

AGENDA
Cascade Charter Township Planning Commission
Monday, April 18, 2022
7:00 pm
2870 Jacksmith Ave

Public may access the meeting via video conference software Zoom
<https://us02web.zoom.us/j/87044149458>

Meeting ID: 870 4414 9458
By Phone: +1 301 715 8592

- ARTICLE 1. Call the meeting to order
Record the attendance**
- ARTICLE 2. Pledge of Allegiance to the Flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Disclose any Conflict of Interest**
- ARTICLE 5. Approve the Minutes of the March 21, 2022 Meeting**
- ARTICLE 6. Acknowledge visitors and those wishing to speak.
(Comments are limited to five minutes per speaker)**
- ARTICLE 7. Case #22-3699/D. Carpenter Homes
Public Hearing
Property Address: 2011 Devonwood Ln
Requested Action: The applicant is requesting approval of a Special Use Permit for an accessory building over 832 sq ft.**
- ARTICLE 8. Case #22-3702/Underwood
Public Hearing
Property Address: 7675 Sudbury Ln
Requested Action: The applicant is requesting approval of a Special Use Permit for an accessory building over 832 sq ft.**
- ARTICLE 9. Case #22-3697/Ridges of Cascade GR LLC
Property Address: 5985 Cascade Rd
Requested Action: The applicant is requesting site plan review for a 35' x 70' fenced-in dog park at the Ridges of Cascade.**
- ARTICLE 10. Case #22-3696/Luminar Technologies, Inc.
Property Address: 4300 Thornapple River Dr
Requested Action: The applicant is requesting site plan review for an approximately 26,500 sq ft building.**
- ARTICLE 11. Case #22-3701/Woods Builders Homes Inc.
Property Address: 6105 Charlevoix Woods Ct
Requested Action: Basic Plan Review for an amendment to the PUD Ordinance to allow for a 24-unit multi-family apartment complex.**

- ARTICLE 12. Discussion of Worm Farm/Composting Use**
- ARTICLE 13. Old Business**
- ARTICLE 14. Any Other Business**
 - **Educational and Workshop Opportunities**
- ARTICLE 15. Acknowledge visitors and those wishing to speak.
(Comments are limited to five minutes per speaker)**
- ARTICLE 16. Adjournment**

Meeting format

1. **Staff Presentation** *Staff report and recommendation*
2. **Project presentation-** *Applicant presentation and explanation of project*
 - a. **PUBLIC HEARINGS**
 - i. **Open Public Hearing.** *Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants*
 - ii. **Close public hearing**
3. **Commission discussion –** *May ask for clarification from applicant, staff or public*
4. **Commission decision - Options**
 - a. **Table the decision**
 - b. **Deny**
 - c. **Approve**
 - d. **Approve with conditions**
 - e. **Recommendation to Township Board**

Minutes
Cascade Charter Township
Planning Commission
Monday March 21, 2022
7:00 P.M.
2870 Jacksmith Ave SE

ARTICLE 1. Vice Chairman Moxley called the meeting to order at 7:01 P.M.
Members Present: Noordhoek, Moxley, Deering, Rissi, Rapin, Korstange, and Rowland
Members Absent: Noordyke
Others Present: Interim Planning Director Brian Hilbrands and those listed on the sign-in sheet.

ARTICLE 2. Pledge of Allegiance

ARTICLE 3. Approve the current Agenda

Motion was made by Member Rissi to approve the current Agenda. Supported by Member Deering. Motion carried 7 to 0.

ARTICLE 4. Disclose any Conflicts of Interest

There weren't any conflicts of interest disclosed.

ARTICLE 5. Accept the Minutes of the September 13, 2021 Round Hill Committee Meetings

Member Rissi explained that the substance of these minutes may include more opinion and extrapolation of information than their committee minutes generally do.

Motion was made by Member Rapin to accept the minutes of the September 13, 2021 Round Hill Committee meeting minutes. Supported by Member Korstange. Motion carried 7 to 0.

ARTICLE 6. Approve the March 7, 2022 Meeting Minutes

Motion was made by Member Rissi to approve the March 7, 2022 meeting minutes as written. Supported by Member Deering. Motion carried 7 to 0.

ARTICLE 7. Acknowledge visitors and those wishing to speak on non-agenda items.

There weren't any visitors who wished to speak.

ARTICLE 8. Case #22-3695/Matt Downey

Property Address: 3030 Wood Duck Ln

Requested Action: The applicant is requesting approval of a Special Use Permit for an accessory building over 832 sq ft.

Interim Planning Director Hilbrands presented the case to the Planning Commission. The accessory building will have a 42' x 64' storage section, a 24' x 24' heated wood shop, and an 8' x 24' covered porch (3,456 ft). There is a 60-foot setback required for

the side and rear property lines and this building meets the setback with a 122' to the closest side property line and a setback of 60.5' to the rear property line. The home on the property is currently under construction and the applicant is aware that they cannot get a building permit for the accessory building until the home is at least 50% complete. The metal roof and siding are not uncommon in the ARC zoning district and, while the building is larger than others in the area, there are examples of similar sized buildings approved on similar sized parcels. Staff recommend approval for the special use permit with the conditions that the outdoor lighting meet township standards, the building not be used for living space or to run a business, the home receives approval of the rough-in inspection before a building permit for the accessory building is issued.

Member Noordhoek suggested they add another requirement that the applicant meet the township's stormwater ordinance.

Matt Downey spoke before the Planning Commission about how he is building his dreamhouse with his dream barn where he will work on woodworking projects, store his RV, and store his cars.

Member Moxley praised the site plans, saying they make it easy to visualize the architect's intentions.

Member Rissi motioned to open public hearing. Supported by Member Deering.

No one wished to speak.

Member Rissi motioned to close public hearing. Supported by Member Rapin.

Motion was made by Member Rissi to approve the Special Use Permit with staff recommendations as well as the property continuing to meet the township's stormwater ordinance. Supported by Member Korstange. Motion carried 7 to 0.

ARTICLE 9. Review of Draft Planning Commission Rules of Conduct

Interim Planning Director Hilbrands shared that the township reached out to their attorney to draft new Planning Commission Rules of Conduct which were included in the packet.

The attorney will be asked if there is a reason these were titled 'Rules of Procedure' than the original 'Rules of Conduct'.

Member Rissi brought up a past situation where he was a commission member and the applicant for a case that was brought before the Planning Commission. He said previous Community Development Director Peterson told him that he couldn't present the case or even be in the room when his case was heard and he wondered how that would or should work with the new by-laws. His case was successful, but he felt he could have answered some of the board's questions better than the person who had to stand in for him which could sway the decision of a case. The members discussed that other township boards allow the member to be present if they have any conflict of interest, but they are to push their chair back from the table, can't participate in discussion, and can't vote. There was much discussion as to if the member should be asked to go sit in

the audience or if they could request the member leaves the room. Since the meetings are recorded and open to the public, most members thought that joining the audience should be sufficient. They also discussed how 'immediate family' is defined and who is considered a conflict of interest. They also considered what safeguard to have in place if conflicts occur.

Member Korstange suggested adding the attorney's definitions of 'Conflict of Interest' and 'Ex parte communications' to an index in the document, potentially including a list of examples that are not a comprehensive list.

There was discussion of what ex parte communications are and they clarified that it is acceptable to talk with applicants when they do a site visit for the purpose of fact finding, but not giving opinions. They can ask where the building is going to be put but not give advice as to whether the case was more likely to be approved if it were moved five feet. This information should also be disclosed to the commission at the meeting.

A section will be added to the planning application and Interim Planning Director Hilbrands will verbally tell applicants that they may have Planning Commission members stopping by for unannounced site visits.

Interim Planning Director Hilbrands pointed out that, in section 4B, it states that public hearing will be opened before the staff and applicant speak, which is contrary to how the Planning Commission currently conducts their meetings. They will be striking 4A and moving up A and C while making them less descriptive and matching the current meeting operations. The members also decided to remove all questions being directed through the chair, changing it to members being recognized by the chair to speak, and removing the sentence that Planning Commission members aren't to debate.

There was discussion as to why gifts of food have a dollar amount tied to them and other gifts do not. They decided to take out the dollar amount associated with food.

ARTICLE 10. Old Business

There was no old business.

ARTICLE 11. Any Other Business

Roundhill Committee Next Steps: Vice Chair Moxley, who is chairing the next steps of the Roundhill Subcommittee, announced the members that will be serving on it with him. They are Members Rissi, Rowland, Noordhoek, and Rapin. Member Noordyke will be serving as an alternate. Meetings will be held at the township office on Wednesdays at 4:00pm, with the intention of meeting every two weeks. Member Rissi will serve as the Secretary to the subcommittee. They will be pursuing information about project management software and would like to have a presentation by BS&A. Interim Planning Director Hilbrands will attend the meetings as often as possible as he will be an end user of the software the committee chooses. The meetings will be open to the public but will not be recorded or offered virtually.

Director of Public Works: Member Korstange shared that she will be sitting on the interview committee for the new Director of Public Works, representing the Parks Committee. There was discussion as to what the Planning Commission hopes for in the way of a candidate and their desire for an in-house civil engineer.

Planning Director: The Planning Commission congratulated Interim Planning Director Hilbrands for being recommended to fill the open Planning Director position. It would go to the board for approval the following night.

Open Planning Commission Seat: Vice Chair Moxley shared that he had put forward a resident to fill the Planning Commission seat but that fell through so he encouraged he current members to suggest people they believed would be a good choice to fill the seat.

April Meeting: Interim Planning Director Hilbrands reminded the members that there will only be one meeting in April due to spring break, so the next meeting will be April 18th.

ARTICLE 12. Acknowledge visitors and those wishing to speak.

There were not any visitors who wished to speak.

ARTICLE 13. Adjournment

Motion was made by Member Rissi to adjourn. Supported by Member Korstange. Motion carried 7 to 0. The meeting was adjourned at 8:38 PM.

Respectfully submitted,

Diedre Deering, Secretary

STAFF REPORT

STAFF REPORT: Case #22-3699/D Carpenter Homes, LLC
REPORT DATE: April 12, 2022
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: April 18, 2022
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT:

D. Carpenter Homes, LLC
4236 Abby Lane SW
Wyoming, MI 49418

STATUS
OF APPLICANT:

Builder

REQUESTED ACTION:

The applicant is requesting a special use permit to construct an accessory building larger than 832 square feet.

PROPERTY ADDRESS:

2011 Devonwood Ln

EXISTING ZONING OF
SUBJECT PARCEL(S):

All R-1

GENERAL LOCATION:

West side of Cascade Road, east of Watermark

PARCEL SIZE:

Approximately 3.3 acres

EXISTING LAND USE
ON THE PROPERTY:

Residential

ADJACENT AREA
LAND USES:

W, S – Residential
E – Vacant
N – Walden Lake

ZONING ON
ADJOINING PARCELS:

All R-1

STAFF COMMENTS:

1. The applicant is requesting permission to construct an accessory building on the property. The building will be 40' x 33' (1,320 sq ft).
2. The building will be approximately 11.5' tall as measured to the midpoint of the roof.

3. This requires a minimum of a 10-foot setback to the side property lines and 25-feet to the rear property line. The applicant shows a setback of 10.1' to the side property line and there will be a setback of over 100' to the rear property line. The building will also have to be at least 10' from any other building.
4. With between 3-6 acres the applicant is permitted to have two accessory buildings on the property.
5. The applicant has indicated that the building will be used for vehicle storage, and it will also have a golf simulator.
6. The size of the building is "normal" for the zoning district.
7. The building is planned to have a tile and copper roof and stone/travertine siding to match the house.
8. Any outdoor lighting will have to meet our standards, requiring it to be shielded and downcast or at a level that is exempted.
9. It should be noted that accessory buildings cannot be used for living space or to run a business.

Conditions for Special Use Permit Approval

Upon review of a Type 1 Special Use Permit for an accessory building, Section 17.03(1)(a) of the Zoning Ordinance requires the Planning Commission to consider several factors. I have listed those items for your consideration followed by my comments for each.

Factors	Comment
The intended use of the building.	The applicant has indicated that the building will be used for storage of vehicles as well as a golf simulator.
The proposed location, type and kind of construction and general architectural character of the building.	The building is planned to have a tile and copper roof and stone/travertine siding to match the house
The size of the building in relation to the house, lot and zoning district.	The property is about 3.3 acres, and the home has about 9,694 square feet of finished living space.
The type and kind of principal and accessory buildings and structures located on properties which are adjoining and in the general area.	There are other detached buildings in the general area.
The topography and vegetation in the area.	Mostly flat and open.
Whether the proposed building will affect the light and air circulation of any adjoining properties.	No impact.

