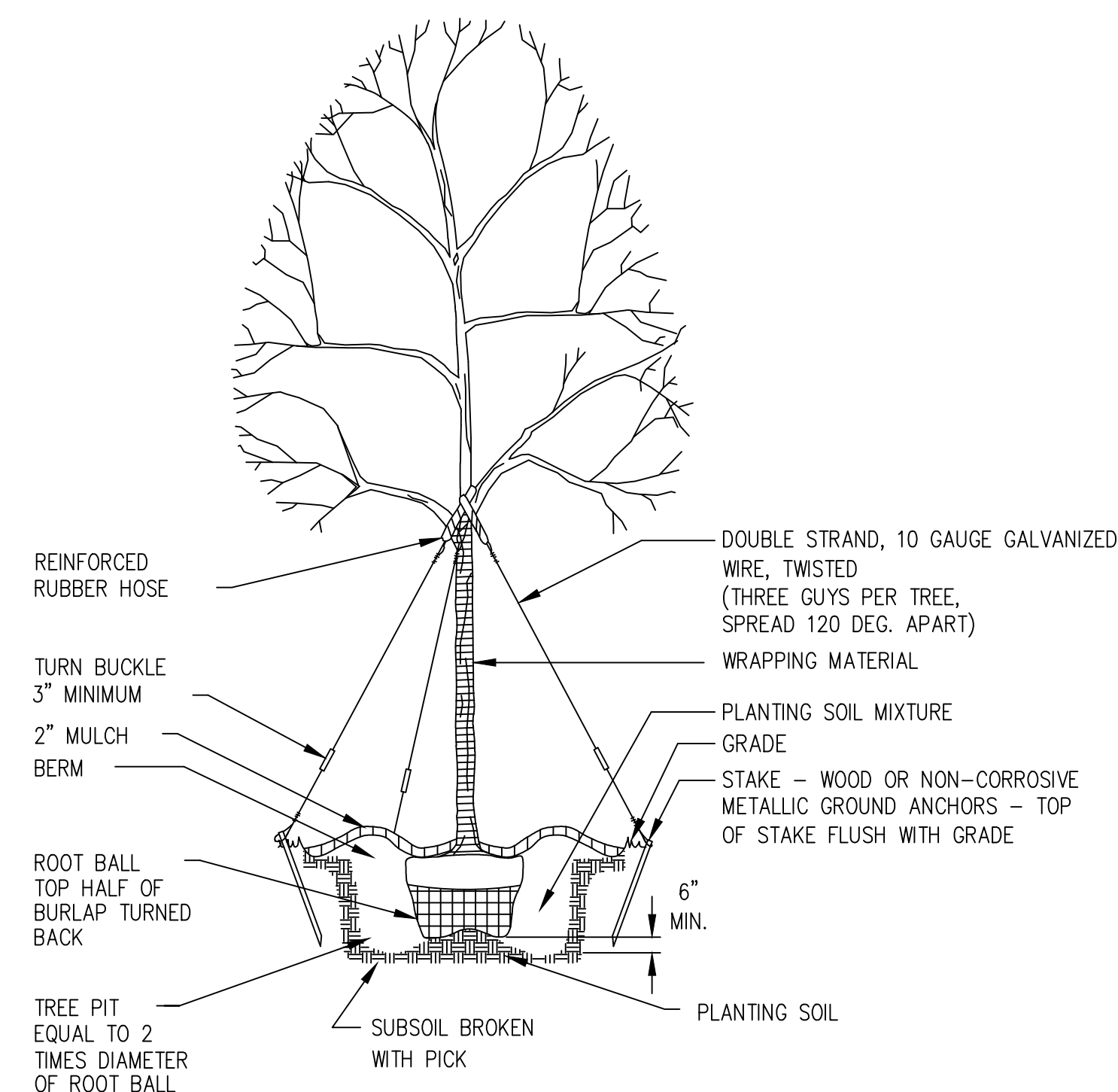
PLANT MATERIAL SCHEDULE

AMOUNT		COMMON NAME	LATIN NAME	SIZE
14	UNDERSTORY	AUTUMN FLOWERING CHERRY	Prunus Subhirtella 'Autumnalis'	2 1/2" Cal
12	CANOPY	RED SUNSET RED MAPLE	Acer rubrum 'Franksred'	2 1/2" Cal
14	CANOPY	EASTERN REDBUD	Cercis canadensis	2 1/2" Cal
3	EVERGREEN	EXISTING COLORADO SPRUCE	Picea pungens	5' HT.
22	UNDERSTORY	CORNUS KOUSA CHINESE DOG WOOD	Cornus kousa chinensis	2 1/2" Cal
4	SHRUB DEC.	DWARF BURNING BUSH	Euonymus alata 'Compacta'	24"
24	SHRUB EVER.	Blue Point Juniper	Juniperus Chinensis 'Blue Point'	24"
13	SHRUB DEC.	DWARF REDLEAF JAPANESE BARBERRY	Berberis Thunbergii 'Atropurpurea Nana'	24"
AS REQ'D. PER PLAN		CARPET BUGLE	Ajuga reptans	VARIES
		TRAILING PERIWINKLE	Vinca minor	VARIES
31	SHRUB DEC.	KARL FOERSTER FEATHER REED GRASS	Calamagrostis x Acutiflora 'Karl Foerster'	VARIES
11	SHRUB DEC.	DWARF BLUE ARTIC WILLOW SHRUB	Salix Purpurea 'Nana' Dwarf	24"
12	UNDERSTORY	Spring Glory Shadblow Serviceberry	Amelanchier Canadensis 'Sprizam'	24"
AS REQ'D. PER PLAN		HOSTA		VARIES
		HARDY GERANIUM		VARIES
		CREeping MYTLE		VARIES



- NOTES:**
- 1" - 0" DIA. MIN. BARK MULCH BED AROUND ALL PLANTINGS (TYP.)
 - ALL LAWN AREA TO HAVE 4"-6" OF SANDY-LOAM TOPSOIL
 - HYDRO-SEED (ALL DISTURBED AREA)
 - 30% ARCTIC KENTUCKY BLUEGRASS
 - 30% 99/85 KENTUCKY BLUEGRASS
 - 20% THIRD GENERATION PERENNIAL RYEGRASS WITH ENDOPHYTE
 - 20% IMPROVED VARIETY CREEPING RED FESCUE
- FERTILIZER: 16-32-4 STARTER WITH SULPHUR, IRON MAGNESIUM QUICK RELEASE NITROGEN AND NO CHLORINE
- MULCH: 50% VIRGIN WOOD FIBER W/ ORGANIC TACKIFIER APPLICATION RATE OF 1,258 POUNDS PER ACRE.

TREE SPADE PLANTING DETAIL



**METAL WAREHOUSE
ADDITION**

5441 36TH ST. SE CASCADE TWP.
GRAND RAPIDS, MI 49512

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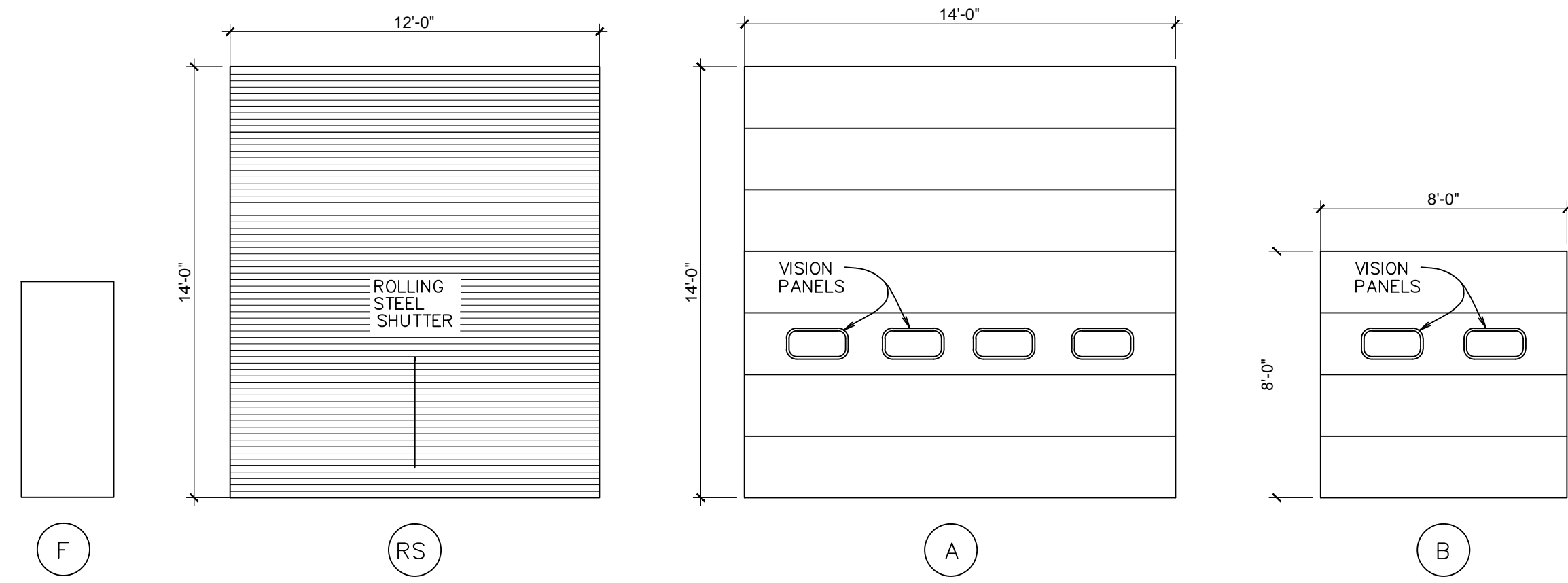
JVB
JAMES VANDEN BERGE
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SITE PLAN APPROVAL 10/5/23

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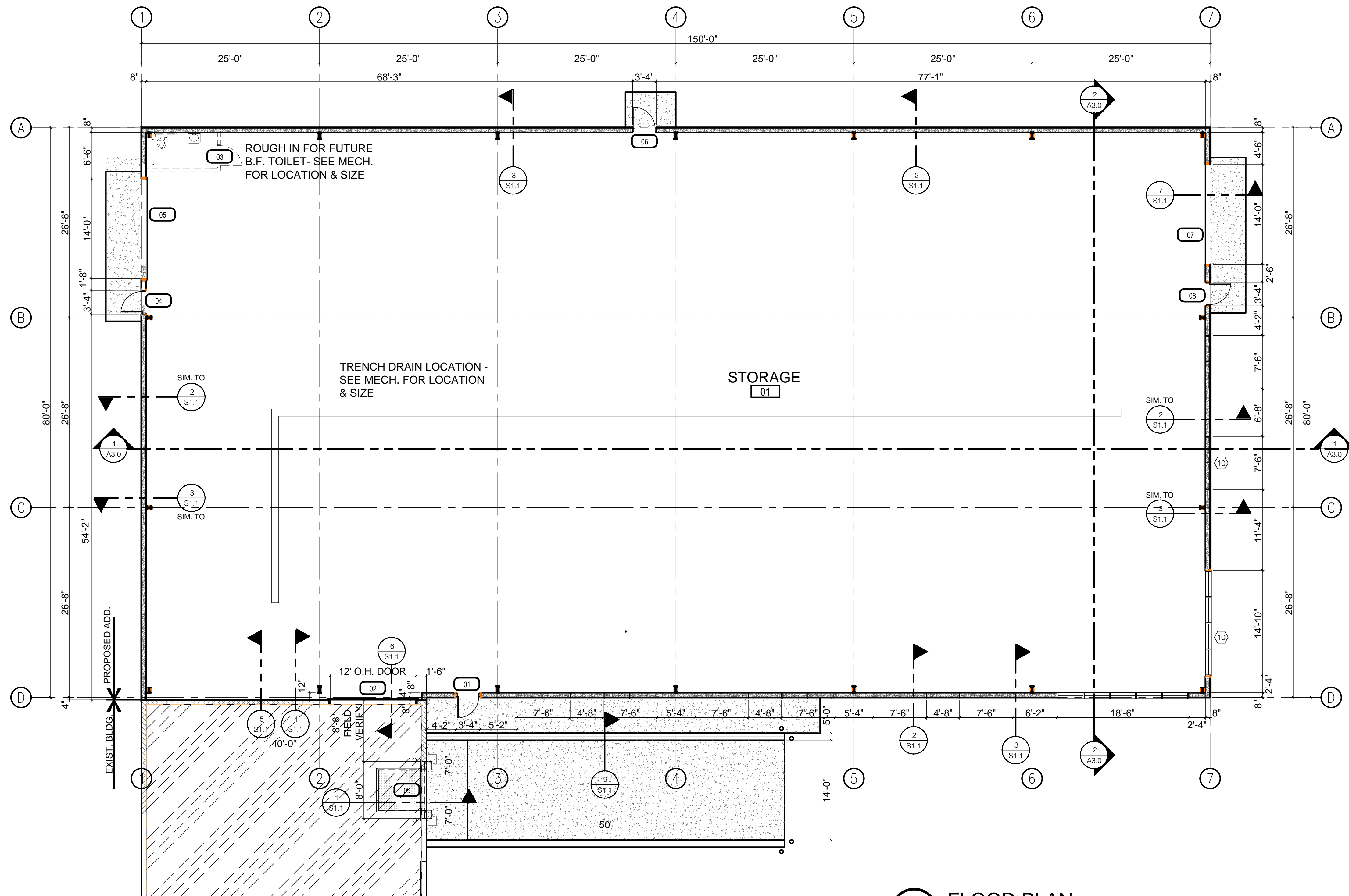
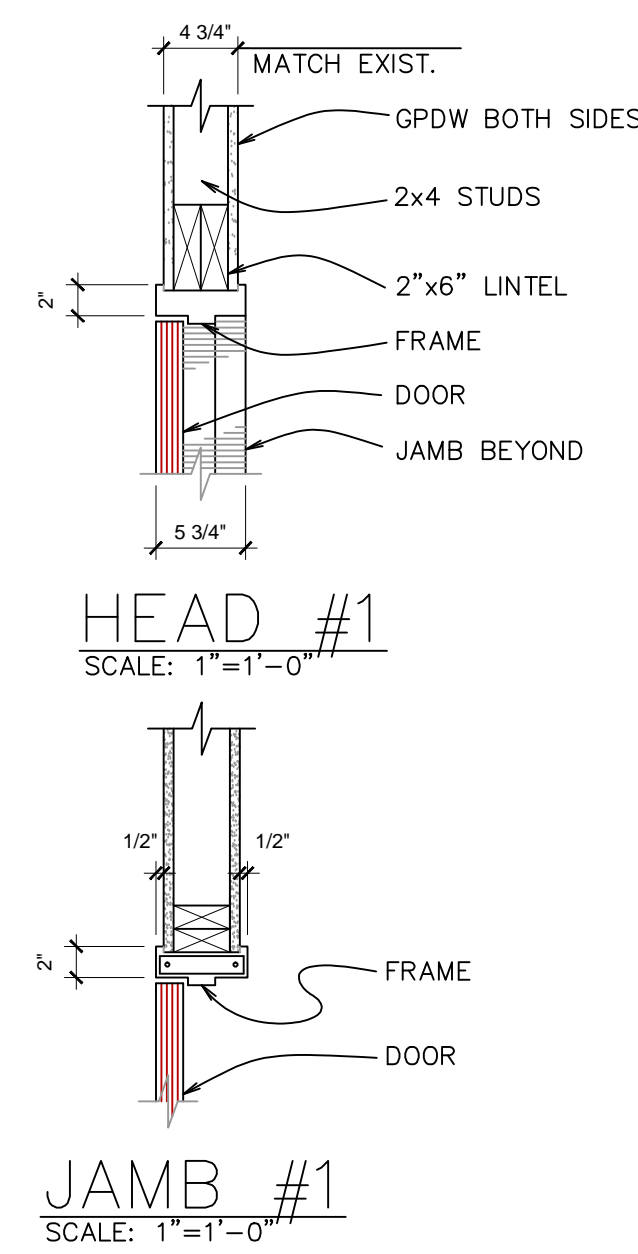
SEAL
DRAWN BY JVB
CHECKED BY GLR
PROJECT NUMBER 2023011