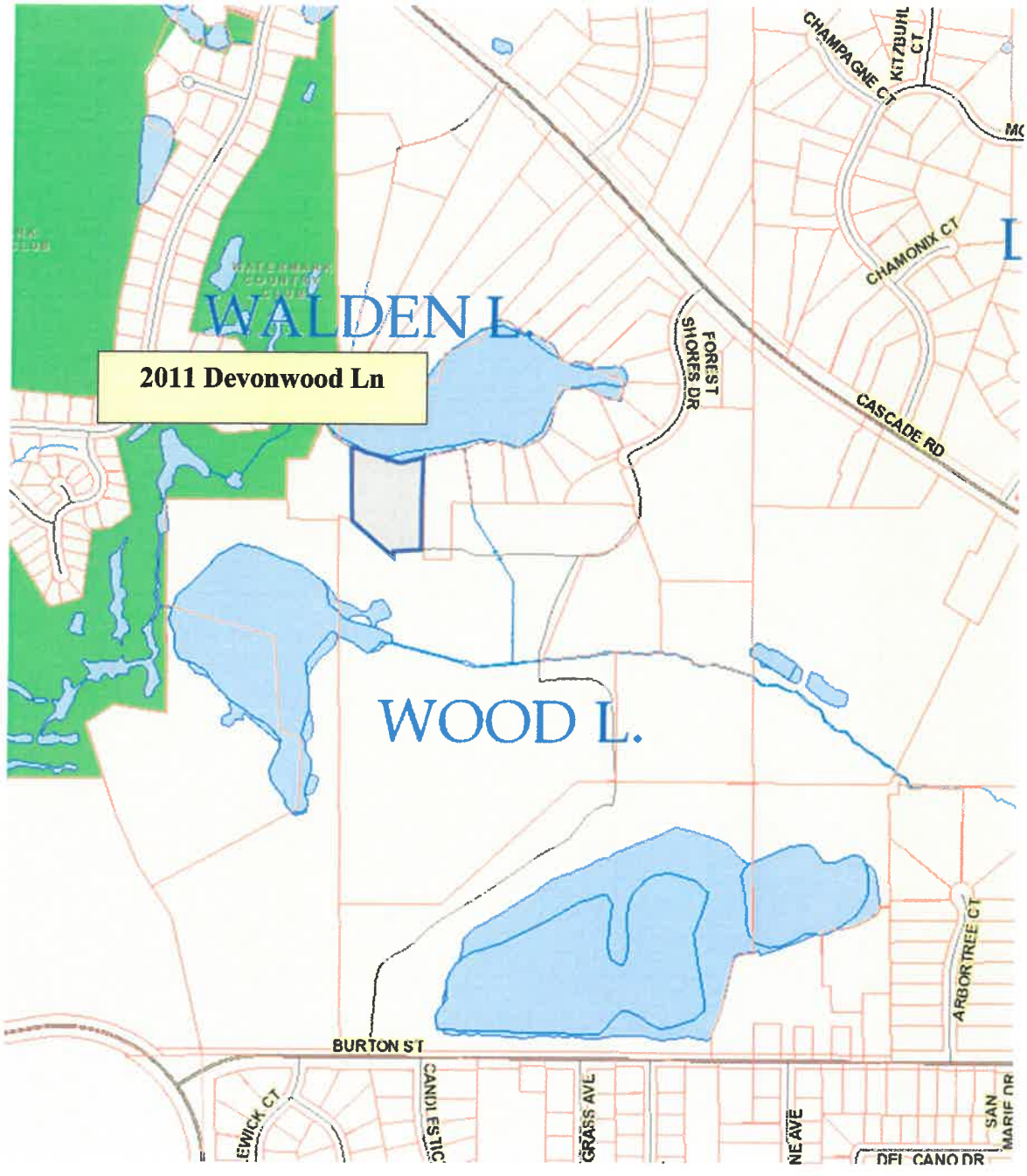
Whether the proposed building will adversely affect the view of any adjoining property owner or occupant.	The location of the building would not have an adverse effect on adjoining property views.
Points of access to the proposed building and their relationship to adjoining properties and the view from the adjacent streets.	No new access to the street will be created.

STAFF RECOMMENDATION:

I recommend that you approve the special use permit as requested with the following conditions. The building should be in compliance with all applicable zoning ordinance regulations, including:

1. The building is not used for living space or to run a business.
2. Any outdoor lighting meets our regulations.

Attachments: application package, accessory building inventory



2011 Devonwood Ln

WALDEN L.

WOOD L.

BURTON ST

LEWICK CT

CANDI ESTIG

GRASS AVE

NEAVE

DEL CANO DR

SAN MARIE DR

ARBORTREE CT

CASCADE RD

CHAMONIX CT

CHAMPAGNE CT

KITZBUHL CT



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids, Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: D. Carpenter Homes LLC
 Address: 4236 Abby Lane SW
 City & Zip Code: Wyoming MI 49418
 Telephone: 616-437-9819
 Email Address: dcarpenter9819@gmail.com

OWNER: * (If different from Applicant)
 Name: Kaz Darehshori
 Address: 2011 Devonwood Lane SE
 City & Zip Code: Grand Rapids MI 49546
 Telephone: 616-446-9767
 Email Address: kaz@aalchem.com

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. – Rezoning * |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance Subdivision |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

** Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:**

Approval request for 40'x33' accessory building per attached site plan

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY**:

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 _____

ADDRESS OF PROPERTY: 2011 Devonwood Ln SE, Grand Rapids MI 49546

PRESENT USE OF THE PROPERTY: Residential

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
_____	_____
_____	_____

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Kaz Darehshori

Owner – Print or Type Name
(*If different from Applicant)

* [Signature]

Owner’s Signature & Date
(*If different from Applicant)

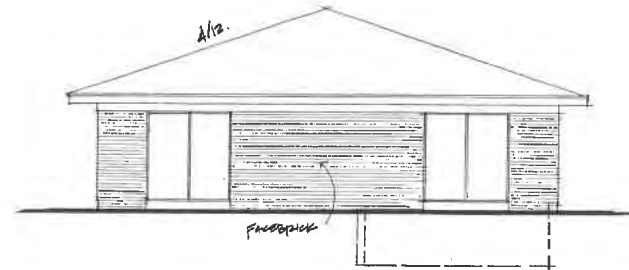
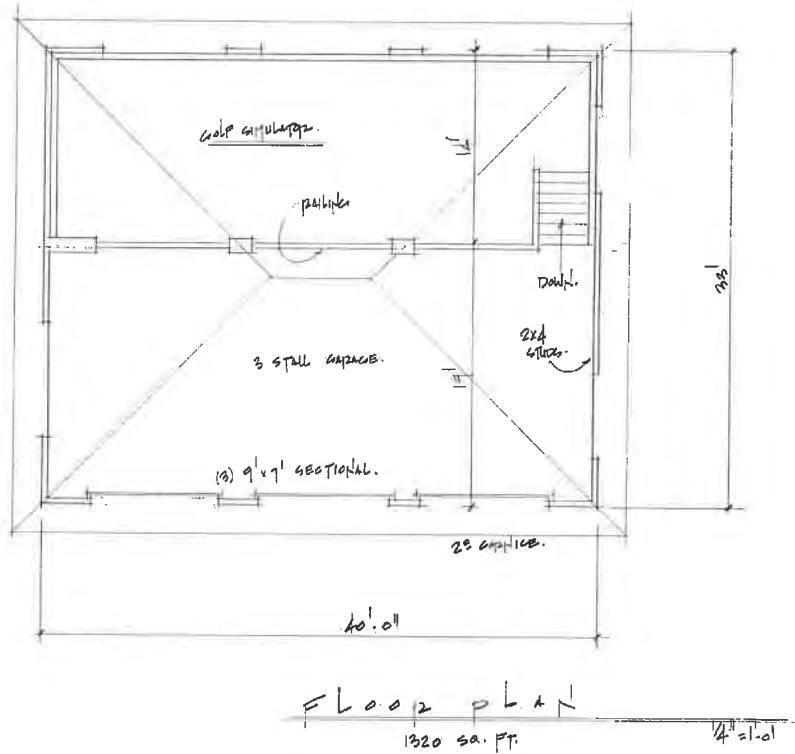
Dustin Carpenter

Applicant – Print or Type Name

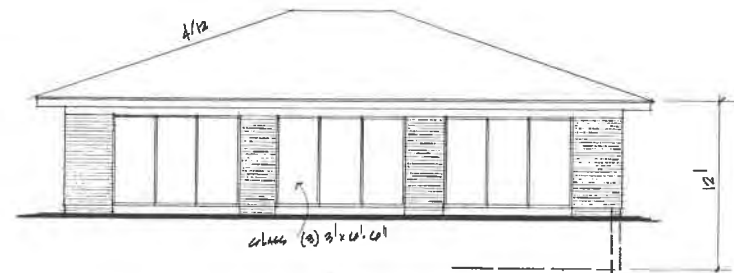
[Signature]

Applicant’s Signature & Date

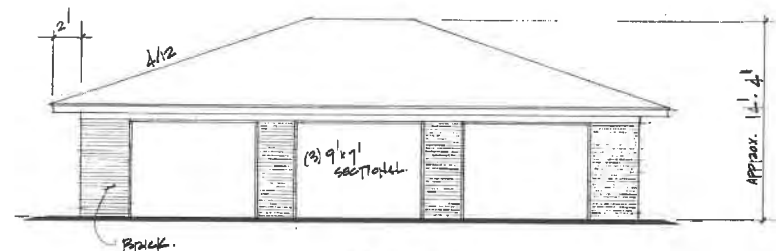
PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU



RIGHT SIDE 1/4" = 1'-0"



BACK 1/4" = 1'-0"



FRONT 1/4" = 1'-0"

3101 South Street, Suite 102
 Chesapeake, VA 23041
 Henry Fitzpatrick@gmail.com
 Phone (813) 553-3300

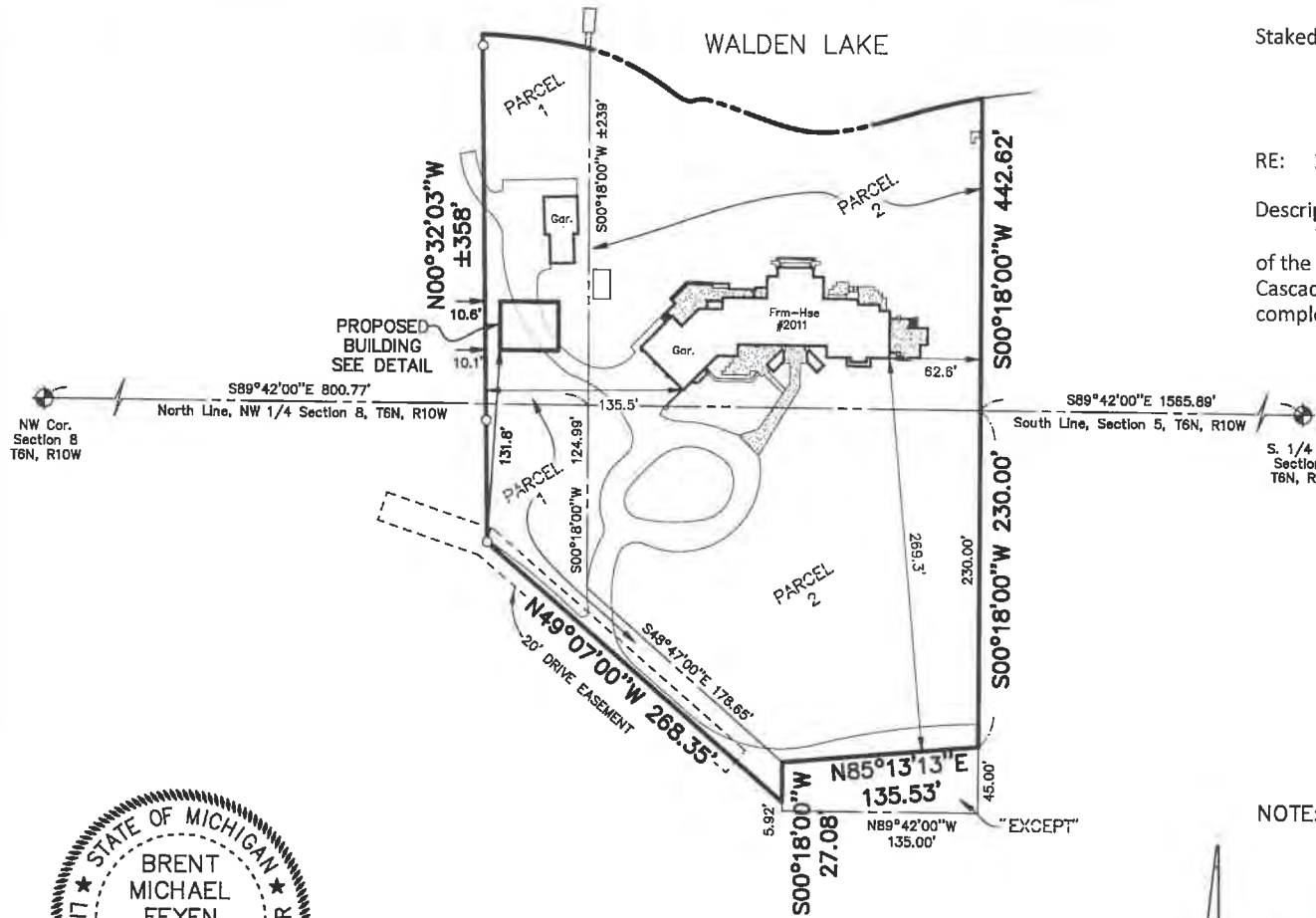
Fitzpatrick
 CONSULTING

Final Detailed Residence

1-19-21

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THESE PLANS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. DATE: 11-19-21

WALDEN LAKE



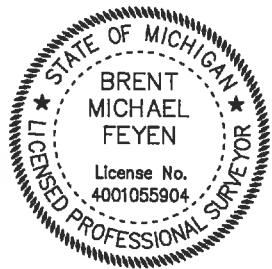
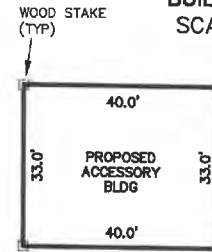
Staked Building for: D Carpenter Homes
 Attn: Dustin Carpenter
 4236 Abby Lane SW
 Wyoming, MI 49418

RE: 2011 Devonwood Lane

Description:

That part of the Southwest 1/4, Section 5, and that part of the Northwest 1/4, Section 8, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan. See page 2 for complete description.

BUILDING DETAIL
 SCALE: 1"=30'



NOTE: EXISTING HOUSE & OTHER IMPROVEMENTS SHOWN PER BURGESS SURVEY DATED 05/01/18, JOB # 1812101

NOTE: The location of the proposed building as shown on this map is based on instructions given to Exxel Engineering, Inc. Municipal approval of the proposed location should be obtained prior to construction.

PAGE 1 OF 2

Scale 1" = 100'

- D = Deeded dimension
- M = Measured dimension
- P = Platted dimension
- = Set iron stake
- = Found iron stake
- ⊙ = Concrete monument
- x- = Fence line



exxel engineering, inc.
 planners · engineers · surveyors
 5252 Clyde Park, S.W. • Grand Rapids, MI 49509
 Phone: (616) 531-3660 www.exxelengineering.com

FILE NO.: S221063

DATE: 01/21/2022

Accessory Building Inventory 2010-2022 (3/22/22)

Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
11-3029	Korhorn	3480 Buttrick Ave	ARC	900	2.5	1,800
11-3052	Buckius	4900 Streamside Point	ARC	2,304	4.5	3,500
10 2999	Downing	1400 Windy Ridge	ARC	1,728	5.6	2,600
10 3010	Pepin	5640 McCords	ARC	2,400	10	3,000
10 3017	Halfmann	4590 Quiggle Ave	ARC	1,020	3.6	3,000
12-3070	Thornapple Pointe GC	7211 48th St	ARC			
12-3073	Burd	5630 Buttrick Ave	ARC	1,200	4.9	2,700
12-3077	Morris	5225 Buttrick Ave	ARC	2,432	5	2,000
12-3101	Hilbrands	6482 52nd St	ARC	1,536	80	1,500
13-3145	harold Cornelisse	8773 Running Deer Lane	ARC	1,440	10	2,200
14-3216	Gary Jehnke	5766 Buttrick Ave	ARC	1,920	7.6	1,800
15-3239	Chad Weldy	9575 52nd St	ARC	1,728	2.3	2,400
15-3256	Robert Harmon	4150 Cherry Lane	ARC	1,536	7.8	3,100
15-3260	Jay Nehls	3100 Foxfire Lane	ARC	1,575	5	4,000
15-3267	Paul Kucharczyk	9150 52nd St	ARC	1,728	2.9	1,500
16-3315	Roelofs	9554 52nd St	ARC	4,864	4.4	3,700
17-3379	Shaffer	8665 28th st	ARC	1,066	2.5	2,500
17-3404	Teppo	3777 Cherry Lane	ARC	2,720	8.3	3,000
17-3411	Ruby	8358 28th St	ARC	2,192	1.9	2,500
18-3439	McConnell	5470 McCords	ARC	15,120	160	1,600
18-3448	Van note	8233 28th St	ARC	1,800	4.3	2,500
18-3482	Seeley	9404 28th St	ARC	1,680	17	2,800
18-3483	Hillman	8790 52nd St	ARC	2,688	4	2,800
18-3486	DeMeester	9478 Grand River Dr	ARC	3,136	12	3,300
18-3496	Eisen	7233 60th	ARC	1,728	4.4	2,300
19-3511	Doering	5500 McCords Ave	ARC	1,200	160	1,600
19-3524	Tolan	8505 60th St	ARC	1,600	11	2,100
19-3529	Hulst	3717 Cherry Lane	ARC	1,600	8	3,300
19-3530	Howard	8125 45th St	ARC	1,200	2.9	2,900
19-3546	Swift	8730 52nd St	ARC	1,344	2.5	2,600
20-3589	Dykhouse	2645 Meadow Crossing	ARC	1,634	13	7,900
20-3598	Maslowski	9585 60th St	ARC	1,296	2	1,900
20-3601	Poolman	6667 60th St	ARC	4,288	4.5	3,800
20-3616	Staples	5288 Buttrick Ave	ARC	1,300	2.3	4,500
21-3637	Seely	4200 Cherry Ln	ARC	1,224	0.97	1,100
21-3638	Davis Flia Construction	6541 60th St	ARC	4,000	14.7	2,900

Accessory Building Inventory 2010-2022 (3/22/22)

21-3659	Lange	9205 28th St	ARC	1,600	3.4	2,800
21-3664	Eggleston	9091 36th St	ARC	1,680	9.2	2,900
21-3677	Elliott	6870 48th St	ARC	1,536	0.9	1,400
21-3682	Warren	5650 McCords Ave	ARC	1,561	2.9	2,700
22-3695	Downey	3030 Wood Duck Ln	ARC	3,456	4.6	5,100
12-3076	Lash	8951 Cascade Rd	FP	1,680	2.4	1,800
15-3265	Randy Gaskin	3505 Snow Ave	FP	1,536	2	1,400
18-3443	Carpenter	8650 36th St	FP	1,560	15	3,400
19-3531	Beatson	9100 Cascade Rd	FP	3,200	15	2,600
20-3600	Grzywacz	8683 Cascade Rd	FP	1,440	3.7	4,000
21-3625	Randall Burri Builder	4670 Quiggle Ave	FP	1,728	3.6	1,700
13-3161	Epique Homes	1415 Ballybunion Dr	PUD	4,500	6	6,600
16-3314	Reynolds	5701 Buttrick Ave	PUD 52	1,256	2.2	2,500
18-3494	Stibitz	3494 Bloomington Hills	PUD 66	1,500	1.39	2,200
10 3008	Koetje/Proos	8091 Ashwood Dr	PUD 89	1,120	2.5	4,520
19-3561	Hayes	3570 Buttrick Ave	PUD 61	1,200	2.2	2,600
21-3619	Krause	2439 Sturbridge Dr	PUD 65	1,728	6.6	4,000
21-3631	Bigger	4983 Clear Ridge Dr	PUD 72	1,200	1.2	2,800
10 3001	Ike	4390 Whitneyville	R1	1,200	3.8	1,000
10 3014	Borisch	5333/5200 Dayenu	R1	2,304	44	6,000
12-3082	DeVos	2020 Devonwood Lane	R1	8,500	35	17,000
14-3184	Jon DeGraff	6960 Thornview	R1	1,520	4.6	3,500
14-3185	James Hacket	1547 Briarcliff Dr	R1	1,400	2.2	7,500
14-3190	Aaron Schaap	1910 Laraway Lake Dr	R1	2,604	13	8,200
14-3197	John Shipley	7373 Biscyane Way	R1	1,000	2.6	3,200
15-3241	John Borisch	5200 Dayenu Dr	R1	3,000	9	6,000
15-3253	Derek Benedict	1961 Steketee Woods Lane	R1	1,936	2.9	6,900
15-3257	Jeff Shull	7500 Buttrick Park Dr	R1	1,440	3.03	3,600
15-3290	Hockstra	1350 Briarcliff	R1	1,232	1	4,000
16-3301	Keeler	8100 45th st	R1	1,504	1.2	2,500
16-3311	Borisch	5292 Dayenu	R1	5,000	3.8	5,000
16-3337	Romence	5752 Hall St	R1	1,200	1.7	2,200
16-3352	Rise	8200 48th st	R1	1,600	1.05	3,000
17-3383	Popp	1360 Briarcliff	R1	1,200	1.16	4,800
17-3417	Salmon	6350 Cascade Rd	R1	1,440	4.6	1,300
18-3452	Kortman	4555 Little Harbor Dr	R1	1,296	0.95	3,000
18-3474	Rowland	4250 Whitneyville Ave	R1	1,300	5	2,800

Accessory Building Inventory 2010-2022 (3/22/22)

18-3480	Stachowiak	7871 Shadybrook	R1	1,800	2	2,200
18-3481	Doezema	5625 Alaska Ave	R1	1,944	5	2,000
19-3567	Brinks	1596 Buttrick Ave	R1	1,296	1.5	2,700
20-3595	Mayton	1468 Buttrick Ave	R1	1,326	1.8	4,700
21-3621	Engler	7080 Hidden Ridge	R1	3,312	4.4	7,000
21-3652	Waugh	7630 Cascade Rd	R1	1,200	1.8	2,000
21-3685	Renucci	5175 Buttrick	R1	2,520	55	-
11-3028	Slauer	3824 Goodwood Dr	R2	900	0.88	3,500
Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
Avg				2,147	11.27	3,384
Avg ARC				2,274	15.33	2,790
Avg FP				1,857	6.95	2,483
Avg PUD				1,786	3.16	3,603
Avg R1				2,080	8.16	4,484

STAFF REPORT

STAFF REPORT: Case #22-3702/Underwood
REPORT DATE: April 13, 2022
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: April 18, 2022
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT:

Steven and Althea Underwood
7675 Sudbury Lane SE
Ada, MI 49301

STATUS OF APPLICANT: Property owner

REQUESTED ACTION: The applicant is requesting a special use permit to construct an accessory building larger than 832 square feet.

EXISTING ZONING OF SUBJECT PARCEL(S): R-1

GENERAL LOCATION: North side of 30th St, west of Buttrick Ave

PARCEL SIZE: Approximately 2.4 acres

EXISTING LAND USE ON THE PROPERTY: Residential

ADJACENT AREA LAND USES: All residential

ZONING ON ADJOINING PARCELS: All R-1

STAFF COMMENTS:

1. The applicant is requesting permission to construct an accessory building on the property. The building will have a 26' x 38' (988 square feet). The applicant noted that a 38' x 8' open awning along one side of the building is contemplated for future construction. This would bring the total size of the building to 1,292 square feet.
2. The building will be 14' tall as measured to the midpoint of the roof.

3. This requires a minimum of a 10-foot setback to the side property lines and 25-feet to the rear property line. The applicant shows a setback of 10' to the side property line and a setback of approximately 125' to the rear property line. The building will also have to be at least 10' from any other building. The awning would be placed on the west side of the building, so it would be no closer to the property line.
4. With less than 3 acres they applicant is only permitted to have one accessory building.
5. The applicant has indicated that the building will be used for storage of an RV, gardening equipment and a vintage car.
6. The size of the building is "normal" for the zoning district.
7. The building is planned to have vinyl siding and asphalt shingle roofing to match the house.
8. Any outdoor lighting will have to meet our standards, requiring it to be shielded and downcast or at a level that is exempted.
9. It should be noted that accessory buildings cannot be used for living space or to run a business.

Conditions for Special Use Permit Approval

Upon review of a Type 1 Special Use Permit for an accessory building, Section 17.03(1)(a) of the Zoning Ordinance requires the Planning Commission to consider several factors. I have listed those items for your consideration followed by my comments for each.

Factors	Comment
The intended use of the building.	The applicant has indicated that the building will be used for storage of vehicles as well as gardening equipment.
The proposed location, type and kind of construction and general architectural character of the building.	The building is planned to have vinyl siding and asphalt shingle roofing to match the house.
The size of the building in relation to the house, lot and zoning district.	The property is about 2.4 acres, and the home has about 3,139 square feet of finished living area.
The type and kind of principal and accessory buildings and structures located on properties which are adjoining and in the general area.	There are other detached buildings in the general area.
The topography and vegetation in the area.	Wooded and flat.
Whether the proposed building will affect the light and air circulation of any adjoining properties.	No impact.

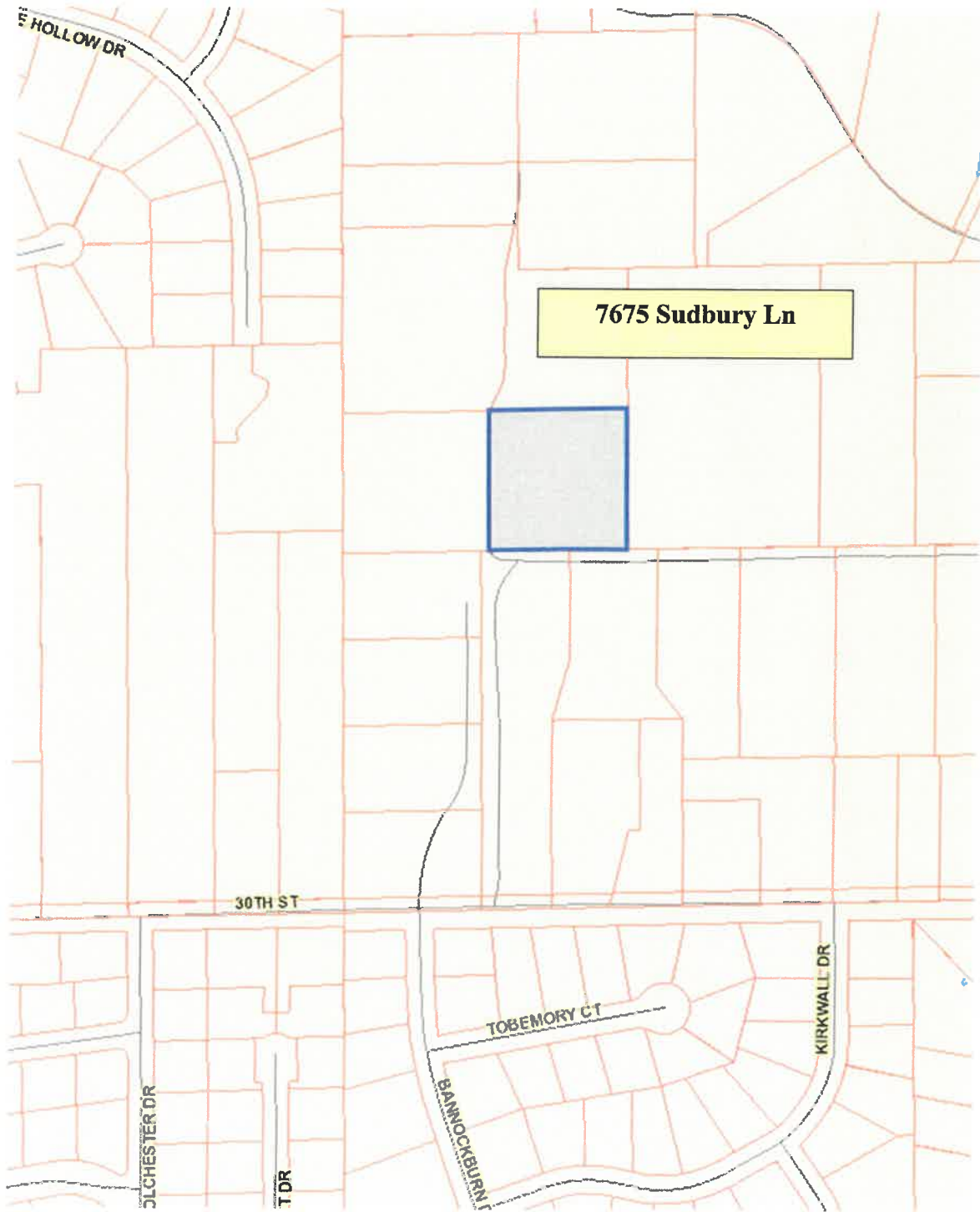
Whether the proposed building will adversely affect the view of any adjoining property owner or occupant.	The location of the building would not have an adverse effect on adjoining property views.
Points of access to the proposed building and their relationship to adjoining properties and the view from the adjacent streets.	No new access to the street will be created.