L2.0



DOOR TYPES

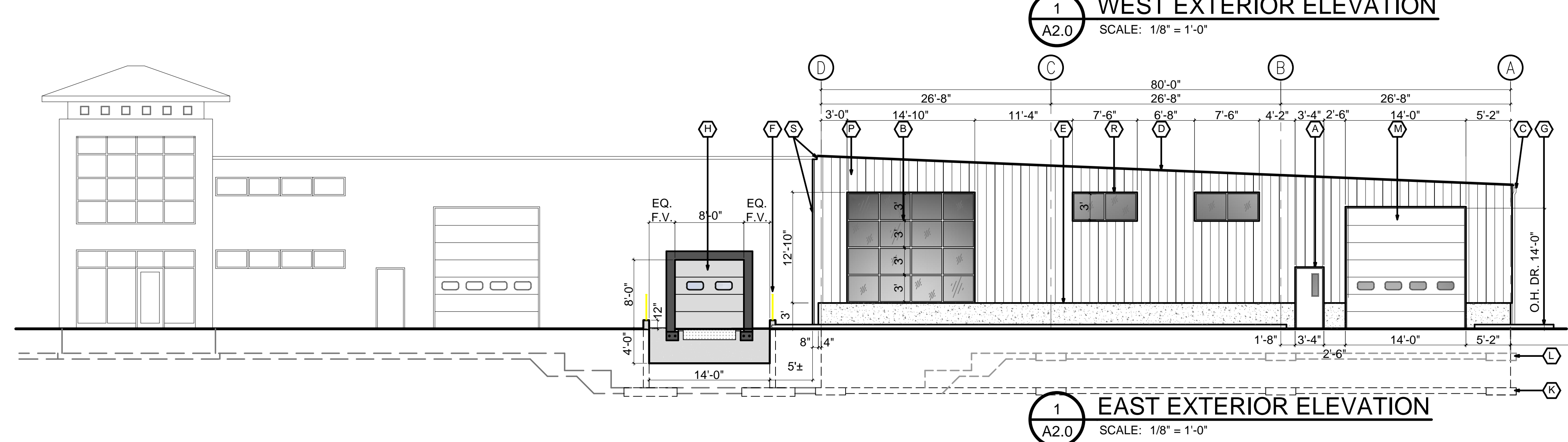
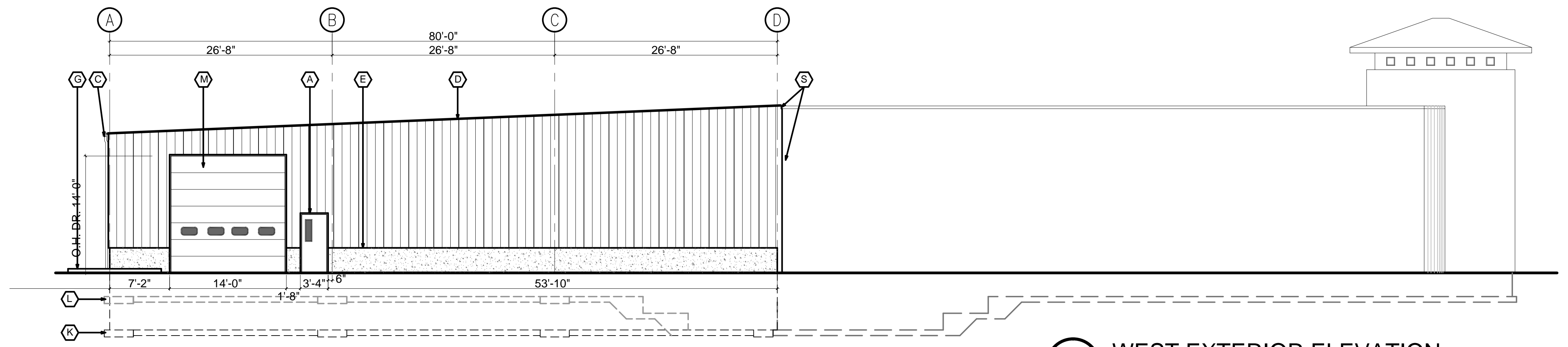
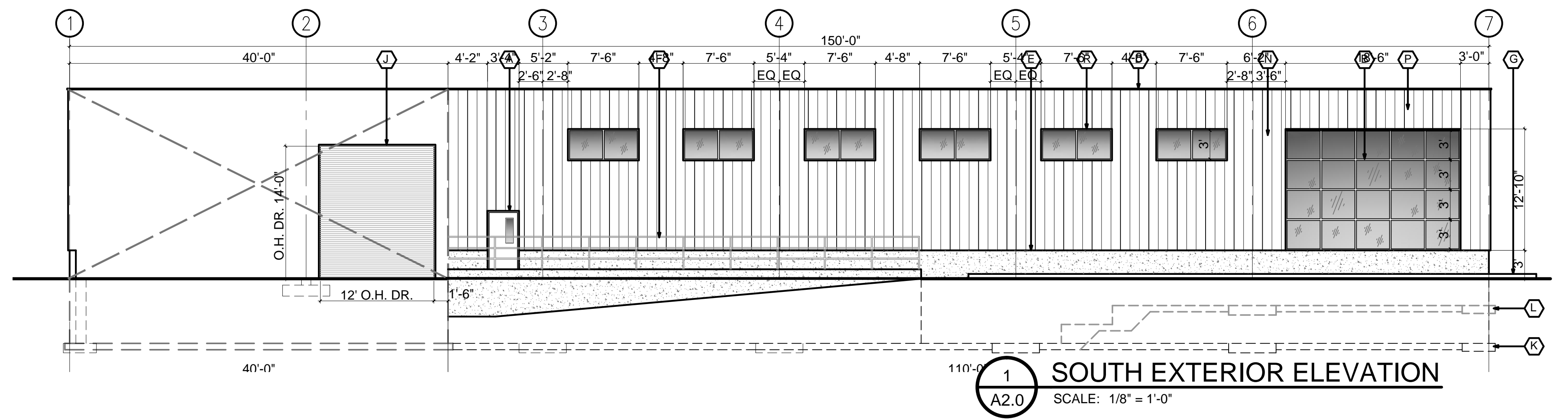
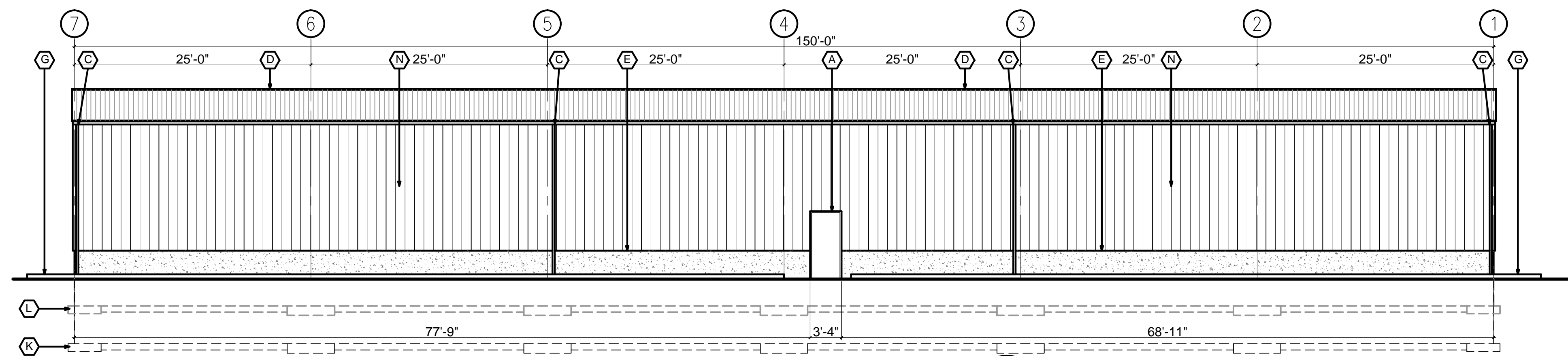
DOOR SCHEDULE										
DOOR NO.	ROOM NAME	DOOR WIDTH	DOOR HEIGHT	DOOR THK	DOOR MATL	DOOR TYPE	FRAME MATL	HEAD	JAMB	REMARKS/ NOTES
01	STORAGE	3'-0"	7'-0"	1-3/4"	H.M.	F	H.M.			
02	STORAGE	12'-0"	14'-0"	MANUF.	MANUF.	RS	MANUF.			
03	FUTURE UNISEX TOILET	3'-0"	7'-0"	1-3/4"	H.M.	F	H.M.			
04	STORAGE	3'-0"	7'-0"	1-3/4"	H.M.	F	H.M.			
05	STORAGE	14'-0"	14'-0"	MANUF.	MANUF.	A	MANUF.			
06	STORAGE	3'-0"	7'-0"	1-3/4"	H.M.	F	H.M.			
07	STORAGE	14'-0"	14'-0"	MANUF.	MANUF.	A	MANUF.			
08	STORAGE	3'-0"	7'-0"	1-3/4"	H.M.	F	H.M.			
09	STORAGE	8'-0"	8'-0"	MANUF.	MANUF.	B	MANUF.			



1 FLOOR PLAN
A1.0 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE		
A	DOOR	HOLLOW MTL. DOOR & FRAME – VERIFY COLOR W/OWNER
B	STOREFRONT GLAZING	ANODIZED ALUM. STOREFRONT SYSTEM – THERMAL FRAMING SYSTEM W/ TINTED 1" LOW-E THERMAL GLAZING
C	GUTTER & DOWNSPOUT	SEE PREFAB MANUF SPEC.
D	MTL. BLD'G. COPING	COLOR BY OWNER
E	3' CONC. WALL	SEE FOUNDATION PLAN
F	TRUCK DOCK RET. WALL	SEE FOUNDATION DETAILS
G	CONC. CURB	SEE SITE PLAN DETAILS
H	TRUCK DOCK DOOR SYSTEM	SEE FDN. DETAILS – VERIFY LOCATION, SIZE AND TYPE W/ OWNER
J	O.H. ROLL-UP DOOR	VERIFY SIZE AND TYPE W/ OWNER
K	FOUNDATION	SEE FOUNDATION PLAN
L	ALT. FDN. DESIGN	SEE FOUNDATION PLAN
M	DOOR	NEW OVERHEAD DOOR SYSTEM
N	SIDING	NEW MTL. WALL SYSTEM BY PREFAB. MANUF.
P	SIGNAGE	BY OWNER – LOCATION & SIZE TO BE APPROVED BY CASCADE TOWNSHIP
R	WINDOWS	WINDOW SYSTEM – THERMAL FRAMING SYSTEM W/ 1" LOW-E THERMAL GLAZING
S	FLASHING	FLASH & COUNTER FLASH AS REQ'D. FOR NEW CONSTRUCTION BETWEEN EXISTING AND NEW BLD'G.

SEE PREFAB. METAL BUILDING DOCUMENTS FOR EXACT HEIGHTS AND LOCATIONS OF STRUC. MEMBERS



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**METAL WAREHOUSE
ADDITION**
5441 36TH ST. SE CASCADE TWP.
GRAND RAPIDS, MI 49512

SITE PLAN COMMENTS	10/31/23
SITE PLAN APPROVAL	10/5/23

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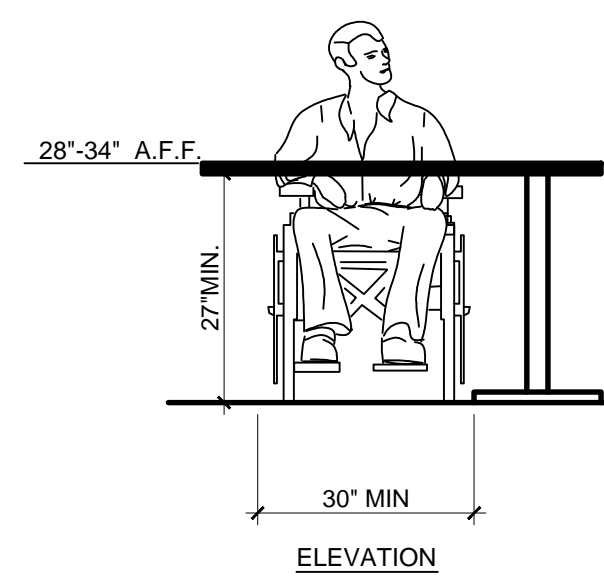
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DRAWN BY	JVB
CHECKED BY	GLR
PROJECT NUMBER	2023011

A2.0

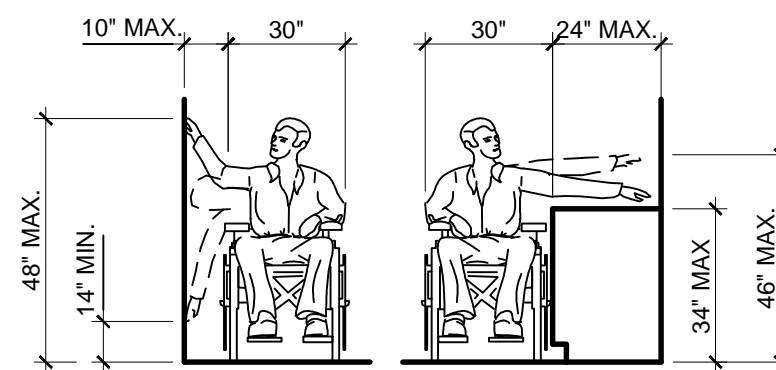
TOTAL SEATS ACCESSIBLE SEATS

1 - 20	1
21 - 40	2
41 - 60	3
61 - 80	4
81 - 100	5
101 - 120	6
121 - 140	7

NUMBER OF ACCESSIBLE SEATS



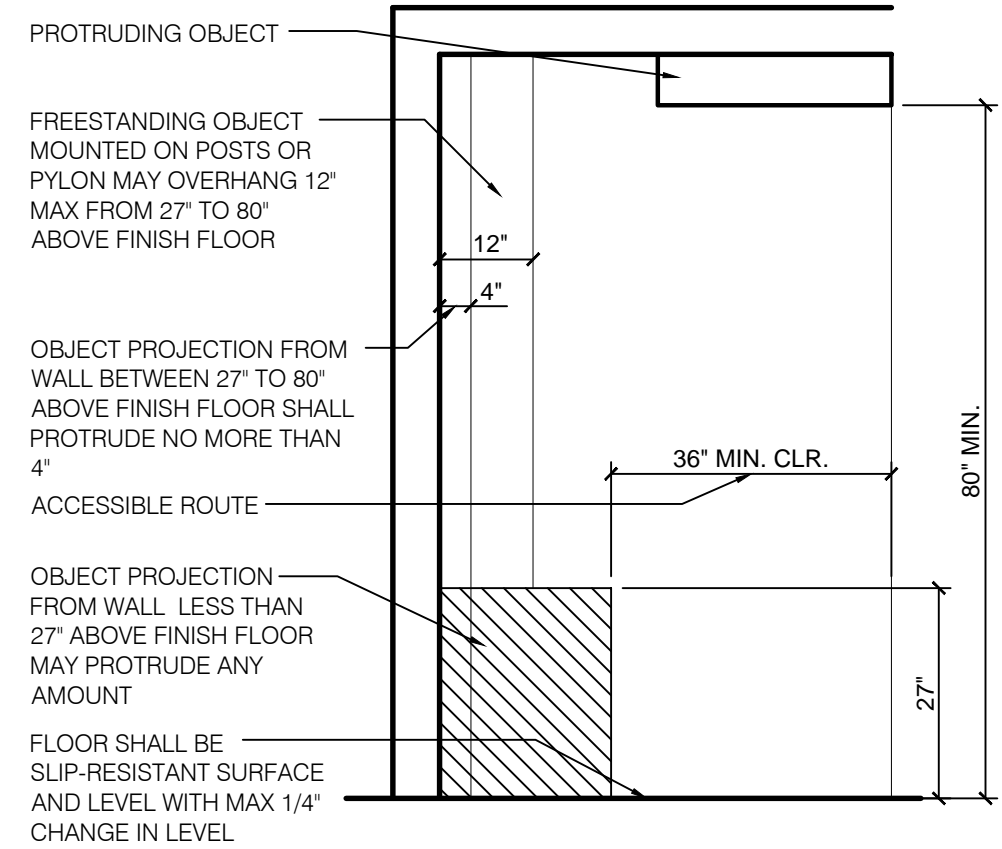
SEATING AND TABLES N.T.S. 18



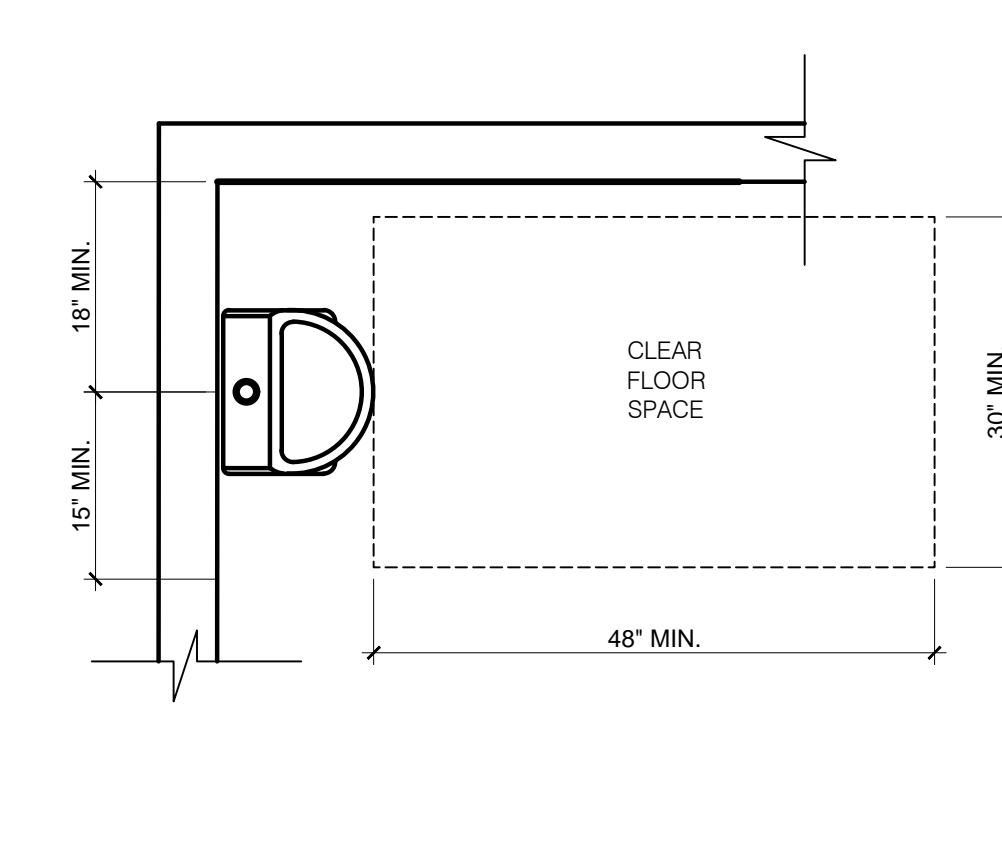
EXAMPLE: DRINK MACHINE, ETC.

CONDIMENTS

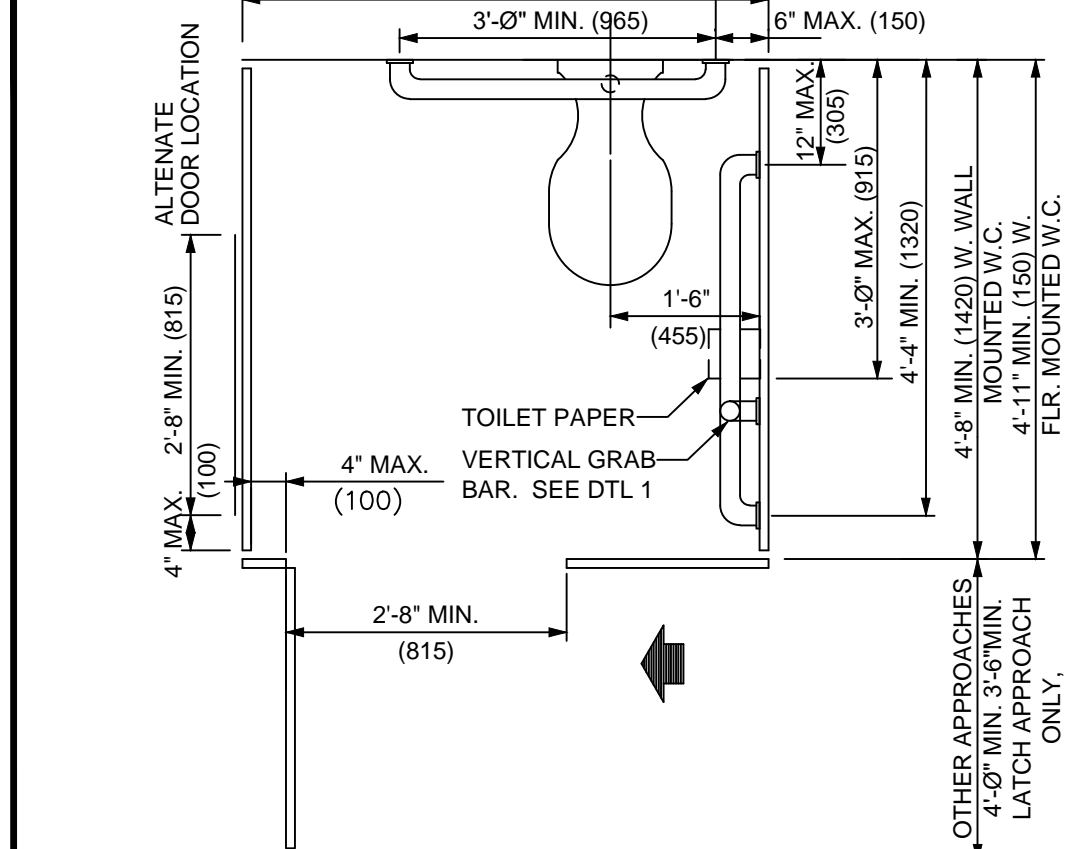
REACH RANGES N.T.S. 14



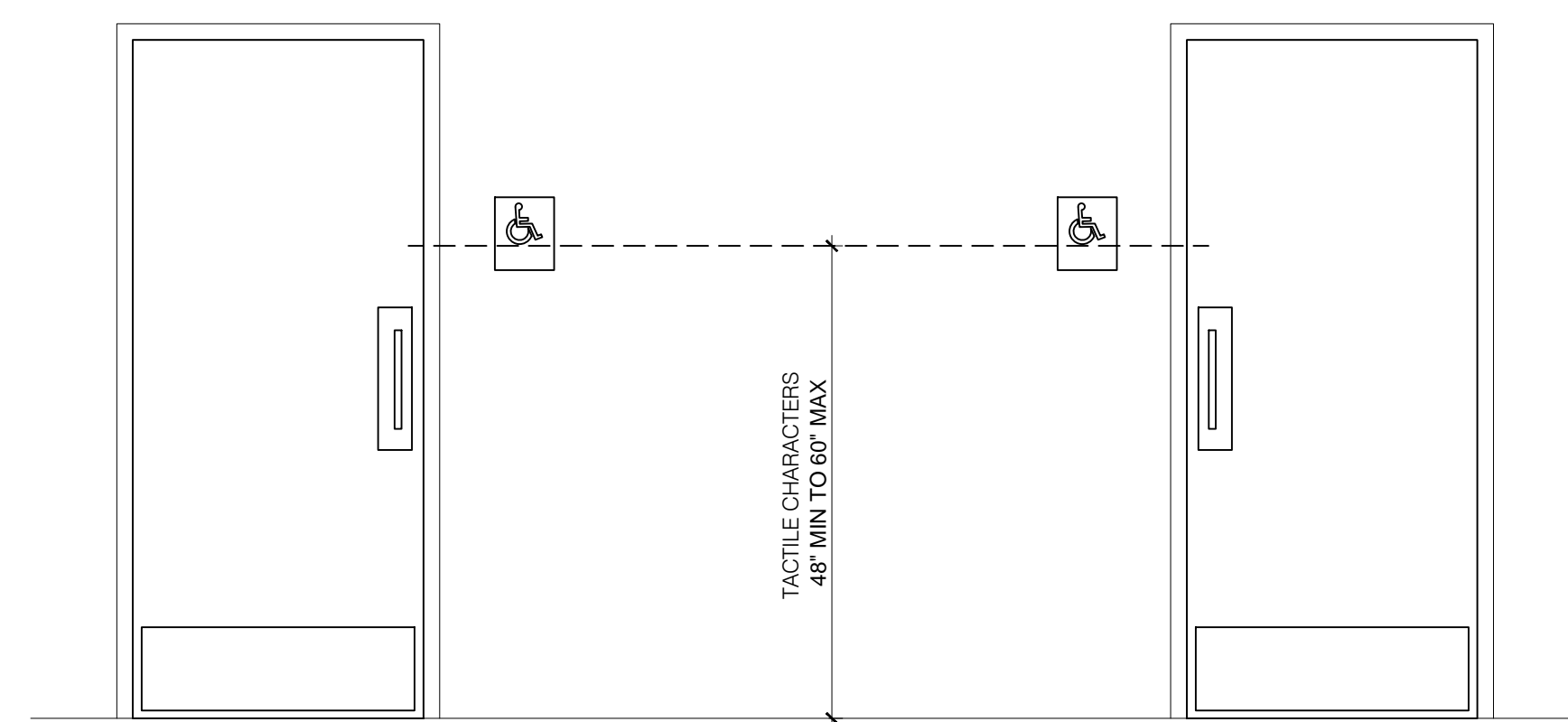
INT. ACCESS. ROUTE CLEARANCES 1/2" - 1'-0" 10