STAFF RECOMMENDATION:

I recommend that you approve the special use permit as requested with the following conditions. The building should be in compliance with all applicable zoning ordinance regulations, including:

1. The building is not used for living space or to run a business.
2. Any outdoor lighting meets our regulations.

Attachments: application package, accessory building inventory



7675 Sudbury Ln

E HOLLOW DR

30TH ST

TOBEMORY CT

KIRKWALL DR

BANOCKBURN

T DR

DLCHESTER DR



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids, Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Steven and Althea Underwood
 Address: 7675 Sudbury Lane SE
 City & Zip Code Ada, Michigan 49301
 Telephone: 616-901-9165
 Email Address: slunderwood@reagan.com

OWNER: * (If different from Applicant) Name: Same
 Address: _____
 City & Zip Code: _____
 Telephone: _____
 Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. – Rezoning *
<input type="checkbox"/> P.U.D. – Site Condominium *	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance Subdivision
<input checked="" type="checkbox"/> Special Use Permit	<input type="checkbox"/> Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ *

** Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:**
Construction of 26 x 38 x 12 pole barn (988 sf) for storage of recreational vehicle, gardening equipment, and vintage car. Building will have matching vinyl and asphalt shingles as residence. No commercial use. 2.37 acre parcel.

(**Use Attachments if Necessary)
 -SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

That part of the Northeast 1/4 of Section 15, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan, described as: Commencing at the Northwest corner of said Northeast 1/4; thence South 0 degrees 04 minutes 30 seconds West 490.70 feet along the West line of said Northeast 1/4; thence North 89 degrees 22 minutes 30 seconds East 348.68 feet along the North line of the South 838.0 feet of the North 1/2 of said Northeast 1/4 to the Place of Beginning for this description; thence North 89 degrees 22 minutes 30 seconds East 318.32 feet along said North line; thence North 0 degrees 04 minutes 30 seconds East 326.53 feet, parallel with the West line of said Northeast 1/4; thence South 89 degrees 24 minutes 30 seconds West 318.32 feet; thence South 0 degrees 04 minutes 30 seconds West 326.73 feet to the Place of Beginning. Together with an easement for driveway purposes over the East 66.0 feet of the West 389.68 feet of the South 838.0 feet of the North 1/2 of the Northeast 1/4 of Section 15.

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 Parcel Number: 41-19-15-201-002

ADDRESS OF PROPERTY: 7675 Sudbury Lane SE, Ada, MI 49301

PRESENT USE OF THE PROPERTY: Residential

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
<u>none</u>	<u></u>
<u></u>	<u></u>

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Steven Underwood

Owner – Print or Type Name
(*If different from Applicant)

* *Steven Underwood 3/21/22*

Owner's Signature & Date
(*If different from Applicant)

Althea Underwood

Applicant – Print or Type Name

Althea Underwood 3/21/2022

Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

SPECIAL USE PERMIT APPLICATION

7675 SUDBURY LN. SE, ADA, MI 4931

MARCH 21, 2022

SUMMARY OF SPECIAL USE PERMIT APPLICATION

1. Applicant is requesting permission to construct an accessory building on the property. The building will be 26' x 38' x 12'. Total enclosed area will be 988 ft.² A 38' x 8' open awning along one side of the building is contemplated for construction at a future date.
2. The building will be slightly less than 14 feet tall as measured to the midpoint of the roof.
3. This requires a 10-foot setback to the side property lines and a 25-foot setback to the rear property lines. Applicant shows a setback of at least 10 feet to the nearest side property line and a setback of approximately 125 feet to the rear property line. The building will also have to be at least 10 feet from any other building and Applicant shows approximately 40 feet from the primary residence, which is the closest building.
4. With less than 3 acres, Applicant is only permitted to have one accessory building on the property. This will be the first accessory building.
5. Applicant has indicated that the building will be used for storage of a recreational vehicle, garden equipment, and a vintage car. No commercial use is contemplated.
6. Applicant considers the size of the building (988 ft.²) to be "normal" for the area. The primary residence has about 3,337 ft.² of finished living space.
7. The building is planned to have asphalt shingle roofing and vinyl siding to match the primary residence. Applicant considers this to be normal for the area.
8. Applicant plans to only install outdoor lighting that will meet the Township standards, requiring it to be shielded and downcast or at a level that is exempted.
9. Applicant has no plans to use the accessory building as a living space or to run a business therefrom.

FACTORS FOR SPECIAL USE PERMIT APPROVAL

- A. The intended use of the building:

Applicant has indicated that the building will be used for storage of a recreational vehicle, garden equipment, and a vintage car.
- B. Proposed location, type and kind of construction and general architectural character of the building:

The building is planned to have asphalt shingle roofing and vinyl siding to match the primary residence.

- C. The size of the building in relation to the house, lot, and zoning district:

The property is about 2.37 acres and the home has about 3,337 ft.² of finished living space.

- D. The time and kind of visible accessory buildings and structures located on properties which are adjoining and in the general area:

There are other detached buildings in the general area.

- E. The topography and vegetation in the area:

The area is flat and partially wooded.

- F. Whether the proposed building will affect the light and air circulation of any adjoining properties:

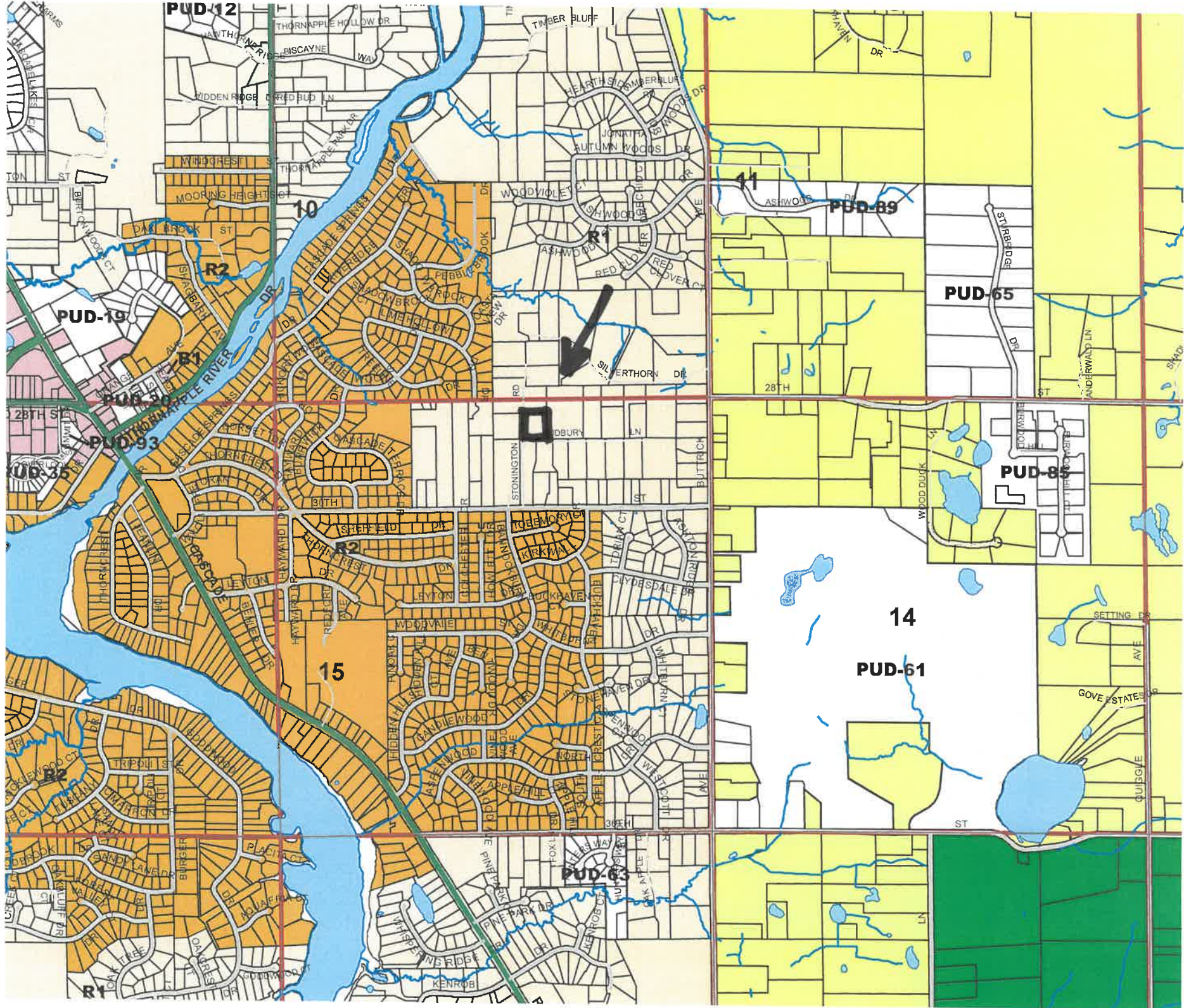
Applicant contends that the building will have no impact.

- G. Whether the proposed building will adversely affect the view of any adjoining property owner or occupant:

Applicant contends that the building would not have an adverse effect on adjoining property views.

- H. Points of access to the proposed building and their relationship to adjoining properties in the view from the adjacent streets:

Applicant contends that the site plan shows that no new access to the street will be created.





Parcel Mapper



2801 STONINGTON RD SE

2800 STONINGTON RD SE

2841 STONINGTON RD SE

STONINGTON

7675 SUDBURY LANE

7675 SUDBURY LN SE

SUDBURY

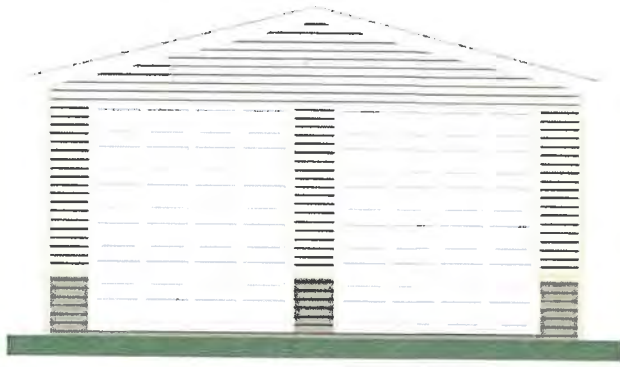


4/20/20



Parcel Mapper





E1 SOUTH ELEVATION
SCALE: 1/4 IN = 1 FT



E2 EAST ELEVATION
SCALE: 1/4 IN = 1 FT



E3 NORTH ELEVATION
SCALE: 1/4 IN = 1 FT



E4 WEST ELEVATION
SCALE: 1/4 IN = 1 FT

STEVE UNDERWOOD PROJECT	
LABEL	TITLE
A-1	3D VIEW / COVER SHEET
A-2	ELEVATIONS
A-3	FOUNDATION PLAN & POST LAYOUT
A-4	TYP. CROSS SECTION
A-5	SITE PLAN

PROPOSED PROJECT FOR:
STEVE UNDERWOOD
 ATTN: STEVE UNDERWOOD
 7675 SUDBURY LANE, S.E.
 ADA, MI 49301
 PHONE: (616) 901-9165 E-MAIL: sunderwood@priceneveld.com