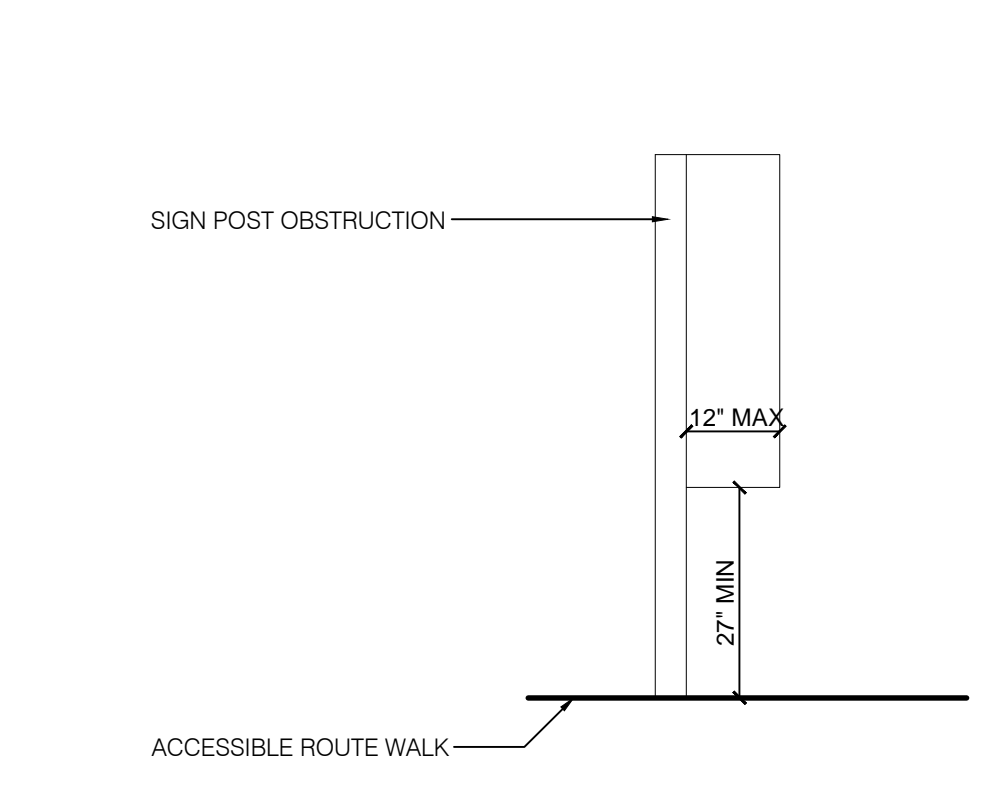
ACCESSIBLE URINAL 3/4" - 1'-0" 6



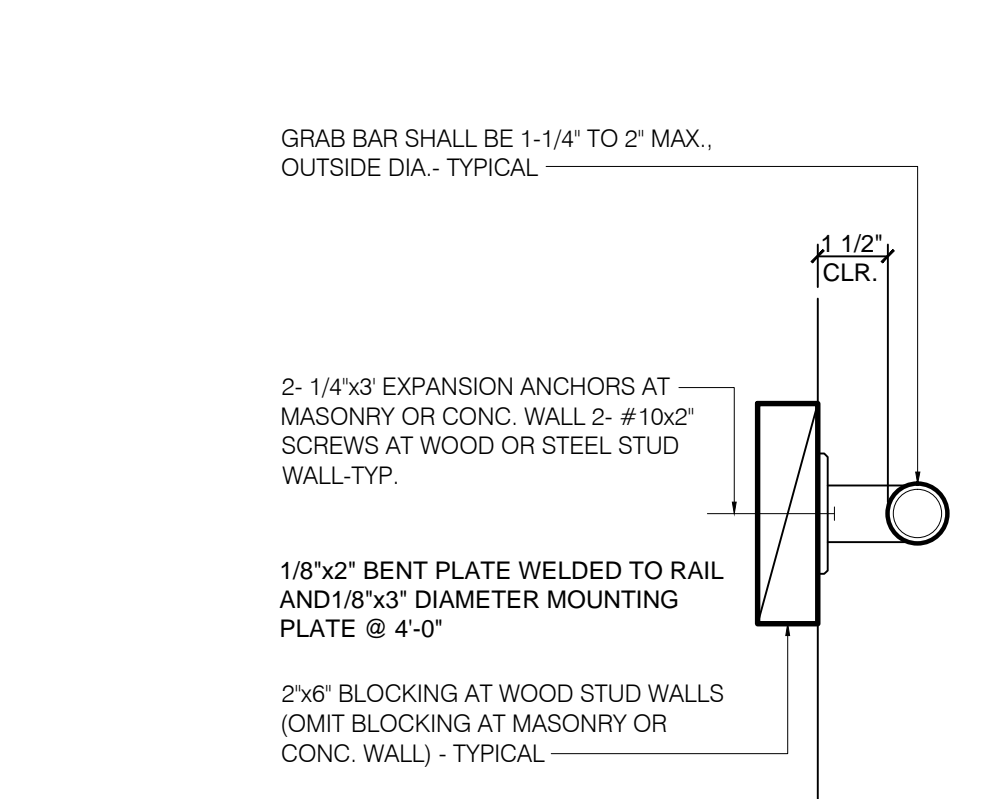
STANDARD TOILET STALL N.T.S. 2



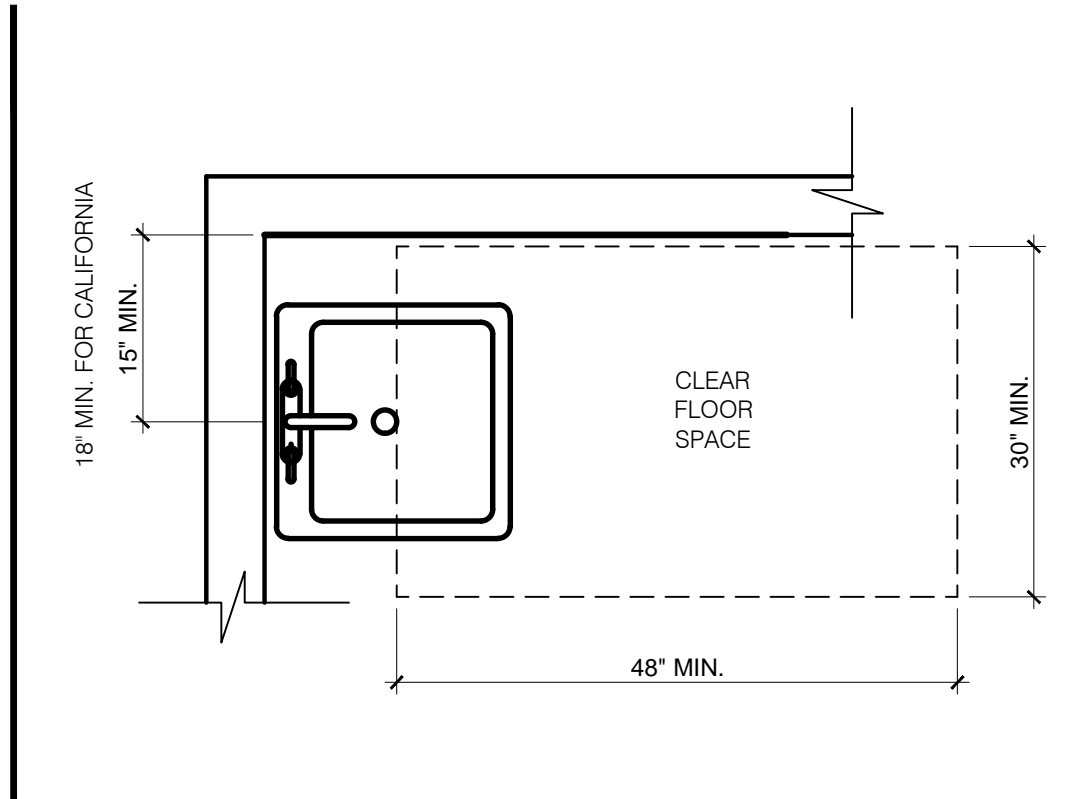
ACCESSIBLE RESTROOM DOORS N.T.S. 15



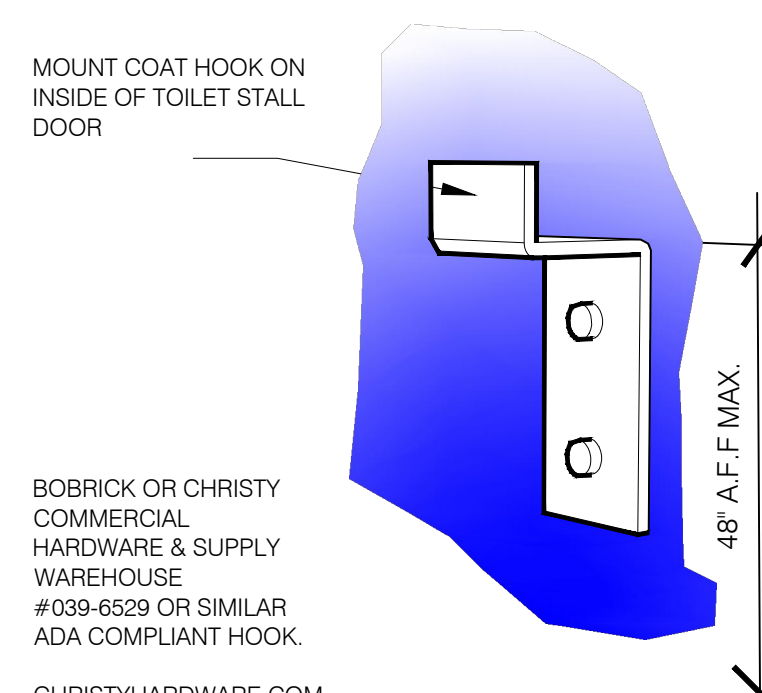
PROTRUDING HAZARDS 1/2" - 1'-0" 11



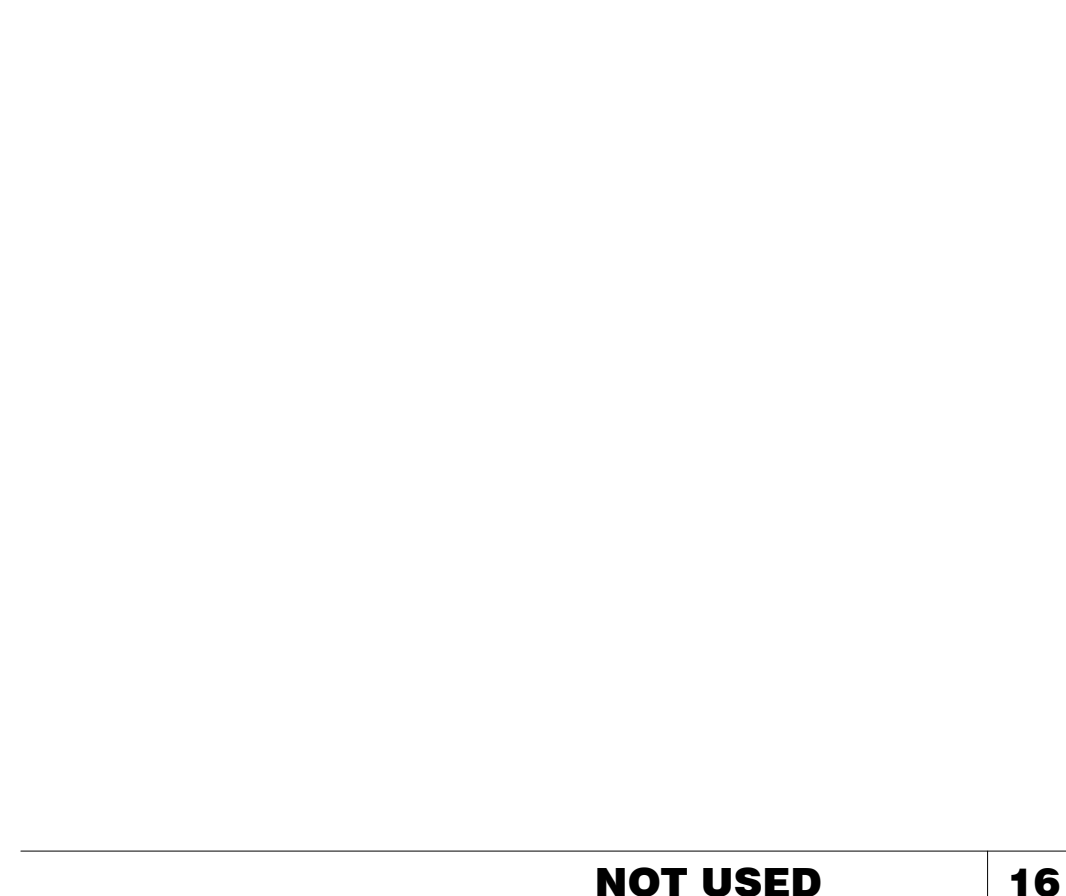
GRAB BAR 3" - 1'-0" 7



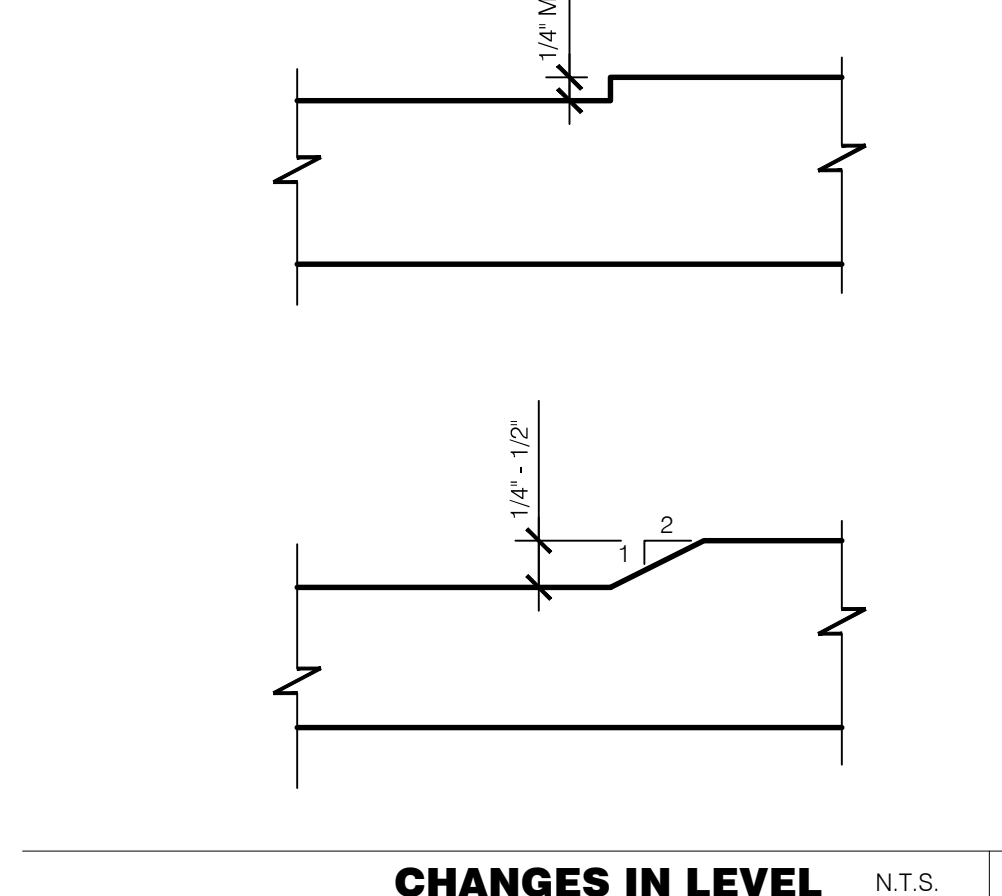
ACCESSIBLE LAVATORY 3/4" - 1'-0" 3



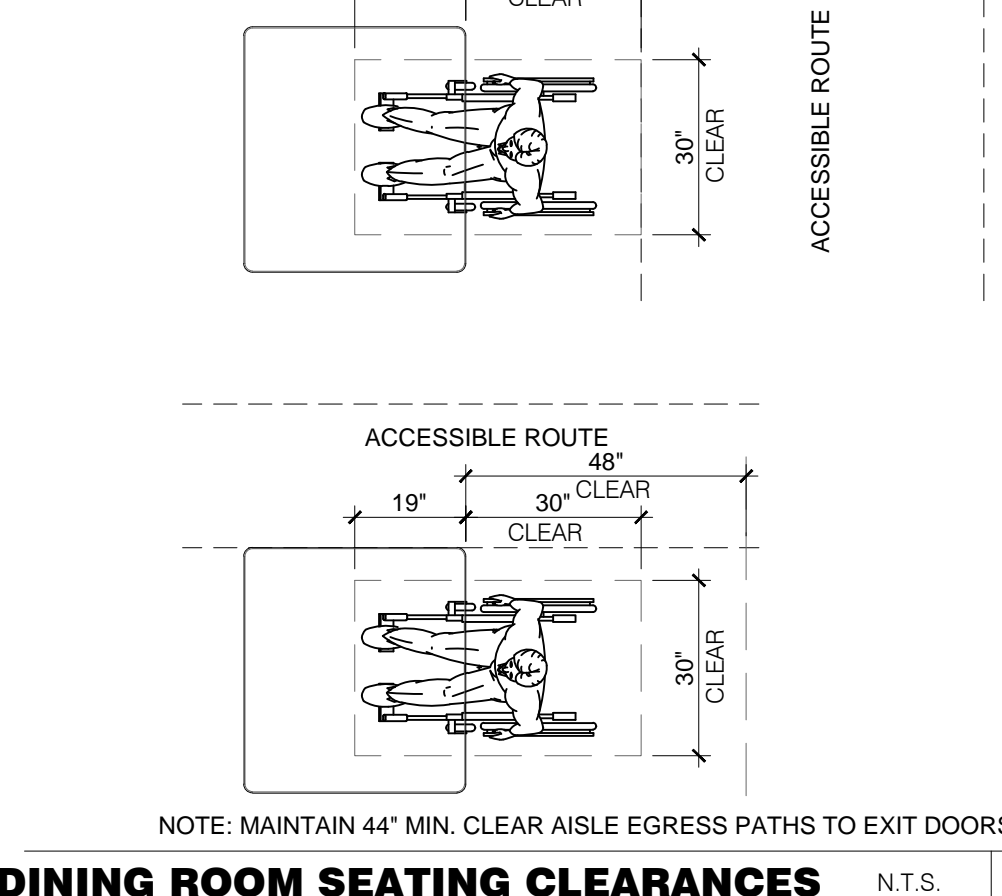
COAT HOOK N.T.S. 20



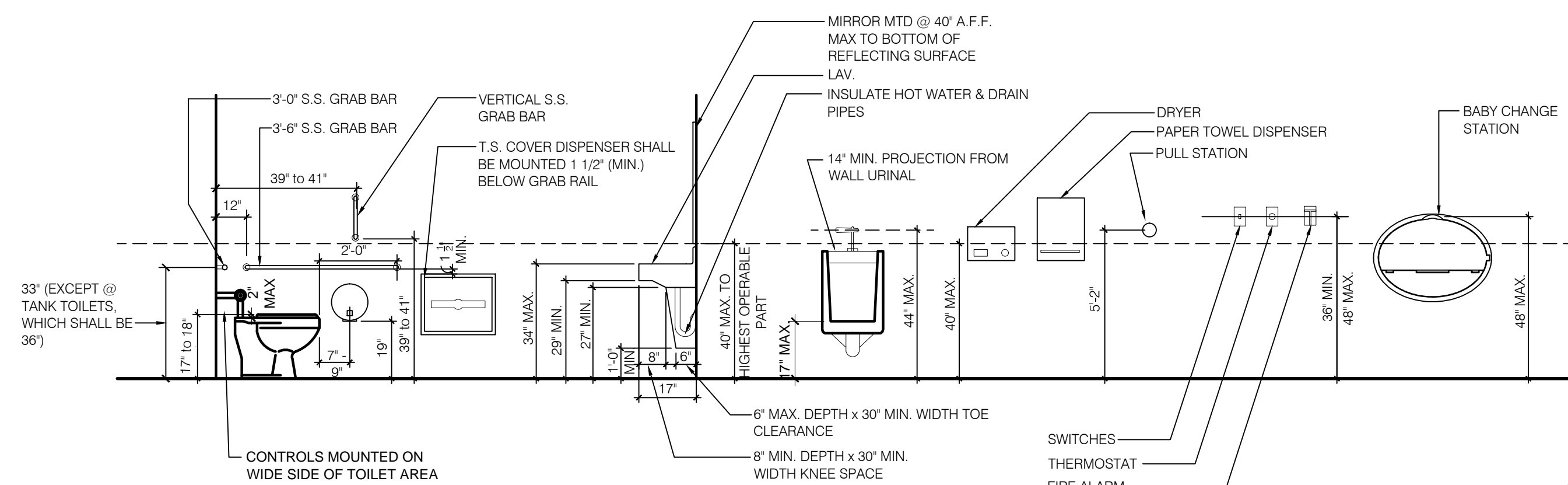
NOT USED 16



CHANGES IN LEVEL N.T.S. 12



DINING ROOM SEATING CLEARANCES N.T.S. 8



MOUNTING HTS. & CLEARANCES FOR ACCESSIBILITY BY THE DISABLED N.T.S. 1

- INDICATED DIMENSIONS, HEIGHTS, DEPTHS, AREAS AND OTHER GRAPHIC INFORMATION ARE PROVIDED AS MINIMUMS THAT MUST BE MAINTAINED. THESE MINIMUMS ARE BASED UPON YUM STANDARDS AND MAY EXCEED ADA REQUIREMENTS.
- 60" TURNING SPACE
 - PERMITTED OVERLAP LIMITED TO 1 ARM OF T-SHAPED SPACE
 - CAN OVERLAP FIXTURE & DOOR CLEARANCE
 - DOOR CAN SWING INTO TURNING SPACE
- RESTROOM, IN GENERAL, DOOR SWING MUST BE OUTSIDE OF THE FIXTURE CLEAR FLOOR SPACE HOWEVER A DOOR CAN SWING INTO FIXTURE CLEAR FLOOR SPACE IF WHEELCHAIR SPACE 30"x48" IS PROVIDED BEYOND THE DOOR SWING.
- TOILET ROOM MUST ALLOW FOR SIDE TRANSFER - 42" BETWEEN FIXTURES

GENERAL NOTES 4



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METAL WAREHOUSE
ADDITION
5441 36TH ST. SE CASCADE TWP.
GRAND RAPIDS, MI 49512

SITE PLAN APPROVAL 10/5/23

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CHECKED BY GLR
PROJECT NUMBER 2023011

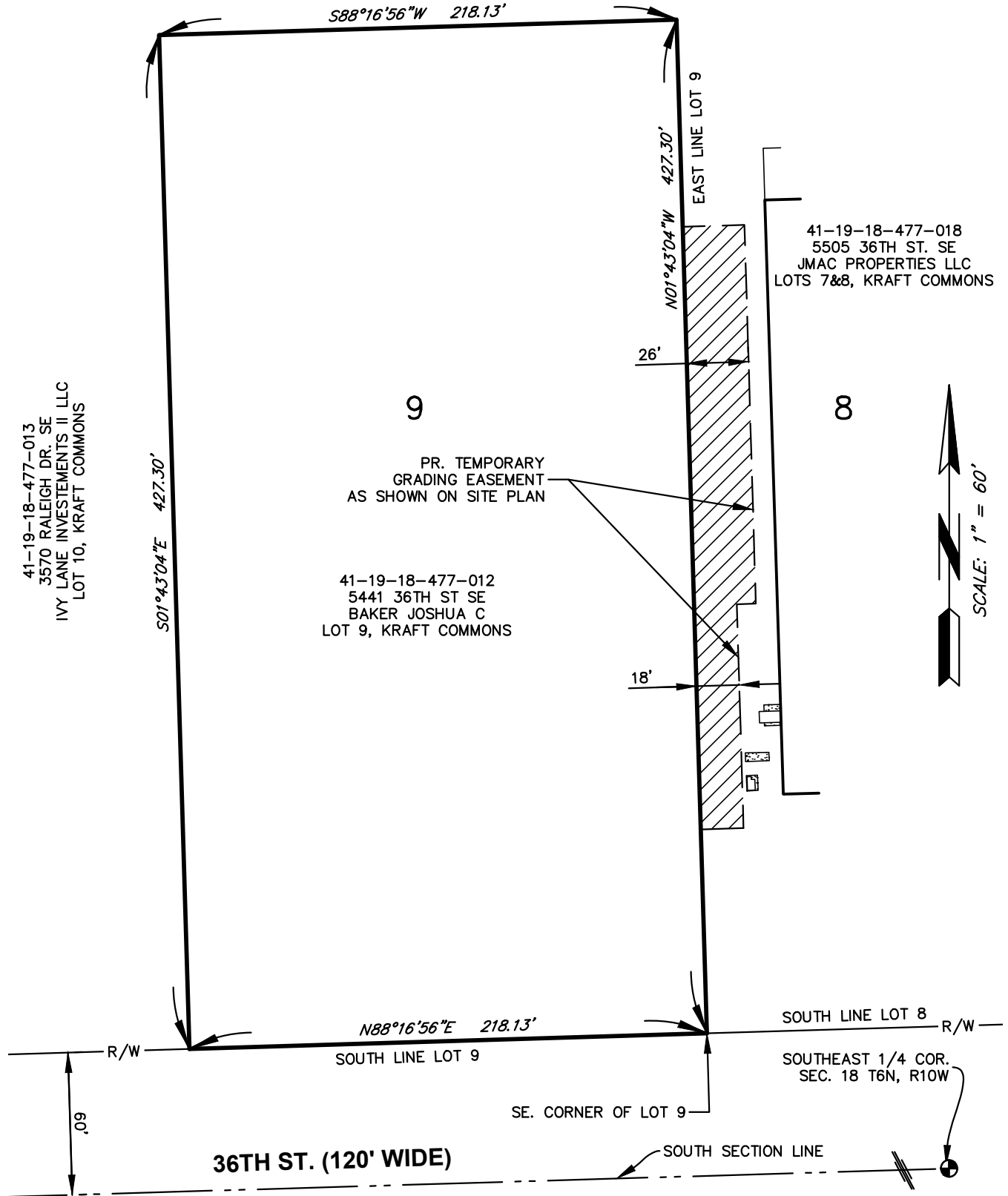
ADA1.0

Project No.: 230844
 Date: October 23, 2023
 For: JVB LLC
 2065 Fox Ridge Drive NE,
 Grand Rapids, MI 49505



EXHIBIT A

TEMPORARY GRADING EASEMENT

PART OF LOT 8 AND 9 OF KRAFT COMMONS,
 SECTION 18, T6N, R10W, CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN



This drawing is for legal description purposes only. No property corners were set and no improvements were located.

<p>LEGEND</p> <ul style="list-style-type: none"> ○ - IRON STAKE - SET ● - IRON FOUND □ - WOOD STAKE R - RECORDED DIMENSION D - DEED DIMENSION P - PLATTED DIMENSION M - MEASURED DIMENSION CL - CENTERLINE x-x - FENCE LINE 	 <p>Roosien & Associates SURVEYING AND ENGINEERING</p> <p>5055 PLAINFIELD AVENUE, NE GRAND RAPIDS, MICHIGAN 49525 TELE. (616) 361-7220</p>		<p>BY <u>Michael Manning</u></p>
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Storm Water Calculations for

5441 36th Street
Cascade Township, MI
Job No. 230844

October 13, 2023
Revision: October 25, 2023

Design Parameters

Detention Basins with Outlets:

- Detain the first 1 inch of rainfall runoff a minimum of 24 hours for water quality.
- Detain the increased volume from the proposed development versus the existing condition for the 2-year storm event and infiltrate that volume.
- Detain the 25-year storm event, using release rates no more than 0.13 cs/acre (use Rational methodology)
- Maximum basin side slopes of 3:1
- Primary Emergency overflow for the 100-year design flow
- Minimum freeboard of 1 foot

Storm Sewer Design:

- Storm Sewer design is for a 10-year design storm using the Rational method for analysis
- Minimum pipe velocity of 2.5 ft/sec
- Maximum pipe velocity of 10.0 ft/sec
- HGL below rim

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CONTENTS

Narrative	3
NCRS Soil Map	4 – 11
Existing and Proposed Drainage Maps	12 – 13
Storm Water Design Calculations	14 - 18

Storm Water Narrative For
5441 36th Street, Cascade Township, MI
Project #230844

Project Description:

The owner proposes to construct a warehouse in addition to an existing office building on 2.14-acre site at 5441 36th Street SE, Grand Rapids, MI. The topography slopes from south to northeast.

Based on the NRCS Soil Survey, the area consists of loam and silt loam. The soil is Hydraulic Soil Group C.

The proposed design collects the developed runoff and routes it to proposed stormwater basins. There is a proposed basin located along the north property line. The basin is sized to accommodate the first flush and the 25-year storm event. An emergency overflow spillway can accommodate the 100-year storm event.



Basis of Design Information

Storm Water Management for the proposed improvements has been designed in accordance with the Cascade Township Stormwater Ordinance, dated 2022.

The detention basin has been sized to accommodate the first flush volume from 1 inch of rainfall and the 25-year storm event. There is a minimum of 1 foot of freeboard above the required storage volume. Side slopes are proposed at 1:4 with sediment forebays at the pipes entering the basin. The outlets for the detention basins have been sized to meet the required flood control rate.

The table below provides a summary of required and provided design parameters for the basins.

Detention Basin	Required	Provided
Water Quality Volume (cf)	4,268	4,276
Flood Control Volume (cf)	17,057	20,582
Peak Water Elevation (ft)	793.60	794.00

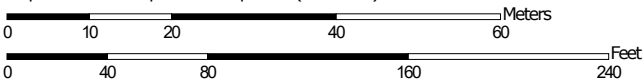
Pipe Design:

The storm water pipes for the site were sized using the Rational Method for the 10-year storm event. The pipe design maintains a minimum velocity of 2.5 ft/second and a minimum diameter of 12 inches. Smooth lined corrugated polyethylene pipe and high-density polyethylene pipe are the proposed materials for the storm sewer.

Custom Soil Resource Report
Soil Map




Map Scale: 1:919 if printed on A portrait (8.5" x 11") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 16N WGS84

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)




















Soils







 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features


Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Kent County, Michigan
 Survey Area Data: Version 21, Aug 26, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 4, 2022—Nov 7, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
19B	Blount loam, 2 to 6 percent slopes	2.4	65.3%
50C	Woodbeck silt loam, 6 to 12 percent slopes	0.4	10.7%
78	Urban land	0.9	23.6%
PmsabA	Palms muck, lake moderated, 0 to 1 percent slopes	0.0	0.5%
Totals for Area of Interest		3.7	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate

Kent County, Michigan

19B—Blount loam, 2 to 6 percent slopes

Map Unit Setting

National map unit symbol: 68pv
Elevation: 580 to 1,530 feet
Mean annual precipitation: 30 to 36 inches
Mean annual air temperature: 45 to 48 degrees F
Frost-free period: 140 to 150 days
Farmland classification: Prime farmland if drained

Map Unit Composition

Blount and similar soils: 91 percent
Minor components: 9 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Blount

Setting

Landform: Moraines
Landform position (three-dimensional): Rise
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Loamy till

Typical profile

H1 - 0 to 7 inches: loam
H2 - 7 to 23 inches: silty clay loam
H3 - 23 to 60 inches: silty clay loam

Properties and qualities

Slope: 2 to 6 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Runoff class: Medium
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.06 to 0.57 in/hr)
Depth to water table: About 12 to 36 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 30 percent
Available water supply, 0 to 60 inches: Moderate (about 7.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2e
Hydrologic Soil Group: C
Ecological site: F097XA022MI - Moist Loamy Drift Plains
Hydric soil rating: No

Minor Components

Pewamo

Percent of map unit: 3 percent
Landform: Depressions on till plains, depressions on moraines

Ecological site: F097XA023MI - Wet Loamy Depression
Hydric soil rating: Yes

Colwood

Percent of map unit: 2 percent
Landform: Depressions on lake plains
Ecological site: F097XA023MI - Wet Loamy Depression
Hydric soil rating: Yes

Belleville

Percent of map unit: 2 percent
Landform: Depressions on till plains, depressions on lake plains
Ecological site: F097XA008MI - Wet Sandy Flatwoods
Hydric soil rating: Yes

Rimer

Percent of map unit: 2 percent
Landform: Drainageways on outwash plains, drainageways on till plains
Ecological site: F097XA012MI - Moist Sandy Depression
Hydric soil rating: No

50C—Woodbeck silt loam, 6 to 12 percent slopes

Map Unit Setting

National map unit symbol: 68rj
Elevation: 580 to 1,530 feet
Mean annual precipitation: 30 to 36 inches
Mean annual air temperature: 45 to 48 degrees F
Frost-free period: 140 to 150 days
Farmland classification: Farmland of local importance

Map Unit Composition

Woodbeck and similar soils: 90 percent
Minor components: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Woodbeck

Setting

Landform: Till plains
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Side slope
Down-slope shape: Concave
Across-slope shape: Linear
Parent material: Clayey glaciofluvial deposits and/or clayey till over sandy outwash

Typical profile

H1 - 0 to 12 inches: silt loam
H2 - 12 to 36 inches: silty clay loam
H3 - 36 to 57 inches: sand
H4 - 57 to 60 inches: sand

Properties and qualities

Slope: 6 to 12 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Well drained
Runoff class: High
Capacity of the most limiting layer to transmit water (Ksat): Moderately high (0.20 to 0.57 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 20 percent
Available water supply, 0 to 60 inches: Moderate (about 8.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 3e
Hydrologic Soil Group: C
Ecological site: F097XA018MI - Dry Loamy Drift Plains
Hydric soil rating: No

Minor Components

Spinks

Percent of map unit: 4 percent
Landform: Hills on terraces, hills on moraines, hills on till plains, hills on outwash plains
Ecological site: F097XA004MI - Dry Sandy Lake Plain
Hydric soil rating: No

Blount

Percent of map unit: 3 percent
Landform: Drainageways on moraines, drainageways on till plains
Ecological site: F097XA022MI - Moist Loamy Drift Plains
Hydric soil rating: No

Ithaca

Percent of map unit: 3 percent
Landform: Knolls on till plains, knolls on moraines
Ecological site: F097XA022MI - Moist Loamy Drift Plains
Hydric soil rating: No

78—Urban land

Map Unit Setting

National map unit symbol: 68ss
Mean annual precipitation: 30 to 36 inches
Mean annual air temperature: 45 to 48 degrees F
Frost-free period: 140 to 150 days
Farmland classification: Not prime farmland

Map Unit Composition*Urban land: 100 percent**Estimates are based on observations, descriptions, and transects of the mapunit.***PmsabA—Palms muck, lake moderated, 0 to 1 percent slopes****Map Unit Setting***National map unit symbol: 30n58**Elevation: 630 to 770 feet**Mean annual precipitation: 34 to 41 inches**Mean annual air temperature: 46 to 50 degrees F**Frost-free period: 135 to 175 days**Farmland classification: Farmland of local importance***Map Unit Composition***Palms and similar soils: 92 percent**Minor components: 8 percent**Estimates are based on observations, descriptions, and transects of the mapunit.***Description of Palms****Setting***Landform: Depressions on moraines, swamps on outwash plains, swamps on till plains, drainageways on moraines, depressions on outwash plains, depressions on till plains, swamps on moraines, drainageways on outwash plains, drainageways on till plains**Landform position (two-dimensional): Toeslope**Landform position (three-dimensional): Base slope**Down-slope shape: Concave, linear**Across-slope shape: Concave, linear**Parent material: Herbaceous organic material over loamy drift***Typical profile***Oa1 - 0 to 11 inches: muck**Oa2 - 11 to 28 inches: muck**Cg - 28 to 80 inches: silt loam***Properties and qualities***Slope: 0 to 1 percent**Depth to restrictive feature: More than 80 inches**Drainage class: Very poorly drained**Runoff class: Negligible**Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately high (0.00 to 1.42 in/hr)**Depth to water table: About 0 inches**Frequency of flooding: None**Frequency of ponding: Frequent**Calcium carbonate, maximum content: 35 percent**Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)**Sodium adsorption ratio, maximum: 3.0**Available water supply, 0 to 60 inches: Very high (about 17.9 inches)*

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 5w

Hydrologic Soil Group: B/D

Ecological site: F097XA030MI - Mucky Depression

Hydric soil rating: Yes

Minor Components**Barry**

Percent of map unit: 3 percent

Landform: Flats on till plains, depressions on moraines, drainageways on moraines

Landform position (two-dimensional): Toeslope

Landform position (three-dimensional): Base slope, talf

Down-slope shape: Concave

Across-slope shape: Concave, linear

Ecological site: F097XA023MI - Wet Loamy Depression

Hydric soil rating: Yes

Gilford, gravelly subsoil

Percent of map unit: 2 percent

Landform: Glacial drainage channels, glacial drainage channels

Landform position (two-dimensional): Toeslope

Landform position (three-dimensional): Base slope

Down-slope shape: Linear

Across-slope shape: Linear

Ecological site: F097XA008MI - Wet Sandy Flatwoods

Hydric soil rating: Yes

Houghton

Percent of map unit: 2 percent

Landform: Drainageways on glacial drainage channels, drainageways on moraines, depressions on outwash plains, depressions on moraines, depressions on outwash plains, drainageways on moraines, drainageways on outwash plains

Landform position (two-dimensional): Toeslope

Landform position (three-dimensional): Base slope

Down-slope shape: Concave

Across-slope shape: Linear

Ecological site: F097XA030MI - Mucky Depression

Hydric soil rating: Yes

Edwards

Percent of map unit: 1 percent

Landform: Lakebeds (relict) on outwash plains, lakebeds (relict) on moraines, lakebeds (relict) on glacial drainage channels