ELEVATIONS

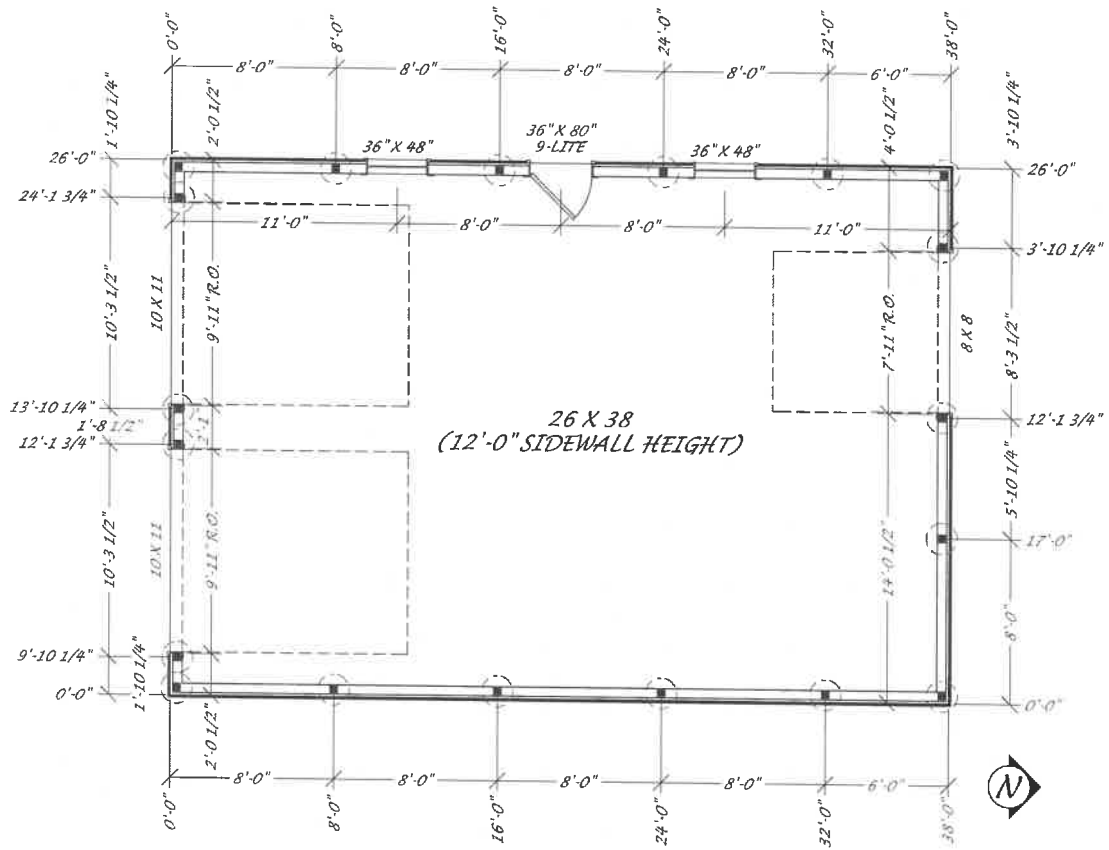
42 PARALLEL CONSTRUCTION

9811 THOMPSON ROAD
 LAKE, ODESSA 48849
 TOLL FREE: (800) 693-2754
 PHONE: (616) 693-2754
 FAX: (616) 693-2930

PROJ. NO.:
 DATE:
 LAYOUT:
 SHEET NO.:
 A-2

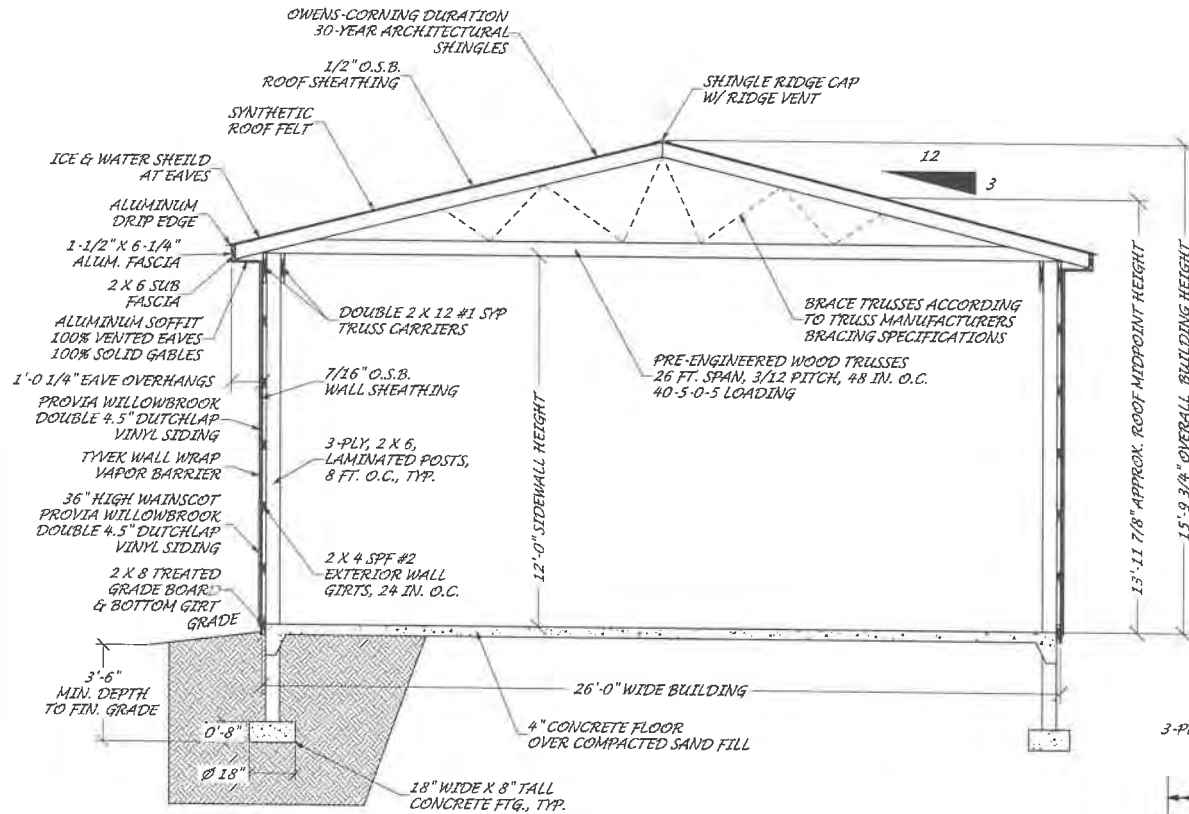


SHEET NO: A-1	DATE: 3/21/2022	DRAWN BY: LANICE WOODGHEENS	PROPOSED PROJECT FOR: STEVE UNDERWOOD ATTN : STEVE UNDERWOOD 7675 SUDBURY LANE, S.E. ADA, MI 49301 PHONE : (616) 901-9165 E-MAIL : sunderwood@priceheneveld.com	3D VIEW / COVER SHEET	42 PARALLEL CONSTRUCTION 9811 THOMPSON ROAD LAKE, ODESSA 48849 TOLL FREE : (800) 693-2754 PHONE : (616) 693-2754 FAX : (616) 693-2920	
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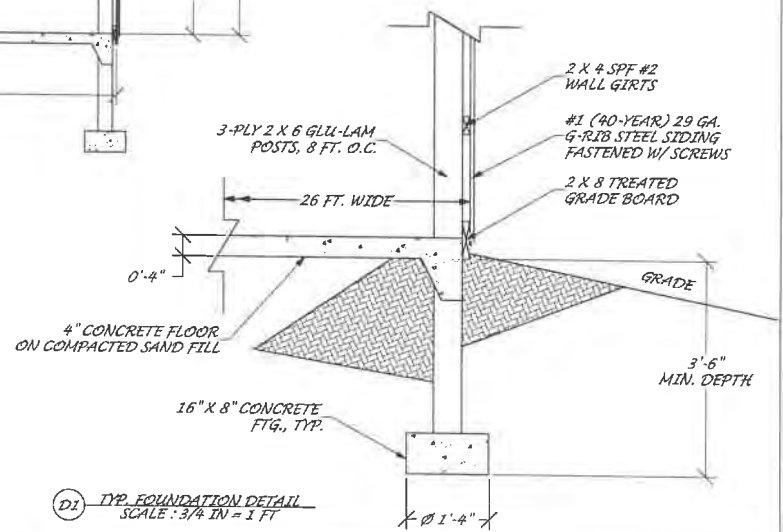


(A1) FOUNDATION PLAN & POST LAYOUT
SCALE: 1/4" IN = 1 FT

A-3	SHEET NO.	DATE:	DRAWN BY:	PROPOSED PROJECT FOR:	FOUNDATION PLAN & POST LAYOUT	42 PARALLEL CONSTRUCTION
	3/21/2022	LANICE BOGRENZ	STEVE UNDERWOOD	ATTN: STEVE UNDERWOOD 7675 SUDBURY LANE, S.E. ADA, MI 49301 PHONE: (616) 901-9165 E-MAIL: sunderwood@pricheneveld.com		



A-A TYP. CROSS SECTION
SCALE: 3/8 IN = 1 FT



D1 TYP. FOUNDATION DETAIL
SCALE: 3/4 IN = 1 FT

SHEET NO. A-4
DATE: 3/21/2022
DRAWN BY: VOORHELS
LANCE

PROPOSED PROJECT FOR:
STEVE UNDERWOOD
ATTN: STEVE UNDERWOOD
7675 SUDBURY LANE, S.E.
ADA, MI 49301
PHONE: (616) 901-9165 E-MAIL: sunderwood@priceheneveld.com

TYP. CROSS SECTION

42 PARALLEL CONSTRUCTION

9811 THOMPSON ROAD
LAKE, ODESSA 48849
TOLL FREE: (800) 693-2754
PHONE: (616) 693-2754
FAX: (616) 693-2930

Accessory Building Inventory 2010-2022 (3/22/22)

Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
11-3029	Korhorn	3480 Buttrick Ave	ARC	900	2.5	1,800
11-3052	Buckius	4900 Streamside Point	ARC	2,304	4.5	3,500
10 2999	Downing	1400 Windy Ridge	ARC	1,728	5.6	2,600
10 3010	Pepin	5640 McCords	ARC	2,400	10	3,000
10 3017	Halfmann	4590 Quiggle Ave	ARC	1,020	3.6	3,000
12-3070	Thornapple Pointe GC	7211 48th St	ARC			
12-3073	Burd	5630 Buttrick Ave	ARC	1,200	4.9	2,700
12-3077	Morris	5225 Buttrick Ave	ARC	2,432	5	2,000
12-3101	Hilbrands	6482 52nd St	ARC	1,536	80	1,500
13-3145	harold Cornelisse	8773 Running Deer Lane	ARC	1,440	10	2,200
14-3216	Gary Jehnke	5766 Buttrick Ave	ARC	1,920	7.6	1,800
15-3239	Chad Weldy	9575 52nd St	ARC	1,728	2.3	2,400
15-3256	Robert Harmon	4150 Cherry Lane	ARC	1,536	7.8	3,100
15-3260	Jay Nehls	3100 Foxfire Lane	ARC	1,575	5	4,000
15-3267	Paul Kucharczyk	9150 52nd St	ARC	1,728	2.9	1,500
16-3315	Roelofs	9554 52nd St	ARC	4,864	4.4	3,700
17-3379	Shaffer	8665 28th st	ARC	1,066	2.5	2,500
17-3404	Teppo	3777 Cherry Lane	ARC	2,720	8.3	3,000
17-3411	Ruby	8358 28th St	ARC	2,192	1.9	2,500
18-3439	McConnell	5470 McCords	ARC	15,120	160	1,600
18-3448	Van note	8233 28th St	ARC	1,800	4.3	2,500
18-3482	Seeley	9404 28th St	ARC	1,680	17	2,800
18-3483	Hillman	8790 52nd St	ARC	2,688	4	2,800
18-3486	DeMeester	9478 Grand River Dr	ARC	3,136	12	3,300
18-3496	Eisen	7233 60th	ARC	1,728	4.4	2,300
19-3511	Doering	5500 McCords Ave	ARC	1,200	160	1,600
19-3524	Tolan	8505 60th St	ARC	1,600	11	2,100
19-3529	Hulst	3717 Cherry Lane	ARC	1,600	8	3,300
19-3530	Howard	8125 45th St	ARC	1,200	2.9	2,900
19-3546	Swift	8730 52nd St	ARC	1,344	2.5	2,600
20-3589	Dykhouse	2645 Meadow Crossing	ARC	1,634	13	7,900
20-3598	Maslowski	9585 60th St	ARC	1,296	2	1,900
20-3601	Poolman	6667 60th St	ARC	4,288	4.5	3,800
20-3616	Staples	5288 Buttrick Ave	ARC	1,300	2.3	4,500
21-3637	Seely	4200 Cherry Ln	ARC	1,224	0.97	1,100
21-3638	Davis Flia Construction	6541 60th St	ARC	4,000	14.7	2,900

Accessory Building Inventory 2010-2022 (3/22/22)