Landform position (two-dimensional): Toeslope

Landform position (three-dimensional): Base slope, dip

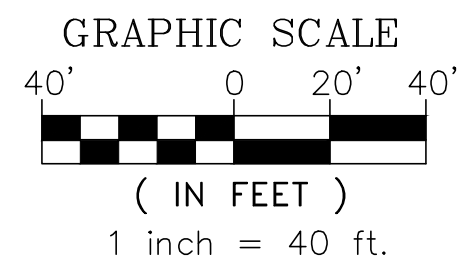
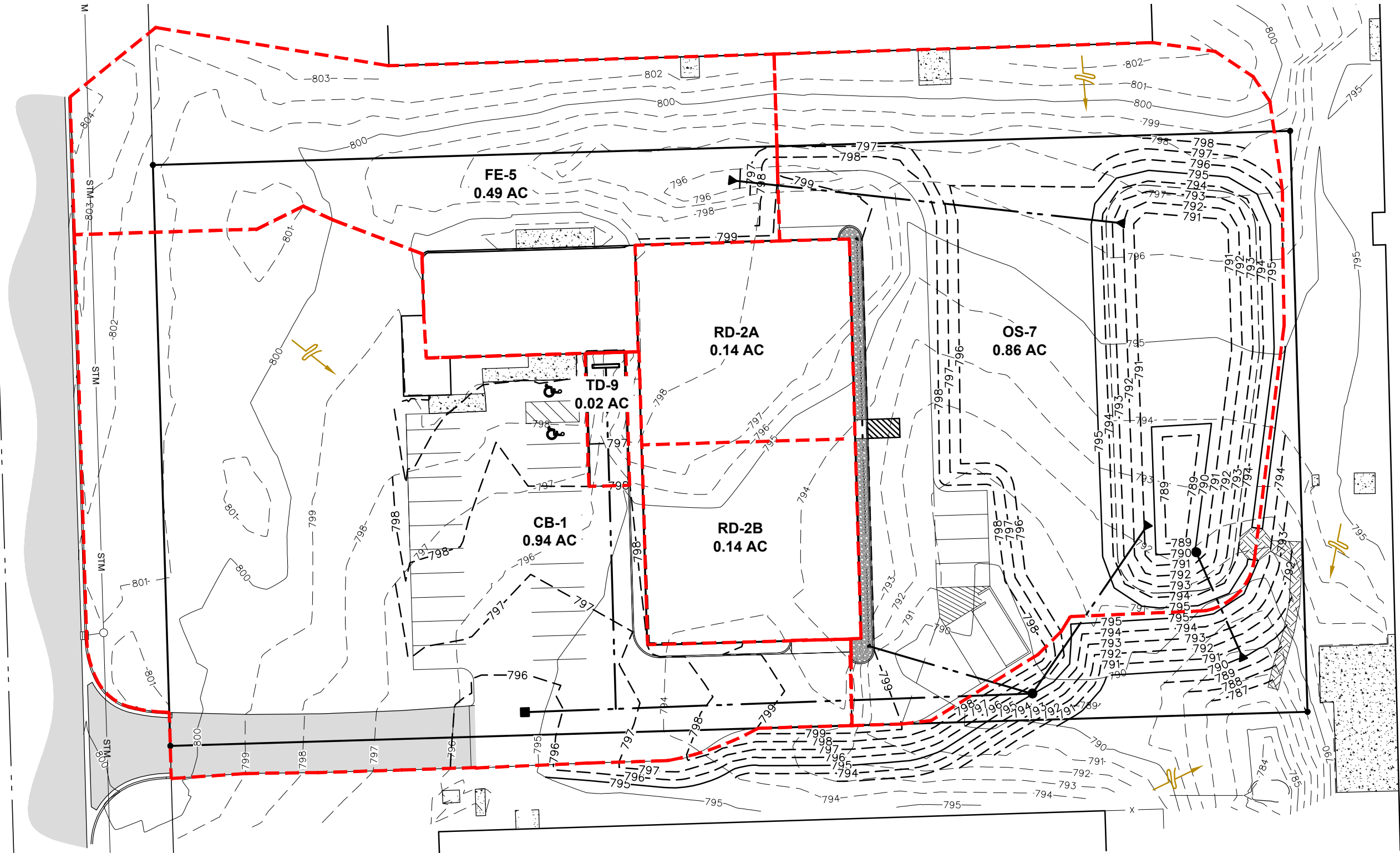
Down-slope shape: Concave

Across-slope shape: Linear

Ecological site: F097XA030MI - Mucky Depression

Hydric soil rating: Yes

PROPOSED DRAINAGE MAP



Rainfall

Location: [Kent County](#)
 State: [MI](#)
 Source: [NOAA, Atlas 14](#)
 Return Period: [10 year](#)

Calculated by: [YS](#)
 Date: [9/29/2023](#)

Time	Hours	Mins	Rainfall (in)	Intensity (in/hr)
5 mins	0.083	5	0.52	6.24
10 mins	0.167	10	0.76	4.56
15 mins	0.25	15	0.93	3.72
30 mins	0.5	30	1.39	2.78
1 hrs	1	60	1.83	1.83
2 hrs	2	120	2.26	1.13
3 hrs	3	180	2.50	0.83
6 hrs	6	360	2.91	0.49
12 hrs	12	720	3.33	0.28
24 hrs	24	1440	3.77	0.16

Return Period: [25 year](#)

Time	Hours	Mins	Rainfall (in)	Intensity (in/hr)
5 mins	0.083	5	0.64	7.68
10 mins	0.167	10	0.93	5.58
15 mins	0.25	15	1.14	4.56
30 mins	0.5	30	1.70	3.40
1 hrs	1	60	2.24	2.24
2 hrs	2	120	2.78	1.39
3 hrs	3	180	3.08	1.03
6 hrs	6	360	3.60	0.60
12 hrs	12	720	4.13	0.34
24 hrs	24	1440	4.66	0.19

STORM SEWER COMPUTATION SHEET

Calculated by: YS Date: October 26, 2023
 Checked by: PGH Date: _____

Pipe Design Storm 10 Yr. Frequency

Project Name: 36th St
 Project # 230844

Minimum Time of Concentration 15 minutes
 Minimum Cover: 2.5 feet 1.5 feet
 Pipe elev change at structures: 0.0 feet 0.0 feet
 Pipe Material Used: PE RCP
 Manning "n" value: 0.012 0.013

Gravity Pipe Flow: $Q = 1.486/n * A * R^{2/3} * S^{1/2}$

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21
Notes:	Structure ID		Area (INPUT @ 2) (ACRES)	C For Input @ Col. 2	C x A	SUM OF C x A	Time of Conc. Tc (min)	Rainfall Intensity "I" (in/hr)	Design Flow Σ CxA x I (cfs)	Pipe Diameter (in)	Slope of Energy Grade Line (%)	Actual Pipe Slope (%)	Gravity Full Flow Discharge (cfs)	Gravity Full Flow Velocity (fps)	Pipe Length (ft)	Travel Time (min)	Pipe Invert Elevation		Rim Elevation	
	From	To															Upper End	Lower End	Upper End	Lower End
		CB-1	MH-3	0.94	0.60	0.56	0.56	15.0	3.72	2.10	12	0.30%	0.32%	2.02	2.57	191	1.24	791.53	790.92	795.50
	RD-2A	RD-2B	0.14	0.95	0.13	0.13	15.0	3.72	0.49	6	0.65%	0.76%	0.49	2.49	153	1.02	796.40	795.24	799.40	799.40
	RD-2B	MH-3	0.14	0.95	0.13	0.26	16.0	3.66	0.96	6	2.49%	3.36%	1.03	5.24	64	0.20	795.24	793.10	799.40	795.10
	MH-3	FE-4	0.00	0.00	0.00	0.84	16.2	3.64	3.07	15	0.20%	0.24%	3.16	2.58	77	0.50	790.92	790.73	795.10	N/A
	FE-5	FE-6	0.49	0.45	0.22	0.22	15.0	3.72	0.81	12	0.05%	2.00%	5.04	6.42	149	0.39	795.00	792.02	N/A	N/A
	OS-7	FE-8	2.58	0.61	1.59	1.59	16.0	3.66	5.80	18	0.26%	0.26%	5.36	3.03	44	0.24	790.00	789.89	793.60	N/A
	TD-9	MH-3	0.02	0.95	0.02	0.02	15.0	3.72	0.06	6	0.02%	0.76%	0.53	2.70	128	0.79	792.39	791.42	0.00	795.10

Required Detention Pond Volume Calculation

Project Name: 36th St
 Project Number: 230844
 Date: October 26, 2023
 Subcatchment: Proposed East Basin

Required Water Quality: $V_{wq} = Arv(1)(3630)$

Small Storm Hydrology Method

Rainfall: 1.0 in

	Flat Roof	Paved	Disturbed Pervious	Crushed Concrete
Volumetric Runoff Coefficient:	0.815	0.98	0.2015	0.815
Area (acres):	0.276	0.666	1.414	0.016

Runoff Coefficient (C): 0.50

Proposed Developed Area: 2.37 acres (excludes undisturbed and BMPs)

Required Water Quality Volume: 4,268 cft

Required Pretreatment Volume: 640 cft (15% of water quality volume)

Required Bank Erosion Control: $V_{cp} = V_t \text{ post} - V_t \text{ pre}$

2 year, 24 hour rainfall: 2.56 inches

Pre-Devel Drainage Area: 2.37 acres

Proposed Drainage Area: 2.58 acres

Existing Runoff Coefficient (C): 0.34

(took 10 year C and reduced to 2-year)

Since coefficient for 2 yr asphalt is approx. 79%

Proposed Runoff Coefficient (C): 0.45 of 10 yr asphalt, reduced C accordingly

Existing Runoff Volume: 7,602 cft

Proposed Runoff Volume: 10,807 cft

Required Bank Protection Volume: 3,205 cft

Required Flood Control: $Q = CIA$, $V_{req} = (Q_{in} - Q_{out})(t)(3600)(1.25)$

Rainfall Interval: 25-year storm

Pre-Devel Drainage Area: 2.37 acres

Proposed Drainage Area: 2.58 acres

Runoff Coefficient (C): 0.60

Allowed Release Rate: 0.13 cfs / acre (maximum)

Max. Allowable Offsite Discharge: 0.34 cfs

Time Duration		Rainfall Intensity		Qin (cfs)	Qout (cfs)	Required Storage (cft)
Minutes	Time (hr)	I (in/hr)	R (in)			
5	0.08	7.68	0.64	11.96	0.34	3,488
10	0.17	5.58	0.93	8.69	0.34	5,014
15	0.25	4.56	1.14	7.10	0.34	6,091
30	0.50	3.40	1.70	5.30	0.34	8,929
60	1.0	2.24	2.24	3.49	0.34	11,353
120	2.0	1.390	2.78	2.17	0.34	13,172
180	3.0	1.027	3.08	1.60	0.34	13,646
360	6.0	0.600	3.60	0.93	0.34	12,936
720	12.0	0.344	4.13	0.54	0.34	8,657
1440	24.0	0.194	4.66	0.30	0.34	(2,874)

Safety Factor: 1.25

Required Flood Control Volume: 17,057 cft

Provided Detention Pond Volume Calculation

Project Name: 36th St Date: October 26, 2023
 Project Number: 230844 Subcatchment: East Basin

Storage Provided - Forebay

	Elevation	Area (sft)	Volume (cft)	Cumulative Volume (cft)	Req Volume (cft)
Bottom of Forebay	789.00	423	0	0	
	790.00	895	659	659	640

Storage Provided - Total

	Elevation	Area (sft)	Volume (cft)	Cumulative Volume (cft)	Req Volume (cft)
Bottom of Basin	790.00	476	0	0	
	791.00	4,063	2,269	2,269	
Water Quality Vol.	791.46	4,663	2,007	4,276	4,268
	792.00	5,368	2,708	6,985	
	793.00	6,774	6,071	13,056	
25-Year Flood Vol.	793.60	7,677	4,335	17,391	17,057
	794.00	8,279	3,191	20,582	
	795.00	9,886	9,082	29,665	
Total Storage Provided =				17,391 cft	
Total Storage Required =				17,057	

Basin Elevations

Basin Bottom: 790.00
 Water Quality: 791.46
 Flood Volume: 793.60
 Spillway: 794.00

Maximum Allowed Flows

Water Quality 0.05 cfs (24 hr drain time)
 Flood Control 0.34 cfs

Outlet Design

$$Q = C * A_h * (2 * g * H)^{1/2}$$

	Sediment	Bank Erosion	Flood Control
C=	0.60		
Outlet Dia. (in)=	1.25	1.00	2.50
Area / hole (sft)=	0.0085	0.0055	0.0341
# of Holes=	1	0	1
g (ft / s^2)=	32.2		

	Sediment Control		Bank Erosion		Flood Control		Total
Stage	Head (ft)	Flow (cfs)	Head (ft)	Flow (cfs)	Head (ft)	Flow (cfs)	Flow (cfs)
Water Quality:	1.41	0.05					0.05
Flood Control:	2.09	0.06	0.00	0.00	2.14	0.24	0.30

Emergency Spillway:

Q (design):
 Runoff Coeff (C) = 0.65
 I100 (in / hr) = 1.49
 Area (ac) = 2.58
Q (design) = 2.54 cfs

Primary Spillway:

Q (proposed): $Q = 0.75 * C * m * H^{2.5} + C * L * H^{3/2}$
 C = 2.6
 m = 4
 Width (at base; ft) = 4.00
 H (ft) = 0.340
Q (cfs) = 2.59



CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546-7140

Date November 1, 2023
To Madison Smith-Jacoby
From Aric Thorne, PE
Subject Site Plan Review: 5441 36th St

I have reviewed the site plan at 5441 36th St prepared by Roosien & Associates. **The storm water calculations considered in this review are dated October 25, 2023 and the plan set, October 31, 2023.** The applicant is proposing a metal warehouse addition to an existing building on the parcel.

Stormwater and Drainage

The proposed project is being reviewed under the 2022 Stormwater Ordinance and the criteria in the Stormwater Standards Manual revised March 2021.

The site consists of a 2.14-ac parcel with existing 3,588-sft two-story building to remain in-place. The front of the lot is mostly open land with several mature trees. The rear of the lot appears previously wooded, but recently cleared.

The project site is in Flood Control Zone 2, requiring detention for the 25-year storm with a maximum release rate of 0.13-cfs. Proposed development consists of a 12,000-sft metal warehouse addition. Total impervious surface including driveway, loading bay, and parking lot improvements includes 35,993-sft. The existing private access road to 36th St SE will remain in-place. A private sewer conveyance system and single detention basin is included for stormwater controls.

Flood Control

The applicant provided proposed detention basin specifications with supporting design calculations. A general approximation of soil types and characteristics were used from the Natural Resources Conservation Service. No geotechnical report is included. A minimum of one test pit/soil boring to minimum depth 5-feet below proposed bottom of basin and the depth of the water table should be included in the report.

The proposed detention basin is located in the rear of the parcel. Two inlets sized 12- to 15-inch diameter drain the impervious area to the basin. Inlets include energy dissipation via riprap protection. Outlet design includes primary and emergency overflows. An 18-inch diameter outlet drains the basin to a low lying area to the east. Plans include a section detail for the outlet

structure. Stable outfall is provided. This low lying area is within a private drainage easement and is serviced by County-owned storm facilities.

Water Quality and Channel Protection

Water quality and channel protection are provided through the on-site detention basin. The design accounts for both water quality (4,268-cft) and channel protection (3,205-cft) quantities. A forebay is included in the basin with calculations supporting requirements. The minimum 1-ft of freeboard, or 0.5-ft above the design flow depth over the spillway, is included; and the primary and emergency overflows account for the 10-year peak inflow at the maximum design high water level. Plans include a section detail for the basin overflow spillway.

Drainage Plan

The applicant has submitted plans with existing and proposed drainage patterns, existing topography, and proposed grading. Side slopes for the proposed detention basin are 1:4, less than the maximum if regular mowing is required.

A maintenance agreement and a long-term maintenance plan are required before construction begins. The maintenance agreement and plan should include at a minimum the cleaning of pretreatment areas; cleaning of the detention basin; and cleaning of catch basin sumps including sediment and debris removal from outlet structures.

Utilities and General Comments

Plans include locations, rim elevations, and pipe inverts for a private stormwater conveyance system. No details or plans for modifying existing water or sanitary utilities on-site are included.

Soil Erosion and Sedimentation Control (SESC)

Applicant indicated limits of disturbance and provided the following measures: silt fence, riprap, and mulch blanket. Kent County Road Commission must review and approve plans and issue a SESC permit before construction may begin.

Summary

The proposed stormwater management design meets the Township Stormwater Ordinance requirements for the site location contingent on the applicant providing a geotechnical report with the aforementioned soil test data. Refer to the ordinance for requirement details. Should results confirm sufficient capacity to support the proposed stormwater controls, I recommend approval from an engineering point of view.

Let me know if you have any questions or concerns.

STAFF REPORT

STAFF REPORT: Case # 23-3801
REPORT DATE: November 27, 2023
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: December 4, 2023
PREPARED BY: Madison Smith-Jacoby

APPLICANT
Troy Schrock

PROPERTY OWNER/S: Scott Schrotenboer
PROPERTY LOCATION: 3660 Cherry Lane SE

PP#: 41-19-23-200-029

STATUS
OF APPLICANT: Builder

REQUESTED ACTION: The applicant is requesting a Type I Special Use Permit for an accessory building exceeding 832sqft.

EXISTING ZONING OF
SUBJECT PARCEL: FP

GENERAL LOCATION: Southeast corner of 36th Street and Cherry Lane.

PARCEL SIZE: 10.2 acres

EXISTING LAND USE
ON THE PARCEL: Residential

ADJACENT AREA
LAND USES:
N: Residential
E: Residential
S: Vacant/Residential
W: Residential

ZONING ON
ADJOINING PARCELS:
N: FP
E: FP
S: FP
W: ARC

STAFF COMMENTS:

- A. The applicant is requesting to build a proposed 40’ x 64’ pole barn (2,560sqft.) with a height of 17’ to the midpoint of the roof. Added to the pole barn is an 8’ x 64’ lean-to, for a grand total of 3,072sqft.
- B. The proposed accessory building requires both a Variance and Type I Special Use Permit. The Zoning Board of Appeals granted a variance for the north-side property line setback at the November 14, 2023 meeting with conditions. The proposed height is 17 feet to the midpoint. This height requires a 40-foot side yard setback. The proposed plans thus required a 19-foot side yard variance to place the building 21 feet from the north property line. The approval with conditions is included in the packet for reference.
- C. All other setbacks are in compliance with the zoning standards.
- D. The acreage on the property permits up to 3 accessory buildings because the parcel is larger than 6 acres. This is the only proposed accessory building on the property. This would mean that the applicant could have a total of three 832sqft. accessory buildings totaling to 2,496sqft.
- E. The parcel does not appear to have steep hills but the east end of the property gradually descends into what appears to be lower wetlands. A topographical map is included in this packet. Refer to the applicant for drainage, berm, and stormwater diversion plans.
- F. The owner has submitted a letter describing the nature of his request and the proposed use to be for storage and recreation. Please refer to the applicant for details on use and reasons for the request. In summary, the property owner has a unique circumstance being paralyzed and is requesting an exceptionally sized building for activities requiring wheelchair-friendly accessibility.
- G. The site plan indicates that a driveway to the barn will be added as an extension of off the main drive to the home. Please refer to the applicant about material used for the drive as it is not indicated in the plan.
- H. Staff has received one letter for public comment, included in your packet.

Criteria for Approval

Upon review of a Type 1 Special Use Permit for an accessory building, Section 17.03(1)(a) of the Zoning Ordinance requires the Planning Commission to consider several factors. I have listed those items for your consideration followed by my comments for each

Factors	Comment
The intended use of the building.	Personal storage and recreation

The proposed location, type and kind of construction and general architectural character of the building.	Within in the north, side-yard setback, behind the home from Cherry Lane. A pole barn construction.
The size of the building in relation to the house, lot and zoning district.	The house is under construction and is approved as 2,578sqft, on about 10 acres. The accessory building inventory averages 1,857sqft in the FP District. The Inventory spreadsheet is included in the packet. This would be largest approved accessory building in this district, exceeding that average by more than 1.5 x the size.
The type and kind of principal and accessory buildings and structures located on properties which are adjoining and in the general area.	The parcel to the north has 3 acc./farm buildings, of which two are grandfathered in. To the west is a 960sqft. acc. building and 2,720sqft pole barn. Others in the area range around 600sqft. -820sqft. Additionally, there are a number of larger Ag-exempted farm buildings.
The topography and vegetation in the area.	Previous farmland with a mix of wetland. Vacant prior to this home.
Whether the proposed building will affect the light and air circulation of any adjoining properties.	The building would mostly impact the neighbors to the north. They have spoken during public comment about their concerns. The other parcels have enough distance between them that this would not be injurious.
Whether the proposed building will adversely affect the view of any adjoining property owner or occupant.	Views would be impacted for neighbors to the north. Other parcels are currently vacant or not close enough to be adversely impacted.
Points of access to the proposed building and their relationship to adjoining properties and the view from the adjacent streets.	Access will be extended from the drive to the home. Surface type should be clarified by the applicant. The building is setback far enough from Cherry Lane to not impact ROW site lines etc. The two adjoining parcels fronting Cherry Lane are vacant.

RECOMMENDATION

Staff thus recommends that this permit be DENIED based on the findings that this accessory building exceeds the largest size approved by the Planning Commission by over 1.5x's and could negatively impact the neighbors to the north.

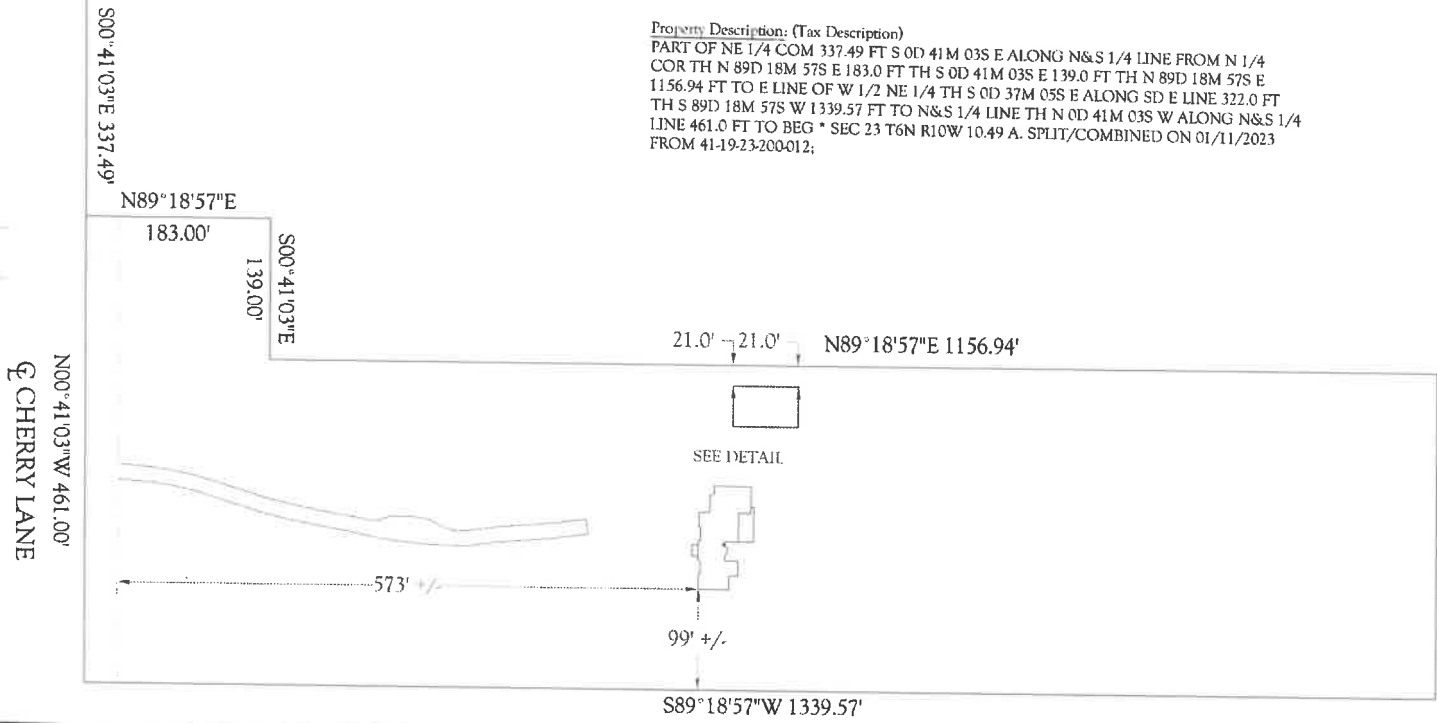
Should the Planning Commission wish to grant this variance based on the unique circumstances of the property owner, I recommend the following conditions:

1. The building not be used to run a business.
2. The building not be used for dwelling space.
3. Outdoor lighting adheres to the Cascade Township ordinance standards.

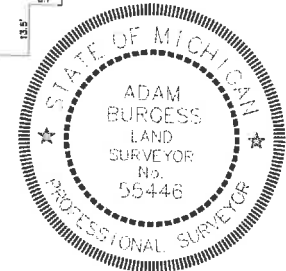
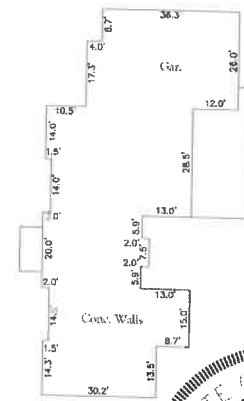
N 1/4 Cor.
Section 23
T6N, R10W

Property Description: (Tax Description)

PART OF NE 1/4 COM 337.49 FT S 0D 41 M 03S E ALONG N&S 1/4 LINE FROM N 1/4 COR TH N 89D 18M 57S E 183.0 FT TH S 0D 41 M 03S E 139.0 FT TH N 89D 18M 57S E 1156.94 FT TO E LINE OF W 1/2 NE 1/4 TH S 0D 37M 05S E ALONG SD E LINE 322.0 FT TH S 89D 18M 57S W 1339.57 FT TO N&S 1/4 LINE TH N 0D 41M 03S W ALONG N&S 1/4 LINE 461.0 FT TO BEG * SEC 23 T6N R10W 10.49 A. SPLIT/COMBINED ON 01/11/2023 FROM 41-1923-200-012;



SCALE 1:40



Richard and Rebecca Schrottenboer
3660 Cherry Ln, Ada, MI 49301

Date: 09/15/23	Drawn By: JTB	Project No.: 2320404
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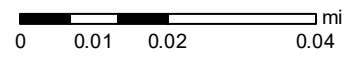
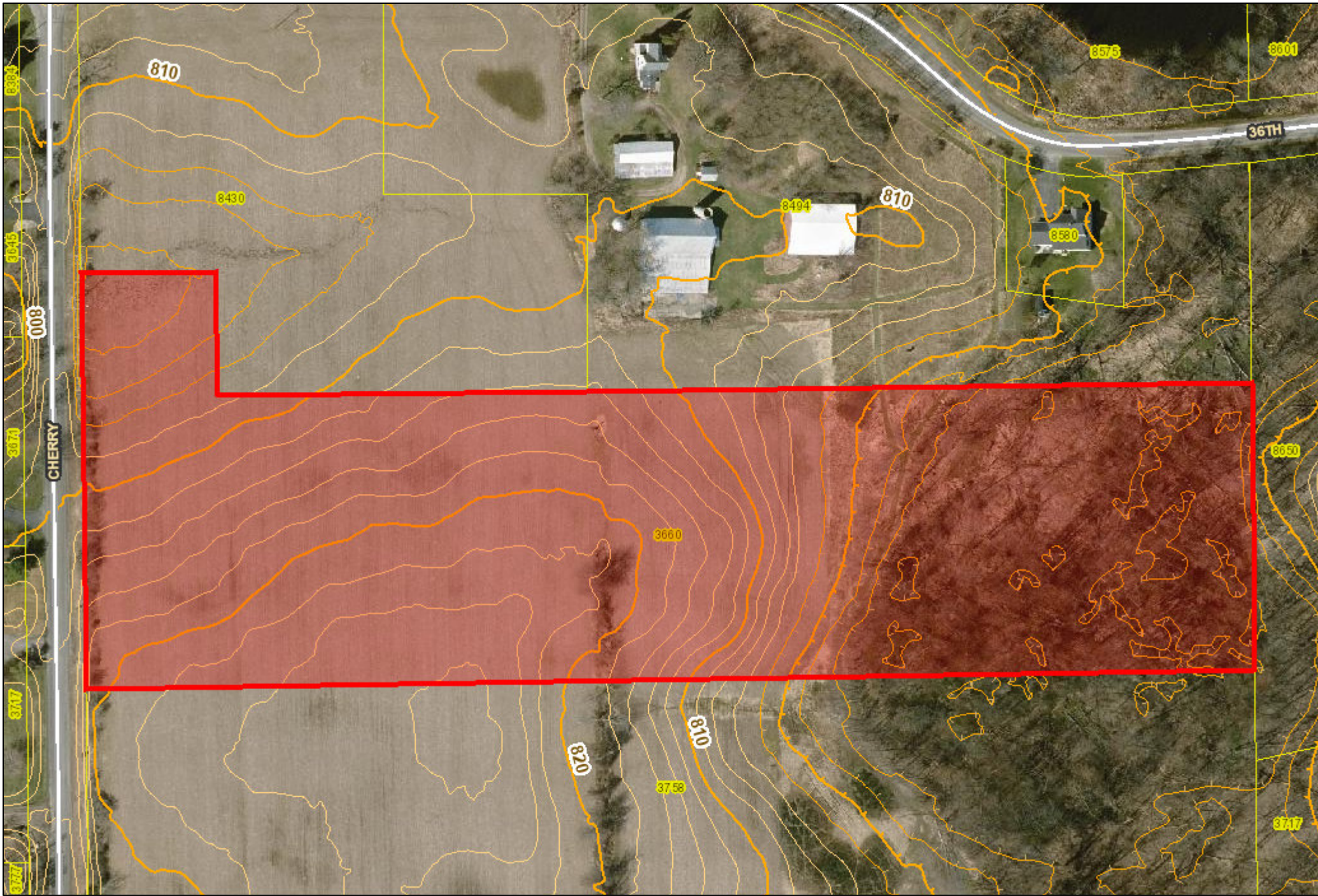


2486 84th Street, SW, Byron Center, MI 49315
616.437.2249 • burgesssurveying@gmail.com

- Scale 1" = 150'
- = Concrete
 - = Asphalt
 - D = Description dimension
 - M = Measured dimension
 - P = Platted dimension
 - = Set iron stake
 - = Found iron stake

This drawing was made from the description shown above. The description should be compared with the Abstract of Title or Title Policy for accuracy, easements and exceptions.

By: *Adam C. Burgess*
Adam C. Burgess, Licensed Professional Surveyor No. 55446





CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE, Grand Rapids, Michigan 49546

November 30, 2023
Schrotenboer
3660 Cherry Lane

Re: Case 22-3799 – Variance

Dear Epique Homes & Schrotenboer Residence,

Your case was reviewed at the November 14, 2023 Zoning Board of Appeals meeting and a motion was passed to approve your request with conditions.

This letter serves as verification of this approval to let a pole barn be built 21 feet from the north property line.

This approval was granted with the following conditions:

1. The pool house is not used to run a business or for living space.
2. No less than 5 trees that are no smaller than 10 feet in height, be planted on the north side of the pole barn to act as screening.
3. A Water Diversion Control plan be created and reviewed by the Township Engineer prior to building permits being issued. Included in this plan must be a survey.

Please call or email me with any follow-up questions.

Sincerely,

Madison Smith-Jacoby
Zoning Administrator

STAFF REPORT

STAFF REPORT: Case # 22-3799
REPORT DATE: October 27, 2023
PREPARED FOR: Cascade Charter Township Zoning Board of Appeals
MEETING DATE: November 14, 2023
PREPARED BY: Madison Smith-Jacoby

APPLICANT

Troy Schrock

PROPERTY LOCATION: 3660 Cherry Lane SE

PP#: 41-19-23-200-029

STATUS OF APPLICANT: Property Owner

REQUESTED ACTION: The applicant is requesting a variance to build in the side yard setback.

EXISTING ZONING OF SUBJECT PARCEL: FP

GENERAL LOCATION: Southeast corner of 36th Street and Cherry Lane.

PARCEL SIZE: 10.2 acres

EXISTING LAND USE ON THE PARCEL: Residential

ADJACENT AREA LAND USES:
N: Residential
E: Residential
S: Vacant/Residential
W: Residential

ZONING ON ADJOINING PARCELS:
N: FP
E: FP
S: FP
W: ARC

STAFF COMMENTS:

- A. The applicant is requesting to build 21 feet from the north property line. This is considered their side yard as the home’s frontage is on Cherry Lane.
- B. The proposed accessory building would require two-part approval – for the location and the square footage. The applicant is first pursuing the variance prior to a special use permit.
- C. The proposed height is 17 feet to the midpoint. This height requires a 40-foot side yard setback. The proposed plans thus require a 19-foot side yard variance.
- D. The applicant states that the location is necessary for ability to access the building in a wheelchair. Please refer to the applicant for further personal and medical needs to be explained.
- E. The parcel does not appear to have steep hills but the east end of the property gradually descends into what appears to be lower wetlands. A topographical map is included in this packet.
- F. Staff has received one letter for public comment. Included in your packet.

Criteria for Approval

Before the Zoning Board of Appeals can grant a variance, it must be assured that the request meets all the findings of fact listed in the table below:

<i>Findings of Fact</i>	<i>Comment</i>
That there are exceptional or extraordinary conditions or circumstances that are inherent to the property in question and that do not apply generally to the other nearby properties in the same zoning district.	I did not find that this property has any exceptional conditions or circumstances requiring this building location.
That the exceptional or extraordinary conditions or circumstances are not the result of actions of the applicant taken subsequent to the adoption of this Ordinance (any action taken by an applicant pursuant to lawfully adopted regulations preceding this Ordinance will not be considered self-created)	The home is located for ease of use for the owner who is in a wheelchair. The grade allowed for access to the backyard.

That such variance is the minimum variance that will make possible the reasonable use of the land, building, or structure.	There appears to be ample space on the property to not require any variance.
That the granting of the variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare.	No public comment has been submitted. The barn would be closer to the neighbors to the north. There are currently two vacant parcels to the north and south.
That the condition or situation of the specific piece of property, or the intended use of the property, for which the variance is sought is not of so general or recurrent nature as to make it more reasonable and practical to amend the Zoning Ordinance.	The nature of the request is unique in that the applicant states medical needs for the location.

The Zoning Board of Appeals shall further find that the reasons set forth in application justify the granting of the variance, and that it is the minimum variance that will make possible the reasonable use of the land, building or structure.

RECOMMENDATION

Staff recommends that this permit be DENIED based on the findings.

Should the ZBA wish to grant this variance, I recommend the following condition:

1. The building should have landscape screening from the property to north
2. The building not be used for dwelling space or to operate a business.

Attachments:

Application Packet

Topographical map of parcel

STAFF REPORT

STAFF REPORT: Case # 23-3800
REPORT DATE: November 17, 2023
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: December 4, 2023
PREPARED BY: Madison Smith-Jacoby

APPLICANT

Islamic Masque & Religious Institute
6670 52nd Street

STATUS
OF APPLICANT: Owner

REQUESTED ACTION: Type II Special Use Permit for a cemetery

EXISTING ZONING OF
SUBJECT PARCEL: ARC, Agriculture/Rural Conservation

GENERAL LOCATION: Between the airport and Thornapple River Drive

PARCEL SIZE: Approximately 9.6 acres

EXISTING LAND USE
ON THE PARCEL: Vacant/Agricultural

ADJACENT AREA
LAND USES: N: Residential/Agricultural
E: Residential/Vacant
S: Vacant
W: Residential

ZONING ON
ADJOINING PARCELS: All ARC

STAFF COMMENTS:

- 1. The applicant is requesting a recommendation for approval to the Township Board of Trustees for a Type II Special Use Permit to develop of cemetery with a total of 4,350 grave sites.
- 2. The cemetery site plan indicates three phases with a clear boundary drawn between the first and second. The timeline was indicated as follows by the applicant:
 - a. RIGHT NOW, MOST COMMUNITY MEMBERS ARE BEING BURIED AT THE GRACELAND CEMETERY ON CASCADE ROAD. THE AVERAGE IS APPROXIMATELY 20 – 25 PEOPLE EACH YEAR. AT THAT RATE IT WOULD TAKE APPROXIMATELY 75

YEARS TO FILL PHASE #1. IT WILL DEPEND ON THE SIZE AND DEMOGRAPHICS IF THE MUSLIM COMMUNITY THAT UTILIZES THE CEMETERY AS IT CHANGES OVER TIME. WE HAVE DISCUSSED POSSIBLY BREAKING IT INTO 3 SMALLER PHASES. I THINK GARDENS A, B, D, E, & F GOD 1ST PHASE, THEN GARDENS C, G, H & I FOR PHASE 2 WITH THE REMAINDER BEING PHASE 3

3. The proposed cemetery will be owned and operated by a not-for-profit religious organization, The Islamic Masque. Cemeteries are listed as a permitted use via Special Use Permit in the ARC District. The Zoning Ordinance does not outline any additional site qualification standards so the general application standards outlined in Section 17.04 and 17.07 will apply.
4. The site plan indicates that there would be no electric, water, or sewer on the property.
5. Because no utilities are proposed, a lighting plan has not been submitted. The Planning Commission may want to consider if lighting will be required for approval.
6. The site would be accessed with a circle drive of gravel with a curb cut on 52nd Street. KCRC curb cut permit would be required.
7. There is ground mounted sign proposed to meet the Cascade Township Ordinance. Additional information is requested to ensure compliance with zoning standards. The applicant has indicated that this sign package will be submitted when it's ready and will adhere to the Township standards.
8. No new landscaping is proposed and only a 10-foot buffer is proposed at the side property lines. While no buffer yard is outlined as being required for this use in Chapter 17, the Planning Commission may want to consider landscaping requirements between parcels of different uses. Tree clearing is proposed and the board may request further details.
9. Staff has consulted legal counsel on any additional requirements or exemptions for the applicant. It is concluded that long term ownership of the cemetery should be clarified. According to the application, it will be owned and operated by a non-profit cooperation, therefore exempting them from the Cemetery Regulation Act 258 of 1968. The Township should treat this application as a typical Type II Special Use permit application and review for adherence to local zoning standards. The memo from Foster Swift is included in your packet.
10. The Township Engineer has reviewed and recommends approval. Their comments are included in the packet. A Stormwater Maintenance Agreement and Plan will be required prior to construction. Noted in the review are minimum standards for this agreement. Additionally, a Soil Erosion and Sedimentation Control permit will be required from the Kent County Road Commission upon review.
11. The Fire Chief has reviewed the application and has no concerns.

12. The applicant has indicated that a long-term maintenance plan will be required from the state when they apply there. This document will be prepared at that time.

Section 17.06 as well as 17.07 of the Zoning Ordinance requires the Planning Commission to review several factors before making a recommendation to the Township Board. I have listed those items for your consideration followed by my comments for each.

Factors	Comments
Be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the area in which the use is proposed.	The operation is located on an agriculturally zoned parcel with neighboring parcels that are also agriculturally zoned.
Be adequately served by essential facilities and services such as highways, streets, police and fire protection, drainage, refuse disposal, water and sewer facilities and schools.	The property would be adequately served based on the use. Being off of Thornapple River Drive which is categorized as an Arterial Road, and just south of I-96 for access. The use would be adequately served by essential services due to know increase in (living) population or housing density.
Not create excessive additional requirements at public cost for public facilities and services.	This site would not cause excessive additional requirements at the expense of the public.
Not cause traffic congestion, conflict or movement in greater proportion to that normally prevailing for the use in the particular zoning district.	The operation would not appear to create excessive traffic compared to other allowed uses such as greenhouses or schools, but the applicant should perhaps speak to how traffic will be directed during processions.
Not involve uses, activities, processes, materials, equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of noxious or offensive production of noise, smoke, fumes, glare, vibration, odor or traffic.	The proposed use has the potential to be detrimental to neighboring property values but this has not been evaluated.

Section 21.07: Criteria For Site Plan Approval:

The Planning Commission shall use the following criteria in evaluating a site plan submittal:

1. Whether the required information has been furnished in sufficiently complete and understandable form to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.
2. Whether there are ways in which the configuration of uses and structures can be changed which would improve the impact of the development on adjoining and nearby properties, persons, and activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and proposed use and structures.

3. The extent to which natural features and characteristics of the large trees, natural groves, watercourses, and similar will be preserved; the regard given to existing natural features that would add attractiveness to the property and environs if they were preserved; the preservation of natural drainage systems the dedication and/or provision, where appropriate, of scenic easements, natural buffering, and other techniques for preservation and enhancement of the physical environment.

STAFF RECOMMENDATION:

A Type II Special Use Permit requires approval from the Township Board. Staff is recommending that the Planning Commission provide a positive recommendation to the Township Board regarding the proposed cemetery, with the following conditions:

1. Stormwater Maintenance Agreement is submitted prior to any construction.
2. A long-term cemetery maintenance plan is submitted prior to any construction.
3. All state and county requirements are met and necessary permits obtained prior to construction.