21-3659	Lange	9205 28th St	ARC	1,600	3.4	2,800
21-3664	Eggleston	9091 36th St	ARC	1,680	9.2	2,900
21-3677	Elliott	6870 48th St	ARC	1,536	0.9	1,400
21-3682	Warren	5650 McCords Ave	ARC	1,561	2.9	2,700
22-3695	Downey	3030 Wood Duck Ln	ARC	3,456	4.6	5,100
12-3076	Lash	8951 Cascade Rd	FP	1,680	2.4	1,800
15-3265	Randy Gaskin	3505 Snow Ave	FP	1,536	2	1,400
18-3443	Carpenter	8650 36th St	FP	1,560	15	3,400
19-3531	Beatson	9100 Cascade Rd	FP	3,200	15	2,600
20-3600	Grzywacz	8683 Cascade Rd	FP	1,440	3.7	4,000
21-3625	Randall Burri Builder	4670 Quiggle Ave	FP	1,728	3.6	1,700
13-3161	Epique Homes	1415 Ballybunion Dr	PUD	4,500	6	6,600
16-3314	Reynolds	5701 Buttrick Ave	PUD 52	1,256	2.2	2,500
18-3494	Stibitz	3494 Bloomington Hills	PUD 66	1,500	1.39	2,200
10 3008	Koetje/Proos	8091 Ashwood Dr	PUD 89	1,120	2.5	4,520
19-3561	Hayes	3570 Buttrick Ave	PUD 61	1,200	2.2	2,600
21-3619	Krause	2439 Sturbridge Dr	PUD 65	1,728	6.6	4,000
21-3631	Bigger	4983 Clear Ridge Dr	PUD 72	1,200	1.2	2,800
10 3001	Ike	4390 Whitneyville	R1	1,200	3.8	1,000
10 3014	Borisch	5333/5200 Dayenu	R1	2,304	44	6,000
12-3082	DeVos	2020 Devonwood Lane	R1	8,500	35	17,000
14-3184	Jon DeGraff	6960 Thornview	R1	1,520	4.6	3,500
14-3185	James Hacket	1547 Briarcliff Dr	R1	1,400	2.2	7,500
14-3190	Aaron Schaap	1910 Laraway Lake Dr	R1	2,604	13	8,200
14-3197	John Shipley	7373 Biscayne Way	R1	1,000	2.6	3,200
15-3241	John Borisch	5200 Dayenu Dr	R1	3,000	9	6,000
15-3253	Derek Benedict	1961 Steketee Woods Lane	R1	1,936	2.9	6,900
15-3257	Jeff Shull	7500 Buttrick Park Dr	R1	1,440	3.03	3,600
15-3290	Hockstra	1350 Briarcliff	R1	1,232	1	4,000
16-3301	Keeler	8100 45th st	R1	1,504	1.2	2,500
16-3311	Borisch	5292 Dayenu	R1	5,000	3.8	5,000
16-3337	Romence	5752 Hall St	R1	1,200	1.7	2,200
16-3352	Rise	8200 48th st	R1	1,600	1.05	3,000
17-3383	Popp	1360 Briarcliff	R1	1,200	1.16	4,800
17-3417	Salmon	6350 Cascade Rd	R1	1,440	4.6	1,300
18-3452	Kortman	4555 Little Harbor Dr	R1	1,296	0.95	3,000
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20-3595	Mayton	1468 Buttrick Ave	R1	1,326	1.8	4,700
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21-3685	Renucci	5175 Buttrick	R1	2,520	55	-
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Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
Avg				2,147	11.27	3,384
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Avg FP				1,857	6.95	2,483
Avg PUD				1,786	3.16	3,603
Avg R1				2,080	8.16	4,484

STAFF REPORT

STAFF REPORT: Case # 22-3697/Ridges of Cascade
REPORT DATE: April 12, 2022
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: April 18, 2022
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT
Dennis Monroe
5985 Cascade Ridge SE
Grand Rapids, MI 49546

STATUS OF APPLICANT: Property Manager

REQUESTED ACTION: Site Plan Review for a 35' x 70' fenced-in dog park

EXISTING ZONING OF SUBJECT PARCEL: PUD 39

GENERAL LOCATION: The corner of Charlevoix Drive and Lookout Ridge

PARCEL SIZE: Approximately 24 acres

EXISTING LAND USE ON THE PARCEL: Multi-family housing

ADJACENT AREA LAND USES:
W – I-96
S – Multi-family residential (Golf Ridge Condominiums)
N – Commercial
E – Multi-family residential (Gatehouse Condominiums)

ZONING ON ADJOINING PARCELS: W,S,N – PUD 39
E – PUD 84

STAFF COMMENTS:

1. The applicant is requesting site plan approval to construct a 35' x 70' (2,450 sq ft) fenced-in dog park for Ridges of Cascade resident use. The site plan was reviewed under Section 21.07 of the Site Plan Review Chapter of the Zoning Ordinance.

2. There is an existing 30' x 30' dog run area adjacent to the clubhouse. This was approved as an administrative site plan approval in 2015. Since this will be a larger area, I thought that it was appropriate to bring it before the Planning Commission as a site plan review.
3. The dog park will be located at the corner of Charlevoix Drive and Lookout Ridge, alongside an existing parking area with five parking spaces.
4. The fence will be a 4' tall black vinyl-coated chain link fence. This matches other fencing that is used throughout the development.
5. The surface of the park will be grass/lawn, which is what currently exists at the site. The applicant noted that in the future they may install dog-friendly woodchips if needed. Since there are no impervious surfaces being proposed there are no stormwater improvements that are required.
6. The Fire Department has reviewed and approved the plans.
7. There is some concern regarding how the dog park might affect neighboring property owners. The dog park would be located approximately 150' from the Golf Ridge Condominiums. It would seem appropriate to require some screening between the dog park and the condominiums. This could be accomplished with either a privacy fence or landscaping. I would recommend requiring that at least 6 evergreen trees be planted along the southwest corner of the dog park. The existing trees near the park should also be preserved to act as a buffer.
8. In their narrative the applicant has provided a list of 10 park rules that will be posted at the entrance to the park. I would recommend requiring that two additional rules be added:
 - a. A rule stating that dogs which are barking excessively must be removed immediately.
 - b. A rule stating the hours which the dog park may be used, such as dawn to dusk.

Section 21.07: Criteria For Site Plan Approval:

The Planning Commission shall use the following criteria in evaluating a site plan submittal:

1. Whether the required information has been furnished in sufficiently complete and understandable form to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.
2. Whether there are ways in which the configuration of uses and structures can be changed which would improve the impact of the development on adjoining and nearby properties, persons, and activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and proposed use and structures.
3. The extent to which natural features and characteristics of the large trees, natural groves, watercourses, and similar will be preserved; the regard given to existing natural features that would add attractiveness to the property and environs if they were preserved; the preservation of natural drainage systems the dedication and/or provision, where appropriate, of scenic easements, natural buffering, and other techniques for preservation and enhancement of the physical environment.

STAFF RECOMMENDATION:

Staff is recommending Approval of the site plan for the 2,450 square foot fenced-in dog park with the following conditions.

1. The existing trees on site remain for landscape screening. Any dead trees should be replaced with a similar tree type.
2. At least six evergreen trees be planted along the southwest corner of the dog park to act as a screen between the dog park and the Golf Ridge Condominiums.
3. The 10 park rules listed in the applicant's narrative must be enforced, as well as the following two rules which should be added:
 - a. Dogs that are barking excessively must be removed immediately.
 - b. The park may only be used between dawn and dusk.

ATTACHMENTS: Application
 Site plan



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids,
Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Dennis Monroe
Address: 5985 Cascade Ridge SE
City & Zip Code: Grand Rapids, MI 49546
Telephone: 616-285-8880
Email Address: dennis.monroe@peak-management.com

OWNER: * (If different from Applicant)
Name: Ridges of Cascade GR LLC
Address: —
City & Zip Code: —
Telephone: —
Email Address: —

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. – Rezoning * |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance Subdivision |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

* Requires an initial submission of 5 copies of the completed site plan

BRIEFLY DESCRIBE YOUR REQUEST:**
Installing a 35' x 70' fenced-in dog park for Ridges of Cascade resident use. See attached narrative and aerial survey.

(**Use Attachments if Necessary)
-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

see attachment (A)

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19-17-175-007 + 41-19-17-401-012

ADDRESS OF PROPERTY: 5985 Cascade Ridge SE, Grand Rapids, MI 49546

PRESENT USE OF THE PROPERTY: multifamily rental housing (apartments)

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR
EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

see attachment (B)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Robert Lenz
Owner - Print or Type Name
(*If different from Applicant)

Dennis Monro
Applicant - Print or Type Name

RL 2.10.22
Owner's Signature & Date
(*If different from Applicant)

[Signature] 2/10/22
Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET -- THANK YOU

Attachment A

41-19-17-175-007

PART OF NW 1/4 COM AT N 1/4 COR TH S 89D 34M 15S W ALONG N SEC LINE 255.57 FT TH S 0D 00M 00S W 2221.94 FT TO A PT ON W LINE OF CHARLEVOIX DR /66 FT WIDE/ TH NWLY 200.98 FT ALONG W LINE OF SD DR ON A 1016.03 FT RAD CURVE TO RT /LONG CHORD BEARS N 20D 30M 00S W 200.65 FT/ TO BEG OF THIS DESC - TH S 75D 00M 00S W 40.26 FT TH N 47D 00M 00S W 39.77 FT TH N 18D 11M 41S W 110.0 FT TO S LINE OF ORCHARD VISTA DR /86 FT WIDE/ TH N 71D 48M 19S E ALONG S LINE OF SD DR 50.0 FT TO A PT 50.0 FT SWLY FROM /MEAS PERP TO/ CL OF CHARLEVOIX DR TH SELY 40.35 FT ALONG ELY LINE OF SD DR ON A 1494.97 FT RAD CURVE TO RT /LONG CHORD BEARS S 15D 46M 24S E 40.35 FT/ TH S 15D 00M 00S E ALONG ELY LINE OF SD DR 79.65 FT TH N 75D 00M 00S E 17.0 FT TH S 15D 00M 00S E ALONG ELY LINE OF SD DR 26.35 FT TO BEG * SEC 17 T6N R10W 0.16 A.

41-19-17-401-012

411917401012 PART OF SEC COM AT N 1/4 COR TH S 89D 34M 15S W ALONG N SEC LINE 255.58 FT TH S 0D 00M 00S 2221.94 FT TO A PT ON WLY LINE OF CHARLEVOIX DR & TO BEG OF THIS DESC - TH SELY ALONG SD WLY LINE 109.95 FT ON A 1016.03 FT RAD CURVE TO LT /LONG CHORD BEARS S 29D 26M 00S E 109.89 FT/ TH S 57D 28M 00S W 140.0 FT TH S 80D 00M 00S W 230.0 FT TH S 34D 30M 00S W 229.98 FT TH S 64D 00M 00S E 254.0 FT TH N 41D 54M 30S E 452.81 FT TO WLY LINE OF CHARLEVOIX DR TH S 38D 00M 00S E ALONG SD WLY LINE 287.18 FT TH SELY ALONG SD WLY LINE 391.42 FT ON A 1633.0 FT RAD CURVE TO LT /LONG CHORD BEARS S 44D 52M 00S E 390.48 FT/ TH S 51D 44M 00S E ALONG SD WLY LINE 217.55 FT TH S 151.86 FT TH S 52D 05M 25S E 171.93 FT TH S 37D 56M 28S E 221.65 FT TH S 2D 00M 00S E 186.72 FT TH S 40D 01M 25S W 179.54 FT TO NELY LINE OF I-96 TH NWLY 874.34 FT ALONG SD NELY LINE ON A 3969.74 FT RAD CURVE TO LT /LONG CHORD BEARS N 47D 56M 57S W 872.58 FT/ TH S 89D 19M 38S W ALONG SD NELY LINE 80.07 FT TH NWLY 298.54 FT ALONG SD NELY LINE ON A 3922.74 FT RAD CURVE TO LT /LONG CHORD BEARS N 57D 22M 49S W 298.47 FT/ TH NWLY 113.37 FT ALONG SD NELY LINE ON A 3922.74 FT RAD CURVE TO LT /LONG CHORD BEARS N 60D 23M 19S W 113.37 FT/ TH N 61D 13M 00S W ALONG SD NELY LINE 933.88 FT TH NWLY 166.27 FT ALONG SD NELY LINE ON A 5626.58 FT RAD CURVE TO RT /LONG CHORD BEARS N 60D 22M 13S W 166.26 FT/ TO SLY COR OF LOT 25 OF FOREMOST CENTENNIAL PARK NO.2 TH N 27D 00M 00S E ALONG W LINE OF SD LOT 148.43 FT TH N 84D 00M 00S E 320.0 FT TH N 72D 00M 00S E 119.68 FT TH N 87D 19M 52S E 323.94 FT TH S 79D 00M 00S E 199.63 FT TH N 65D 37M 36S E 138.26 FT TO BEG * SEC 17 T6N R10W 23.99 A. SPLIT/COMBINED ON 01/22/2016 FROM 41-19-17-175-009, 41-19-17-401-007;

Attachment B

The purchase of Ridges of Cascade was a 1031 exchange of like/kind property. The sale of 7 properties funded the purchase of Ridges of Cascade. Those properties were rolled into these LLC names and are the owners of Ridges of Cascade:

Country Club Manor LLC
Hull Apartments LLC
Pine Lake Apartments LLC
Hampton House LLC
Ridges DI LLC
Ridges PP LLC
Ridges RO LLC

All these LLC's have the address of:

408 S. Lafayette Avenue
Suite 100
Royal Oak, MI 48067

We are requesting approval to construct a 35' x 70' fenced-in dog park in our community. The fence will be black vinyl-coated chain link, 4' in height, with posts every 8'. Use of this park will be exclusive to Ridges of Cascade residents.

A 6' x 8' entrance gate will occupy the NE corner of the park with standard 42" swing gate entries. This will allow dog owners to safely remove and attach leashes from their dogs before entering and exiting the park.

A 6' service gate will be located on the N side of the park for landscaping service.

All fencing will be installed by a professional contractor. As of right now bids have been received by AAA Fence and Alto Fencing.

The surface of the park will be grass. If needed in the future, we will install dog-friendly woodchips to keep the park looking inviting and professional.

Two waste stations will be placed in the dog park with baggies for waste pickup and two trash receptacles for waste disposal.

Three to four pieces of agility equipment will be put in the park such as a barrel run, agility walk, hoop jump, wait table, or wall jump. Professional pieces will be purchased from a vendor and installed by our maintenance team. Pieces will be bright and vibrant in color.