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids, Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Islamic Mosque & Religious Institute. (Al-Tawheed Islamic Center.)
 Address: 3357 East Paris Avenue SE
 City & Zip Code Kentwood, MI 49512
 Telephone: (616) 437-0115. - Ali M. Metwalli's number.
 Email Address: ali.metwalli@gmail.com

OWNER: * (If different from Applicant)
 Name: Jada Ventures, LLC
 Address: 3939 N. Greenbrooke Drive SE
 City & Zip Code: Grand Rapids MI 49512
 Telephone: _____
 Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. – Rezoning *
<input type="checkbox"/> P.U.D. – Site Condominium *	<input type="checkbox"/> Rezoning
<input checked="" type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance Subdivision
<input checked="" type="checkbox"/> Special Use Permit	<input type="checkbox"/> Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ *

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

It is requested to develop the subject property as a cemetery. The cemetery will be owned and operated by a not-for-profit religious organization.

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

The north 1,000 feet of the west 436 feet of the east 1/2 of the northwest 1/4 of section 33,
township 6 north, range 10 west, Cascade Township, Kent County, Michigan. 10.01 acres more or less

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 33-100-014

ADDRESS OF PROPERTY: 6670 - 52nd St SE

PRESENT USE OF THE PROPERTY: vacant - agricultural

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR
EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Mr. David Den Herder.

Owner – Print or Type Name
(*If different from Applicant)

* David Den Herder 10/6/23

Owner’s Signature & Date
(*If different from Applicant)

Ali M. Metwalli, Board Member.

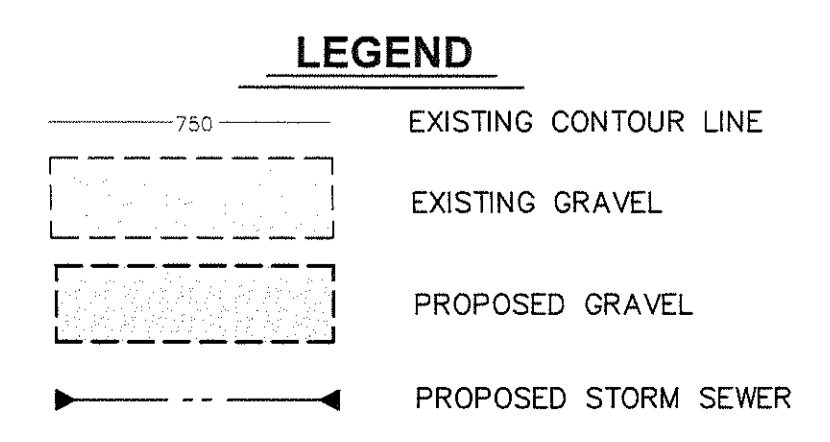
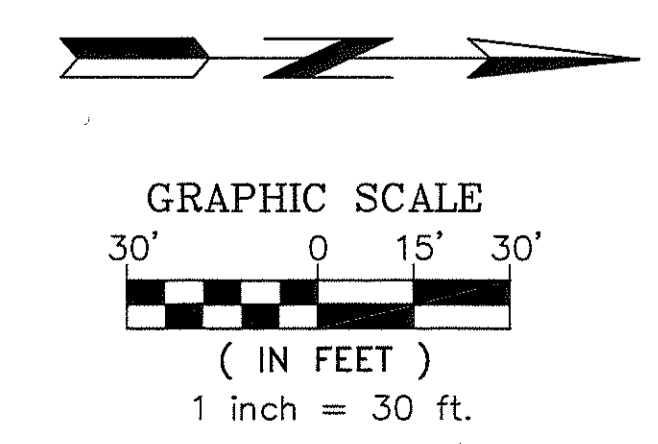
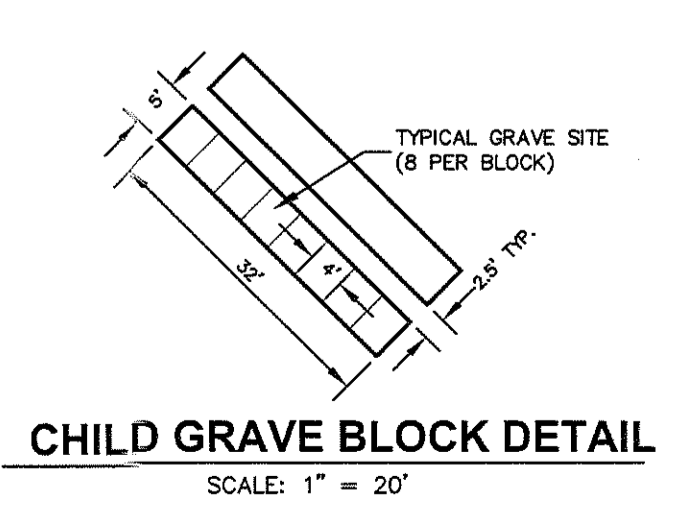
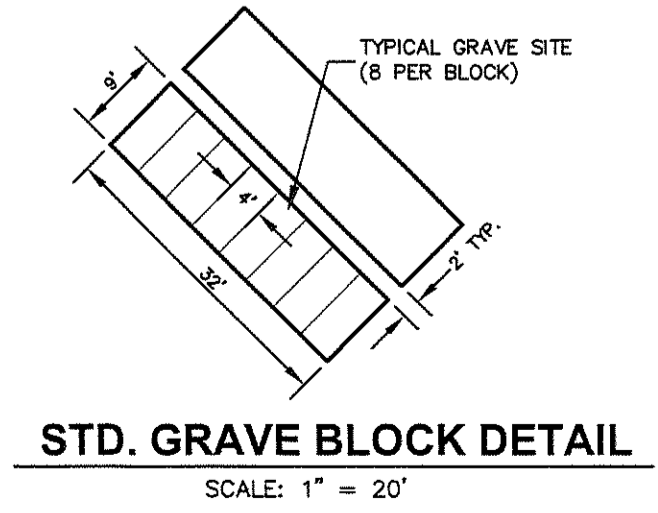
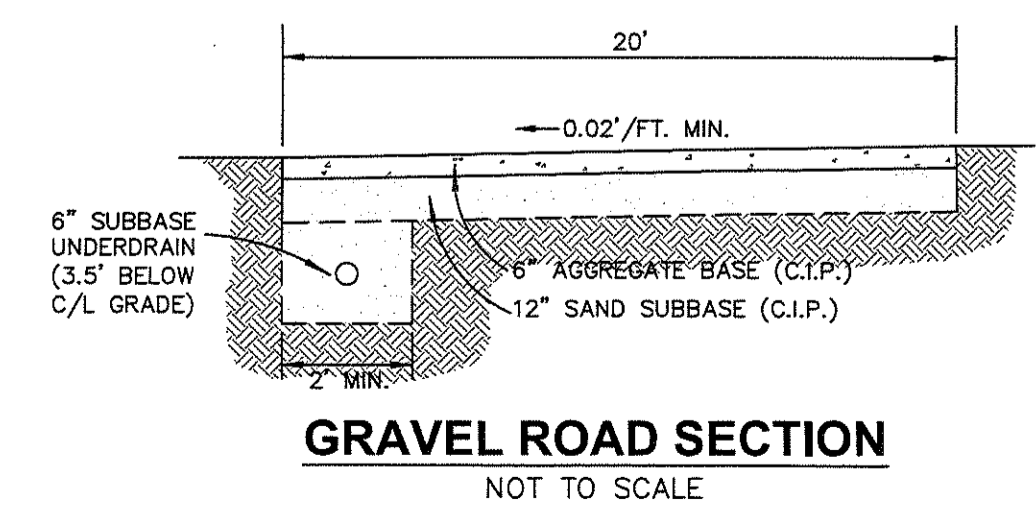
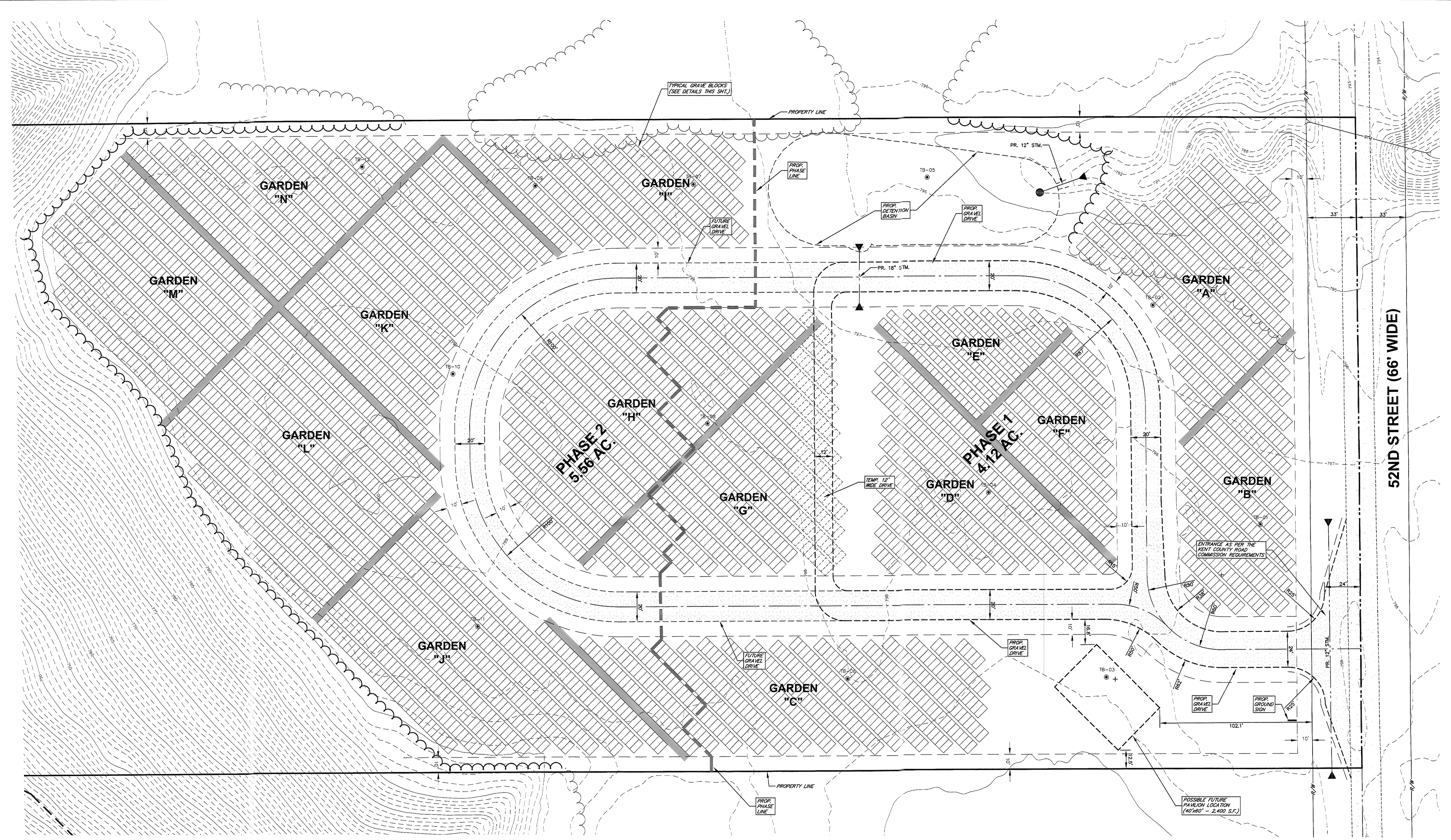
Applicant – Print or Type Name

Ali M. Metwalli

Mohamed Saleh, Chair of the Board.

Applicant’s Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU



REVISIONS:

APPROVED BY: JEP
DATE: OCT. 5, 2023

REVISIONS:
10-23-23 - Site Plan Submittal

Roosien & Associates
SURVEYING AND ENGINEERING

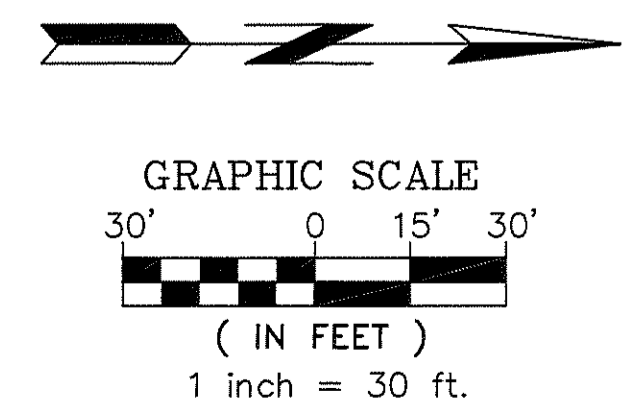
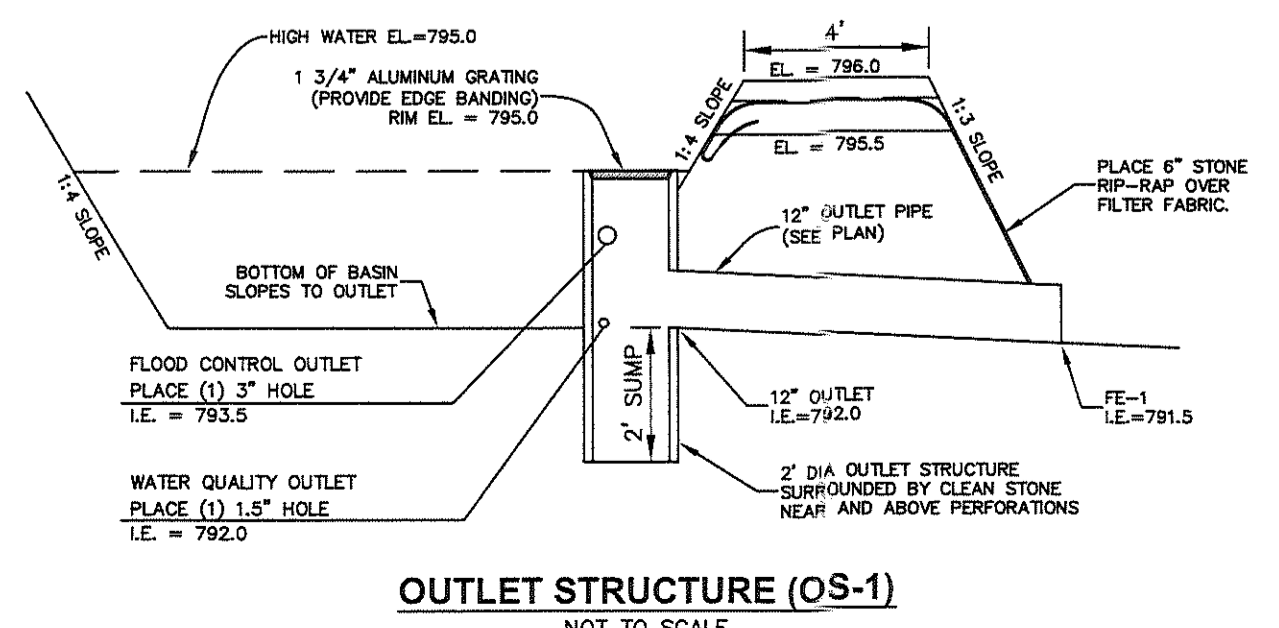
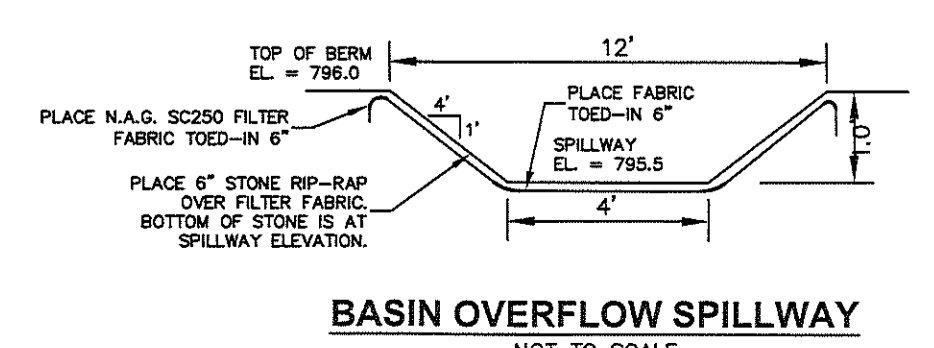
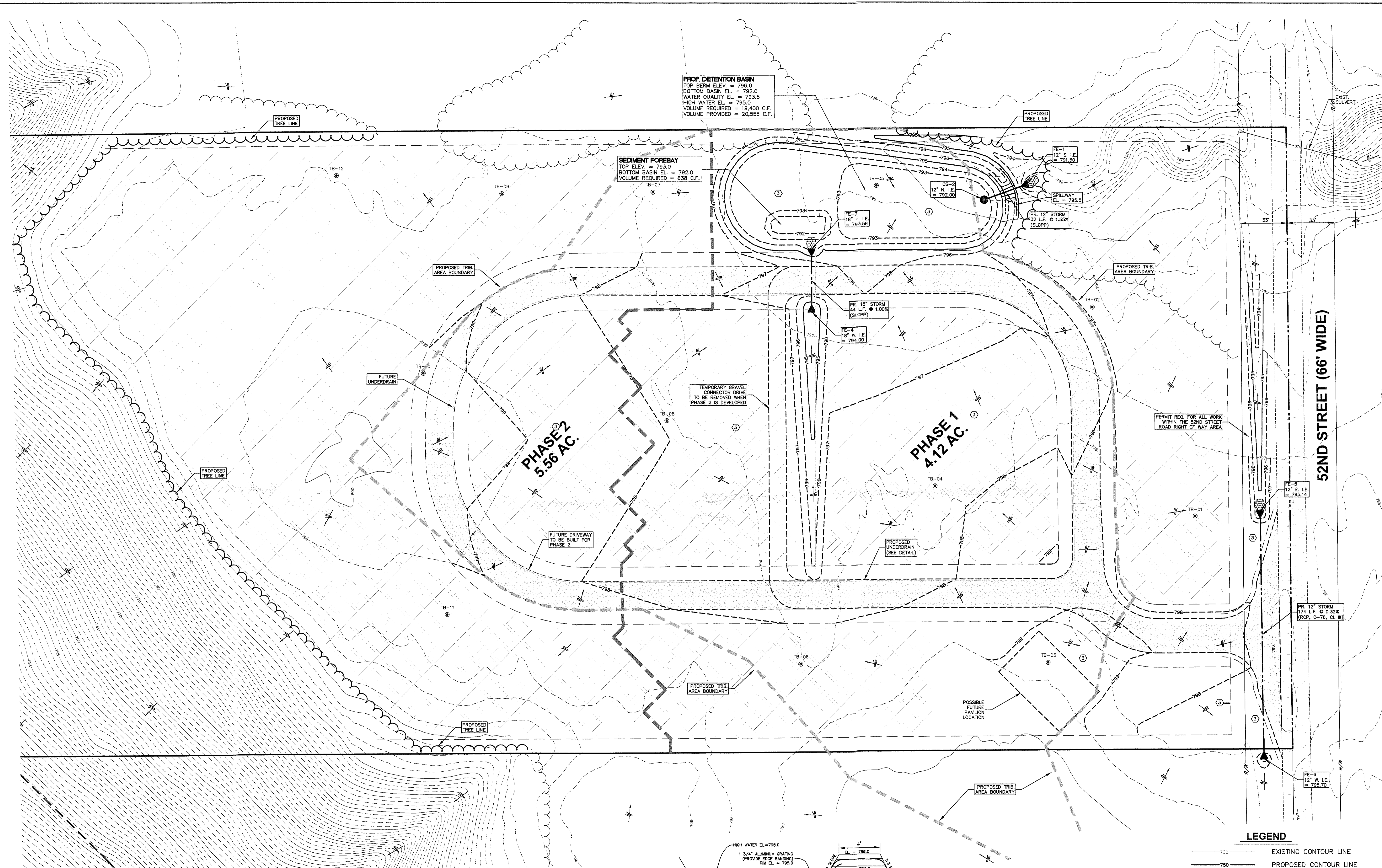
5056 PLAINFIELD AVE. NE
GRAND RAPIDS, MI 49525
TEL: (616) 361-7220

**DIMENSIONAL PLAN FOR
PROPOSED CEMETERY GRAVE SITES**
PART OF THE NW 1/4 OF SEC. 33, T6N, R10W
CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

CLIENT:
ISLAMIC MOSQUE & RELIGIOUS INSTITUTE
3357 EAST PARIS AVENUE, SE
KENTWOOD, MICHIGAN 49512
TELE: (616) 437-0115

PROJECT NO.
230787

C-102



LEGEND

	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	EXISTING GRAVEL
	PROPOSED GRAVEL
	PROPOSED STORM SEWER
	DRAINAGE ARROW
	PLACE 3" TOPSOIL, SEED, AND MULCH (DISTURBED AREAS)

REVISIONS:

DESIGN BY: EP
 APPROVED BY: PCH
 DATE: OCT. 5, 2023

REVISIONS:
 10-23-23 - Site Plan Submittal

Roositen & Associates
 SURVEYING AND ENGINEERING

5035 PLAINFIELD AVE. NE
 GRAND RAPIDS, MI 49505 TEL: (616) 341-7255

**PRELIMINARY GRADING PLAN FOR
 PROPOSED CEMETERY GRAVE-SITES**
 PART OF THE NW 1/4 OF SEC. 33, T6N, R10W
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

CLIENT:
ISLAMIC MOSQUE & RELIGIOUS INSTITUTE
 3357 EAST PARIS AVENUE, SE
 KENTWOOD, MICHIGAN 49512
 TELE. (616) 437-0115

PROJECT NO.
 230787

C-103



CASCADE CHARTER TOWNSHIP

5920 Tahoe Drive SE Grand Rapids, Michigan 49546-7140

Date November 21, 2023
To Madison Smith-Jacoby
From Aric Thorne, PE
Subject Site Plan Review: Metwalli Cemetery, 6670 52nd St

I have reviewed the site plan at 6670 52nd St prepared by Roosien & Associates. The applicant is proposing a cemetery on the parcel.

Stormwater and Drainage

The proposed project is being reviewed under the 2022 Stormwater Ordinance and the criteria in the Stormwater Standards Manual revised March 2021.

The site consists of a 9.68-ac undeveloped parcel with 436.0-ft of frontage along 52nd St approximately 900-ft west of Thornapple River Dr. Ground cover is characterized by grass lawn.

The project site is in Flood Control Zone 2, requiring detention for the 25-year storm with a maximum release rate of 0.13-cfs. Proposed development increases the tributary area from 3.56-ac to 3.92-ac, including 0.63-ac of gravel surface. Private gravity storm sewer and a single detention basin is included for stormwater controls.

Flood Control

The applicant provided proposed detention basin specifications with supporting design calculations. A general approximation of soil types and characteristics are used from the Natural Resources Conservation Service. Soil boring logs are provided in the plan set.

The proposed detention basin is located along the west boundary of the parcel. One 18-in diameter outlet (FE-3) drains the area (FE-4) across the access drive into the basin. Energy dissipation is provided via riprap protection. A sediment forebay with capacity for the required water quality volume (638-cft) is provided. Basin outlet design includes an emergency spillway, a 2-ft diameter structure, and 12-in diameter sewer pipe and outfall with riprap protection. Downstream is an apparent existing drainage course with a culvert across 52nd St.

Water Quality and Channel Protection

Water quality and channel protection are provided through the on-site detention basin. The design accounts for both water quality and channel protection (3,719-cft) quantities. The minimum 1.0-ft of freeboard, or 0.5-ft above the design flow depth over the spillway, is included.

The primary and emergency overflows account for the 10-year peak inflow at the maximum design high water level. Plans include a section detail for the basin overflow spillway.

Drainage Plan

The applicant has submitted plans with existing and proposed drainage patterns and existing topography. Side slopes for the proposed detention basin are 1:4, less than the maximum if regular mowing is required.

A maintenance agreement and a long-term maintenance plan are required before construction begins. The maintenance agreement and plan should include at a minimum the cleaning of pretreatment areas; cleaning of the detention basin; cleaning of the catch basin sump in the outfall structure; and sediment and debris removal from outlet structures.

Utilities and General Comments

The plan set includes locations, rim elevations, and pipe inverts for the private gravity storm sewer system. A 12-inch storm sewer (FE-6 to FE-5) is proposed across the access drive in the approach at 52nd St. Riprap protection is included at the outlet. Kent County Road Commission (KCRC) must review and permit for construction.

No other utilities are shown or anticipated, except electricity for the future possible installation of a pavilion. The access road will consist of 6-in aggregate base over 12-in sand subbase and a 6-in subbase underdrain. Grave block dimensions and layout is provided.

Soil Erosion and Sedimentation Control (SESC)

Applicant indicated limits of disturbance. No SESC measures are provided in the plan set. KCRC must review and approve plans and issue an SESC permit before construction may begin.

Summary

The proposed stormwater management design meets the Township Stormwater Ordinance requirements for the site location. I recommend approval from an engineering point of view.

Let me know if you have any questions or concerns.

MEMO

TO: Madison Smith-Jacoby, Zoning Administrator
Cascade Charter Township

FROM: Michael D. Homier & Courtney G. Agrusa

DATE: November 28, 2023

RE: Federal, State, and Local Laws Regulating the Establishment of a Cemetery
Operated by a Religious Institution or a Nonprofit

On November 22, 2023, our office provided Cascade Charter Township (“Township”) with a memo regarding the procedures and standards to review a planning and zoning application for a special land use permit to develop a cemetery. In response to that memo, the Township requested additional information concerning the application of federal, state, and local laws regulating the establishment of a cemetery operated by a religious institution or a nonprofit organization.

Specifically, the Township wanted to know 1) what proof, if any, a religious institution or nonprofit would have to provide the Township as part of its application to develop a cemetery and 2) if a religious institution or nonprofit organization is exempt from the Cemetery Regulation Act, 1968 PA 251. Our opinion follows.

Background

Religious Land Use and Institutionalized Persons Act of 2000 (“RLUIPA”), 42 USC §§2000cc, et seq.

The RLUIPA was adopted to protect individuals, houses of worship, and other religious institutions from discrimination in landmarking and zoning laws. In general, the RLUIPA protects against 1) the imposition of a substantial burden on the religious exercise of a person, religious institution, or religious assembly, unless there is a demonstrated compelling governmental interest that can be pursued in the least restrictive manner possible; 2) the unequal treatment of religious assemblies and institutions; 3) religious or denominational discrimination; 4) the total exclusion of religious assemblies or institutions from a jurisdiction; and 5) the placement of unreasonable limitations on religious assemblies and institutions. 42 USC §§2000cc(a)(1).

A government agency may avoid claims under the RLUIPA by ensuring that its policies or practices do not result in a substantial burden on a person’s religious exercise. 42 USC §§2000cc-3(e). This can be done by 1) changing its policies or practices that may result in a substantial burden, 2) retaining its policies or practices and exempting the religious exercise that has been substantially burdened, 3) providing exemptions for applications from policies or procedures that substantially burdened religious exercise, or 4) any other means that may eliminate a substantial burden. *Id.*

Cemetery Regulation Act, 1968 PA 251 (“CRA”)

The CRA regulates, among other things, 1) the creation and management of cemeteries, 2) the standards for long-term care of a cemetery, and 3) the qualifications for ownership of a cemetery. It does not, however, regulate cemeteries owned and operated by municipal corporations, churches, or religious institutions. MCL 456.530(1). While the CRA is silent regarding what is considered a religious institution, it does seem to differentiate between churches, religious institutions, and nonprofits as an additional exemption is carved out under MCL 456.530(2) for nonprofits operating a cemetery before September 15, 1968.¹

A “cemetery owner” is defined as “the person who has title to the cemetery.” MCL 456.522(r). An “operator” is defined as any of the following:

- i)* A person, an officer of a person, a partner of a person, or a member or manager of a limited liability company, who holds more than 50% voting rights in a cemetery owner.
- ii)* A person who is a member of the board of directors of a cemetery owner, a partner in a cemetery owner, or a member or manager of a limited liability company that is a cemetery owner.
- iii)* An administrative official of the cemetery owner or the person described in subparagraph (*i*), comparable to a chief administrative officer, chief executive officer, or chief financial officer.

MCL 456.522(s).²

Analysis

Based on the above, the Township should evaluate all special use permit applications for the development of a cemetery consistently and in compliance with the Township’s Zoning Ordinance (“Ordinance”), regardless of whether the applicant identifies as a nonprofit or religious institution.

Here, the applicant identifies as an Islamic Mosque and Religious Institute (Al-Tawheed Islamic Center) based out of Kentwood, Michigan and describes itself as a nonprofit religious organization. The applicant wishes to develop a cemetery on land owned by Jada Ventures, LLC located in the

¹ Cemeteries for earth interment of 10 or less acres, “which are owned and operated entirely and exclusively by an existing nonprofit entity and in which a burial has taken place *before* September 15, 1968...” 1) are exempt from the fee provisions of the CRA; 2) shall have trust funds required by the CRA audited at the cemetery commissioner’s discretion; and 3) are exempt from endowment trust fund requirements established by the CRA, except for various reporting requirements dependent on whether the cemetery maintains endowment or perpetual care trust funds. MCL 456.530(2) (emphasis added). Here, the applicant is a nonprofit religious institution seeking to develop an earth interment cemetery on less than 10 acres of land. Because the application is for the development of a new cemetery, however, the exemptions outlined under MCL 456.530(2) do not apply.

² For purposes of the CRA, a “person” is defined as “an individual, group of individuals, sole proprietorship, partnership, limited liability company, association, corporation, government agency, cemetery, or a combination of these legal entities.” MCL 456.522(p).

ARC Agricultural/Rural Conservation District. This is a permissible special use under Chapter 17 the Ordinance.

So long as the applicant meets all of the necessary requirements set forth in the Ordinance, should consider approving the special use permit, but we will leave that determination to the Township. However, the Township should not request, and the applicant is not required to provide, proof of the applicant's religious or nonprofit status for purposes of seeking a special use permit. This is because the applicant's status has no bearing on the Township's role in the approval or denial of the applicant's planning and zoning application. Per the RLUIPA, all applicants must be treated the same to avoid any sort of disparate treatment or substantial burden on a religious institution's right to exercise its faith. 42 USC §§2000cc(a)(1). Therefore, any proofs necessary for exempt status should be left to the cemetery commissioner or their designee³ to review and determine for purposes of enforcement of the CRA.

That being said, we assume the applicant intends to purchase the land from Jada Ventures, LLC, although we are not clear about those intentions. It is also unclear whether Jada Ventures, LLC has any sort of affiliation with the applicant in its capacity as a religious institution, nonprofit, and future operator of the cemetery. Regardless, a cemetery owner is someone with title to the *cemetery* itself, not necessarily ownership of the *land*. In such case, we would argue the CRA would not apply to this cemetery if approved by the Township for development.⁴

We trust that the above adequately responds to your inquiry. Should you have any questions or concerns, please feel free to contact us.

MDH:CGA

87192:00001:200071686-1

³ The "cemetery commissioner" is the director of the Michigan Department of Labor and Economic Growth. MCL 456.522(k). The cemetery commissioner is charged with 1) promulgating rules under Administrative Procedures Act of 1969, 1969 PA 306, and 2) implementing and administering the act, including rules addressing (a) the maintenance of records relative to the financial aspects of cemeteries; (b) permit and registration application requirements; (c) procedures necessary to govern the conduct of contested cases; (d) the establishment, control, record keeping, and auditing of trust fund accounts; (e) the requirements for trust agreements and trust accounts; (f) the amount of consideration to be used in the sale or transfer of a cemetery; and (g) the submission of annual reports in accordance with the CRA. MCL 456.528(1).

⁴ This has little effect, if any, on the Township and its approval of the special use permit application, but rather is offered for consideration on how the cemetery will be regulated, operated, and maintained in the future by the State of Michigan.

Accessory Building Inventory 2010-2022 (5/10/22)

Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
11-3029	Korhorn	3480 Buttrick Ave	ARC	900	2.5	1,800
11-3052	Buckius	4900 Streamside Point	ARC	2,304	4.5	3,500
10 2999	Downing	1400 Windy Ridge	ARC	1,728	5.6	2,600
10 3010	Pepin	5640 McCords	ARC	2,400	10	3,000
10 3017	Halfmann	4590 Quiggle Ave	ARC	1,020	3.6	3,000
12-3070	Thornapple Pointe GC	7211 48th St	ARC			
12-3073	Burd	5630 Buttrick Ave	ARC	1,200	4.9	2,700
12-3077	Morris	5225 Buttrick Ave	ARC	2,432	5	2,000
12-3101	Hilbrands	6482 52nd St	ARC	1,536	80	1,500
13-3145	harold Cornelisse	8773 Running Deer Lane	ARC	1,440	10	2,200
14-3216	Gary Jehnke	5766 Buttrick Ave	ARC	1,920	7.6	1,800
15-3239	Chad Weldy	9575 52nd St	ARC	1,728	2.3	2,400
15-3256	Robert Harmon	4150 Cherry Lane	ARC	1,536	7.8	3,100
15-3260	Jay Nehls	3100 Foxfire Lane	ARC	1,575	5	4,000
15-3267	Paul Kucharczyk	9150 52nd St	ARC	1,728	2.9	1,500
16-3315	Roelofs	9554 52nd St	ARC	4,864	4.4	3,700
17-3379	Shaffer	8665 28th st	ARC	1,066	2.5	2,500
17-3404	Teppo	3777 Cherry Lane	ARC	2,720	8.3	3,000
17-3411	Ruby	8358 28th St	ARC	2,192	1.9	2,500
18-3439	McConnell	5470 McCords	ARC	15,120	160	1,600
18-3448	Van note	8233 28th St	ARC	1,800	4.3	2,500
18-3482	Seeley	9404 28th St	ARC	1,680	17	2,800
18-3483	Hillman	8790 52nd St	ARC	2,688	4	2,800
18-3486	DeMeester	9478 Grand River Dr	ARC	3,136	12	3,300
18-3496	Eisen	7233 60th	ARC	1,728	4.4	2,300
19-3511	Doering	5500 McCords Ave	ARC	1,200	160	1,600
19-3524	Tolan	8505 60th St	ARC	1,600	11	2,100
19-3529	Hulst	3717 Cherry Lane	ARC	1,600	8	3,300
19-3530	Howard	8125 45th St	ARC	1,200	2.9	2,900
19-3546	Swift	8730 52nd St	ARC	1,344	2.5	2,600
20-3589	Dykhouse	2645 Meadow Crossing	ARC	1,634	13	7,900
20-3598	Maslowski	9585 60th St	ARC	1,296	2	1,900
20-3601	Poolman	6667 60th St	ARC	4,288	4.5	3,800
20-3616	Staples	5288 Buttrick Ave	ARC	1,300	2.3	4,500
21-3637	Seely	4200 Cherry Ln	ARC	1,224	0.97	1,100
21-3638	Davis Flia Construction	6541 60th St	ARC	4,000	14.7	2,900

Accessory Building Inventory 2010-2022 (5/10/22)

21-3659	Lange	9205 28th St	ARC	1,600	3.4	2,800
21-3664	Eggleston	9091 36th St	ARC	1,680	9.2	2,900
21-3677	Elliott	6870 48th St	ARC	1,536	0.9	1,400
21-3682	Warren	5650 McCords Ave	ARC	1,561	2.9	2,700
22-3695	Downey	3030 Wood Duck Ln	ARC	3,456	4.6	5,100
23-3774	DeMeester	2511 Sugar Creek/9478 Grand R	ARC	2,142	11.9	2,142
23-3770	Vanderschaaf	3671 Cherry Lane	ARC	1,900	3.84	2,549
12-3076	Lash	8951 Cascade Rd	FP	1,680	2.4	1,800
15-3265	Randy Gaskin	3505 Snow Ave	FP	1,536	2	1,400
18-3443	Carpenter	8650 36th St	FP	1,560	15	3,400
19-3531	Beatson	9100 Cascade Rd	FP	3,200	15	2,600
20-3600	Grzywacz	8683 Cascade Rd	FP	1,440	3.7	4,000
21-3625	Randall Burri Builder	4670 Quiggle Ave	FP	1,728	3.6	1,700
13-3161	Epique Homes	1415 Ballybunion Dr	PUD	4,500	6	6,600
16-3314	Reynolds	5701 Buttrick Ave	PUD 52	1,256	2.2	2,500
18-3494	Stibitz	3494 Bloomington Hills	PUD 66	1,500	1.39	2,200
10 3008	Koetje/Proos	8091 Ashwood Dr	PUD 89	1,120	2.5	4,520
19-3561	Hayes	3570 Buttrick Ave	PUD 61	1,200	2.2	2,600
21-3619	Krause	2439 Sturbridge Dr	PUD 65	1,728	6.6	4,000
21-3631	Bigger	4983 Clear Ridge Dr	PUD 72	1,200	1.2	2,800
22-3707	Harwood	8189 Ashwood Dr	PUD 89	1,260	1.9	4,550
23-3785	Klucze	8189 Ashwood Drive	PUD 89	1,260	1.9	4,550
10 3001	Ike	4390 Whitneyville	R1	1,200	3.8	1,000
10 3014	Borisch	5333/5200 Dayenu	R1	2,304	44	6,000
12-3082	DeVos	2020 Devonwood Lane	R1	8,500	35	17,000
14-3184	Jon DeGraff	6960 Thornview	R1	1,520	4.6	3,500
14-3185	James Hackett	1547 Briarcliff Dr	R1	1,400	2.2	7,500
14-3190	Aaron Schaap	1910 Laraway Lake Dr	R1	2,604	13	8,200
14-3197	John Shipley	7373 Biscayne Way	R1	1,000	2.6	3,200
15-3241	John Borisch	5200 Dayenu Dr	R1	3,000	9	6,000
15-3253	Derek Benedict	1961 Steketee Woods Lane	R1	1,936	2.9	6,900
15-3257	Jeff Shull	7500 Buttrick Park Dr	R1	1,440	3.03	3,600
15-3290	Hockstra	1350 Briarcliff	R1	1,232	1	4,000
16-3301	Keeler	8100 45th st	R1	1,504	1.2	2,500

Accessory Building Inventory 2010-2022 (5/10/22)

16-3311	Borisch	5292 Dayenu	R1	5,000	3.8	5,000
16-3337	Romence	5752 Hall St	R1	1,200	1.7	2,200
16-3352	Rise	8200 48th st	R1	1,600	1.05	3,000
17-3383	Popp	1360 Briarcliff	R1	1,200	1.16	4,800
17-3417	Salmon	6350 Cascade Rd	R1	1,440	4.6	1,300
18-3452	Kortman	4555 Little Harbor Dr	R1	1,296	0.95	3,000
18-3474	Rowland	4250 Whitneyville Ave	R1	1,300	5	2,800
18-3480	Stachowiak	7871 Shadybrook	R1	1,800	2	2,200
18-3481	Doezema	5625 Alaska Ave	R1	1,944	5	2,000
19-3567	Brinks	1596 Buttrick Ave	R1	1,296	1.5	2,700
20-3595	Mayton	1468 Buttrick Ave	R1	1,326	1.8	4,700
21-3621	Engler	7080 Hidden Ridge	R1	3,312	4.4	7,000
21-3652	Waugh	7630 Cascade Rd	R1	1,200	1.8	2,000
21-3685	Renucci	5175 Buttrick	R1	2,520	55	
22-3699	D. Carpenter Homes	2011 Devonwood	R1	1,320	3.3	9,700
23-3771	Achterhof	5830 Burton Street SE	R1	980	3.8	2,448
22-3702	Underwood	7675 Sudbury Ln	R1	1,292	2.4	3,100
23-3764	Jipping	7779 Silverthorn Drive	R1	2,500	13.79	5,659
23-3767	Bartlett	1400 Buttrick Avenue	R1	1,574	2.58	4,331
22-3703	Matthews	8320 45th St SE	R1	1,200	1.3	1,550
11-3028	Slauer	3824 Goodwood Dr	R2	900	0.88	3,500
23-3753	Aaberg	1550 Thornapple River Drive	R2	1,495	1.15	2,800
Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
Avg				2,203	11.15	3,710
Avg ARC				2,274	15.33	2,790
Avg FP				1,857	6.95	2,483
Avg PUD				1,721	3.00	3,721
Avg R1				2,170	8.25	4,960