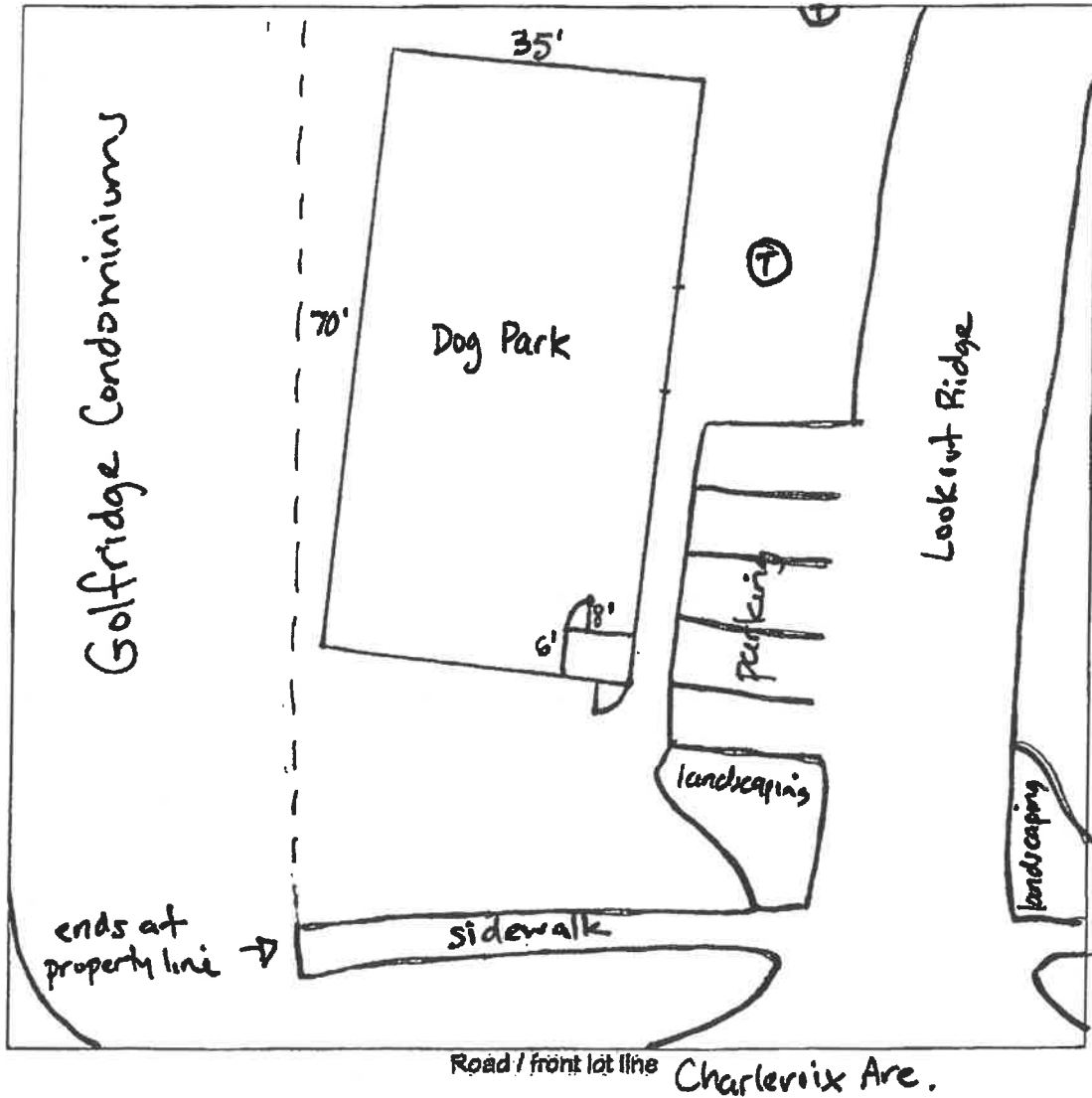
A decorative sign saying "Bark Park" and a sign with park rules will be posted on the gate outside the entrance door. These rules will be verified to ensure they are EHO/Fair Housing compliant. Rules include:

- Use park at your own risk.
- Owners are legally responsible for the behavior of their dog(s) at all times.
- Dogs must be leashed while entering and exiting the park.
- Dog waste must be cleaned up by their owners IMMEDIATELY.
- Owners must be within the dog park and supervising their dog with leash readily available.
- For safety reasons, dog handlers must be 16 years or older.
- For safety reasons, persons under 13 years of age must be accompanied by an adult and supervised at all times.
- Aggressive dogs must be removed immediately.
- Dogs should be under voice control.
- PROHIBITED: Human and dog food/treats, glass containers, dogs in heat, sick dogs, aggressive dogs, and puppies under 4 months old.

Site Plan

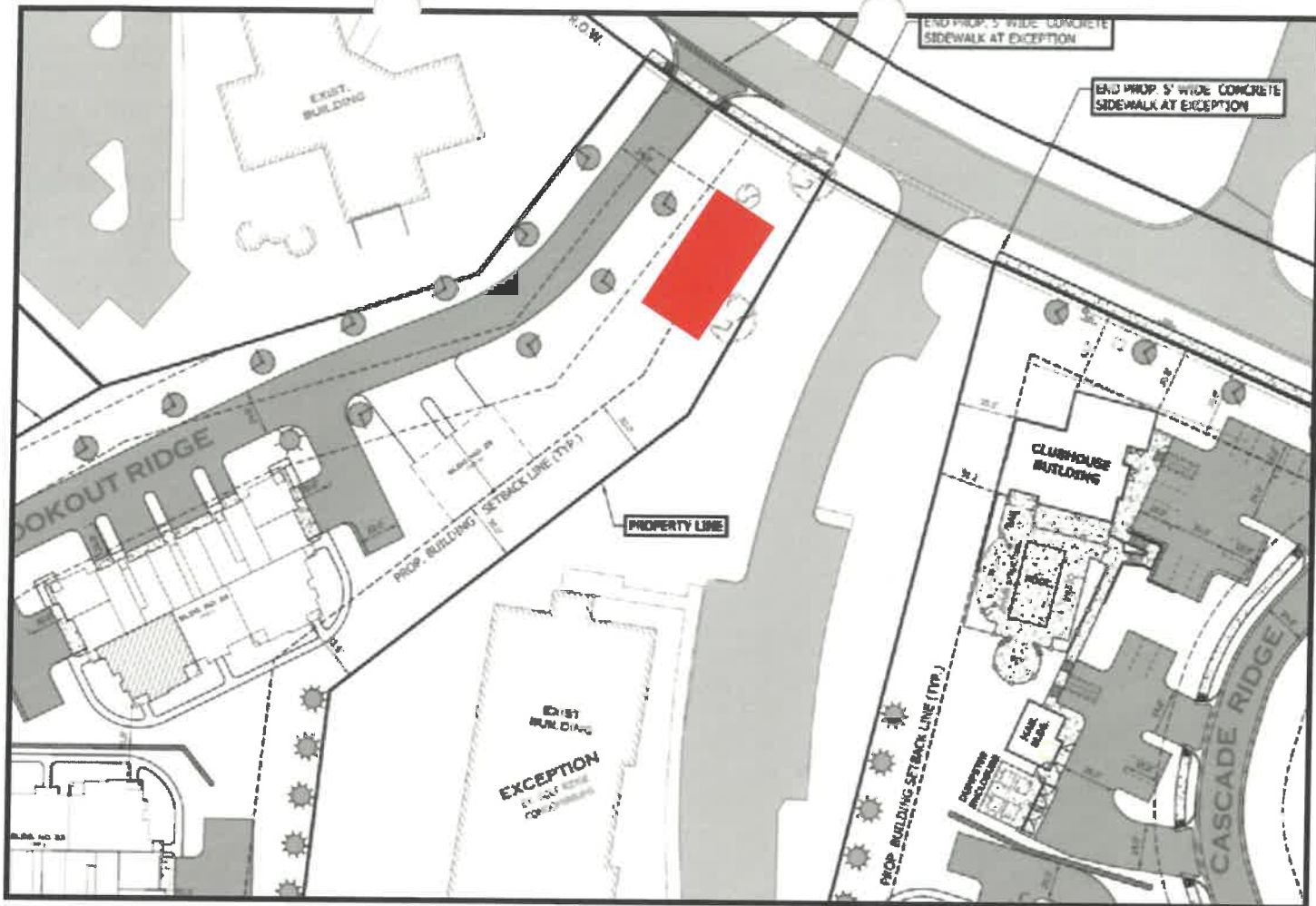
Address: 5985 Cascade Ridge

Contact name/number: Denise Monroe, 616-285-8880



**Please note existing building locations and distances from lot lines for any additions or decks.

**For swimming pools - Include the required barrier location



STAFF REPORT

STAFF REPORT: Case # 22-3696/Luminar Technologies
REPORT DATE: April 11, 2022
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: April 18, 2022
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT

John Stroo, Prein & Newhof
3355 Evergreen Dr NE
Grand Rapids, MI 49525

STATUS OF APPLICANT: Engineer for Leaser/Applicant

REQUESTED ACTION: Site Plan Review for a 26,520 sq ft building.

EXISTING ZONING OF SUBJECT PARCEL: I, Industrial

GENERAL LOCATION: On east side of Thornapple River Dr, north of 48th St

PARCEL SIZE: Approximately 15 acres

PROPERTY LOCATION: 4300 Thornapple River Dr

EXISTING LAND USE ON THE PARCEL: Vacant

ADJACENT AREA LAND USES: W – GRR International Airport
N – Industrial (Thornapple Excavating)
S,E – Vacant (airport property)

ZONING ON ADJOINING PARCELS: W – AC-2
N,E – I
S – ARC

STAFF COMMENTS:

1. The applicant is requesting site plan approval to construct a 26' x 1,020' (26,520 sq ft) building. The site plan was reviewed under Section 21.07 of the Site Plan Review Chapter of the Zoning Ordinance.
2. The building will be made out of a fabric material and is to be used for sensor testing. What is unique about the site is that the applicant is describing it as a "temporary facility" that will be used for 3-5 years. The property is owned by the airport.
3. The building meets the setback requirements of the zoning district.
4. While there is currently no landscaping being proposed, the site does meet the required bufferyard widths. If the use continues beyond the proposed 5-year period it will be expected that landscaping will be added.
5. If any exterior lighting is added the applicant will need to provide a photometric plan that meets Township requirements.
6. The applicant is proposing that the site will share a driveway with the property to the north at 4190 Thornapple River Dr. The applicant will need to provide approval from the neighboring property owner to allow for use of the driveway for access.
7. The site plan includes a 50' x 80' gravel area to be used for staging of construction equipment and then for parking. The applicant has indicated that the maximum normal vehicle capacity will be 5 vehicles. This would meet the minimum parking requirement of 1 space/employee. If the use continues beyond the proposed 5-year period it will be expected that the parking area and access drive be paved.
8. The plans show a future 26' x 640' addition to the building. Due to the size of the addition, the owner would need to come back for a site plan review before the addition could be constructed.
9. The building will be connected to a water main in Thornapple River Drive. This will need to be coordinated with the City of Grand Rapids. There is no sewer in the immediate area, so the applicant is proposing a septic system. This will need to be approved by the Kent County Health Department.
10. The Fire Department has reviewed and approved the plans.
11. The township engineer has reviewed and approved the plans, and their comments are included in your packet. The applicant will need to apply for and obtain several permits before beginning construction, along with submitting a stormwater maintenance agreement to the Township.
12. The airport reviewed the plans and provided a few comments to the applicant regarding the stormwater infrastructure. If the applicant is required to make any changes to the

stormwater infrastructure they will have to be reviewed and approved by the township engineer.

Section 21.07: Criteria For Site Plan Approval:

The Planning Commission shall use the following criteria in evaluating a site plan submittal:

1. Whether the required information has been furnished in sufficiently complete and understandable form to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.
2. Whether there are ways in which the configuration of uses and structures can be changed which would improve the impact of the development on adjoining and nearby properties, persons, and activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and proposed use and structures.
3. The extent to which natural features and characteristics of the large trees, natural groves, watercourses, and similar will be preserved; the regard given to existing natural features that would add attractiveness to the property and environs if they were preserved; the preservation of natural drainage systems the dedication and/or provision, where appropriate, of scenic easements, natural buffering, and other techniques for preservation and enhancement of the physical environment.

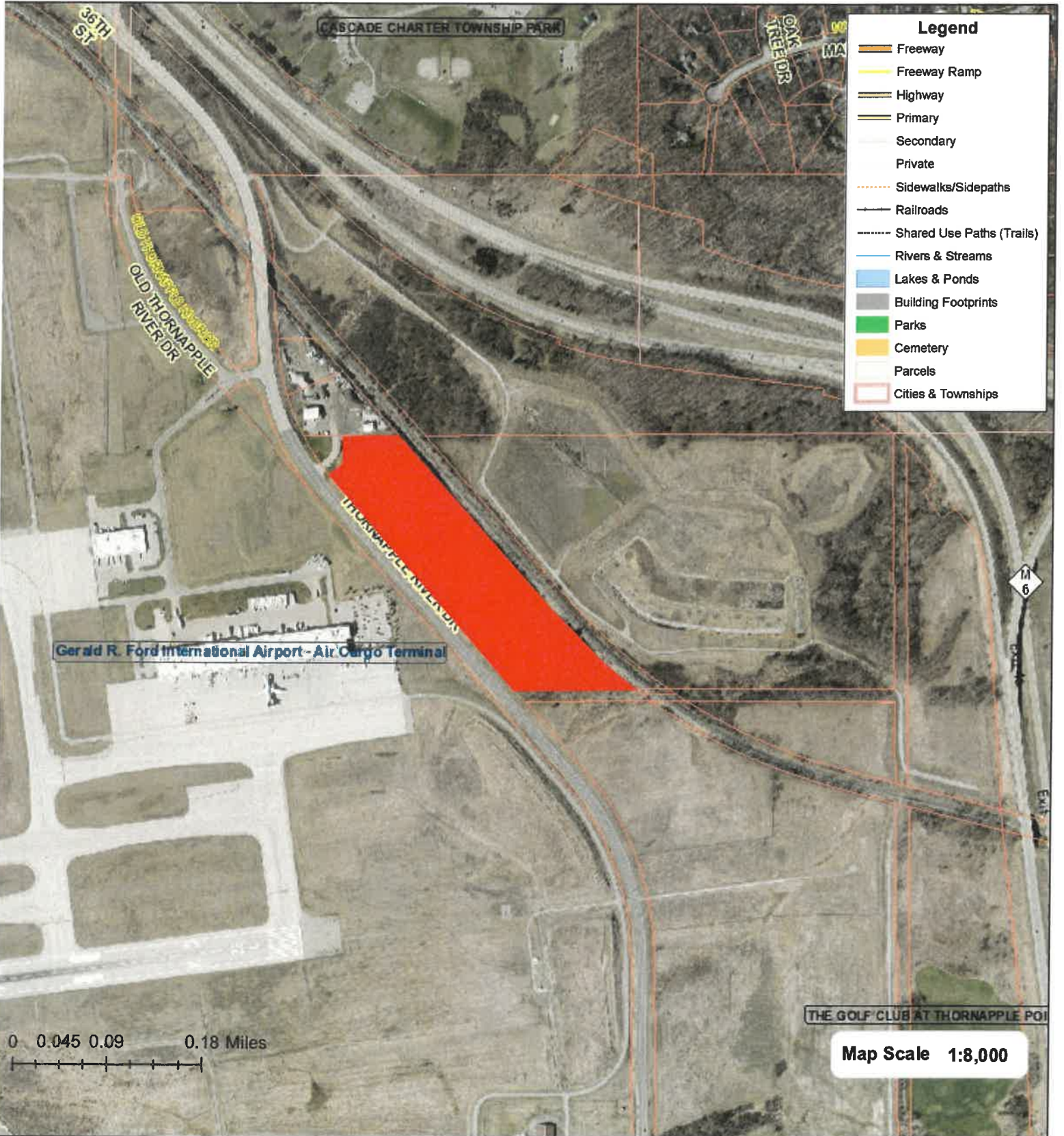
STAFF RECOMMENDATION:

Staff is recommending Approval of the site plan for the 26,520 sq ft building with the following conditions.

1. Provide approval from the property owner to the north to allow for shared use of the driveway.
2. The applicant complies with the Township Engineer letter dated April 5, 2022, and all necessary permits are obtained before construction begins.
3. Record the stormwater maintenance agreement.
4. Approval from the Kent County Health Department for the septic system.
5. Any changes made to the stormwater infrastructure of the site due to comments from GFIAA must be reviewed and approved by the Township Engineer.
6. Submit a photometric plan if any exterior lighting is being added.
7. If the proposed use of the site extends beyond 5 years from the issuance date of a Certificate of Occupancy, the leaser/applicant will need to submit a new site plan application for review.

ATTACHMENTS: Application
 Site plan
 Township Engineer letter

TITLE



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Printed 4/13/2022 3:17:56 PM



CASCADE CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids, Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: John Stroo

Address: 3355 Evergreen Drive NE

City & Zip Code: Grand Rapids, MI 49525

Telephone: 616-364-8491

Email Address: jstroo@preinnewhof.com

OWNER: * (If different from Applicant) Luminar Technologies, Inc.

Name: _____

Leasor:	Land Owner:
Address: <u>Luminar Technologies, Inc.</u>	<u>Gerald R. Ford International Airport</u>
<u>2603 Discovery Drive</u>	<u>Authority</u>
City & Zip Code: <u>Suite 100</u>	<u>5500 44th Street SE</u>
<u>Orlando, FL 32826</u>	<u>Grand Rapids, MI 49512</u>
Telephone: <u>(904) 510-3786</u>	<u>(616) 233-6061</u>
<u>p3-allyn.basore@luminartech.com</u>	<u>tcizauskas@grr.org</u>
Email Address: <u>brooke.swartzlander@luminartech.com</u>	<u>Luminar Sys Test Director</u>

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. – Rezoning *
<input type="checkbox"/> P.U.D. – Site Condominium *	<input type="checkbox"/> Rezoning
<input checked="" type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance Subdivision
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ *

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

(**Use Attachments if Necessary)
-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

See Attached

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 _____ -282-000-24

ADDRESS OF PROPERTY: 4300 Thornapple River Drive Grand Rapids, MI 49512

PRESENT USE OF THE PROPERTY: None

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR
EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)	Address(es)
_____	_____
_____	_____

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Allyn J. Basore
Owner – Print or Type Name
(*If different from Applicant)

* Allyn J. Basore
Owner's Signature & Date
(*If different from Applicant)

JOHN A. STROD, P.E.
Applicant – Print or Type Name


Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

Memorandum

Date:	March 4, 2022
To:	Brian Hilbrands, Interim Planning Director
Company:	Cascade Charter Township
From:	John A. Stroo, P.E.
Project #:	2220234
Re:	4300 Thornapple River Drive – Site Plan Review Narrative

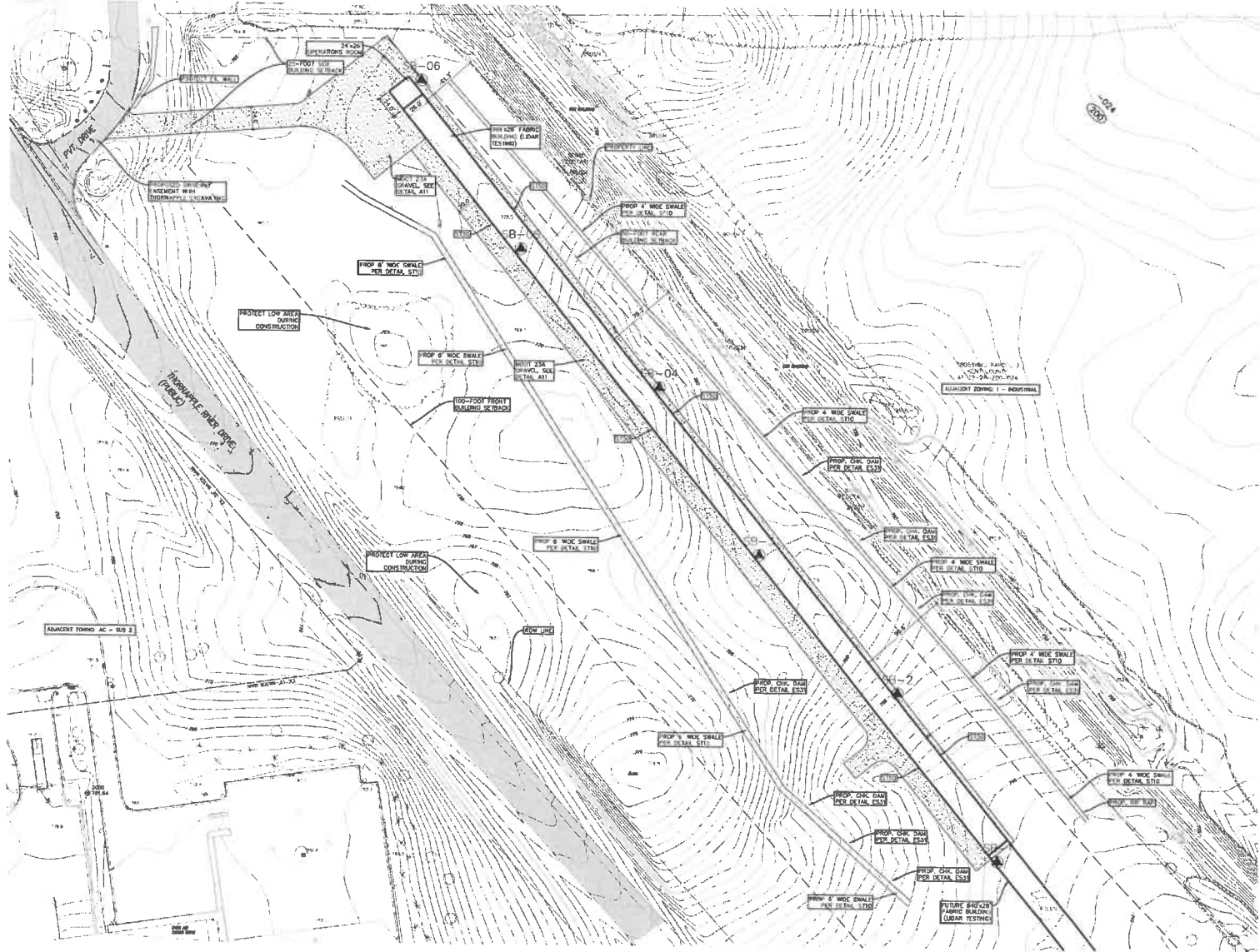
Luminar Technologies, Inc. (Luminar) is proposing construction of a temporary facility on land owned by the County of Kent and administrated by the Gerald R. Ford International Airport Authority (GFIAA). Lease negotiations are in progress. The proposed site has been named Site 5 by GFIAA as part of their overall development program. The Kent County Road Commission has assigned an address of 4300 Thornapple River Dr SE to Site 5. Access to the site is currently planned as a shared use of the driveway to 4190 Thornapple River Dr SE.

A gravel driveway constructed from 4190 Thornapple to the proposed structure will be access to the site which is graded to provide a level finished floor elevation. An 80' x 50' aggregate parking area will be constructed adjacent to the operations room and is for primarily for staging of construction equipment. The maximum normal vehicle capacity will be five. An aggregate drive will be placed along one side of the building for vehicle access.

The proposed structure is steel framed truss system with a fire-retardant fabric exterior and concrete floor. The operations room will be at the northerly end of the structure. The fabric exterior will be of an opaque nature and is intended to control light into and out of the testing area. The sensor equipment testing not designed nor intended to exceed township standards for noise generation. The structure will have electrical, communications and potentially domestic water services. A septic holding tank has been included on the site plan in case Luminar decides to construct a restroom instead of other restroom options. A building permit application has been submitted to the township. The site is not intended as occupied for normal office space but instead occupied intermittently and is temporary. Average site occupancy is anticipated to be two to six individuals at a time at intermittent intervals weekly.

Luminar currently intends to use the facility for sensor testing over a period of three to five years.

BENCHMARKS
 BENCH MARK 2203.30
 POWER POLE AT THE NORTHEAST CORNER OF THE 2203
 ADJOINS FROM APPROXIMATE 1400 WEST OF POLE 2203
 FT ABOVE GROUND



SITE LEGEND LAYOUT

CONCRETE CURB & GUTTER	
CONCRETE STRAIGHT CURB	
SIGN	
BARRIER FREE RAMP	
PARKING AREA STRIPING	
STANDARD DUTY CONCRETE PAVEMENT	
STANDARD DUTY BITUMINOUS PAVEMENT	
HEAVY DUTY BITUMINOUS PAVEMENT	
GRAVEL PAVEMENT	
LANDSCAPE MAINTENANCE STRIP	
H.D. CONCRETE PAVEMENT	
TRAFFIC FLOW	
PARKING STALL COUNT	
TRANSITION FROM NORMAL TO REVERSE SLOPE CUTTER SECTION (5' TRANSITION LENGTH)	
LIGHT POLE (REFER TO AE PLANS)	

SITE NOTES

1. REMOVE TREES AND BRUSH AS NECESSARY TO CONSTRUCT THE BUILDING FOR THE SITE AND GRADING PLANS.
2. SEE ELECTRICAL PLANS FOR LOCATION AND DETAILS ON SITE LIGHTING AND TRANSFORMER.
3. REFER TO AE PLANS FOR VAPOR BARRIER UNDER THE PROPOSED BUILDING.
4. REFER TO MECHANICAL DRAWINGS FOR LOCATION AND DETAILS OF EQUIPMENT PADE.
5. COORDINATE WITH IRRIGATION AND ELECTRICAL CONTRACTOR FOR SIZE AND PLACEMENT OF ALL DRAINAGE PRIOR TO PAVING, CONCRETE AND RESTORATION WORK.
6. OWNERS WILL UTILIZE A 90 GALLON TRASH CAN WITH WEEKLY SERVICE.

SITE DATA

PARCEL NUMBER = 41-10-280-000-24
 PART OF 303 ACRES KENT COUNTY AERONAUTICS PROPERTY
 ZONING = INDUSTRIAL
 SITE AREA = 1.000 ACRES
 1-STORY BUILDING (50') = 60,000 SFT, 10 FEET TALL
 2-STORY BUILDING (50') = 100,000 SFT, 20 FEET TALL
 3-STORY BUILDING (50') = 150,000 SFT, 30 FEET TALL
 BUILDING USE GROUP = B-2
 CONSTRUCTION TYPE = II
 TEMPORARY TESTING FACILITY FOR LUMBAR SYSTEMS INTENDED FOR AUTONOMOUS VEHICLE APPLICATIONS

PRELIMINARY
 NOT FOR CONSTRUCTION

NO.	REVISIONS	BY	DATE	DRWN	J.E.V./E.S.D.

Prein & Newhof
 Engineers • Surveyors • Environmental • Laboratory

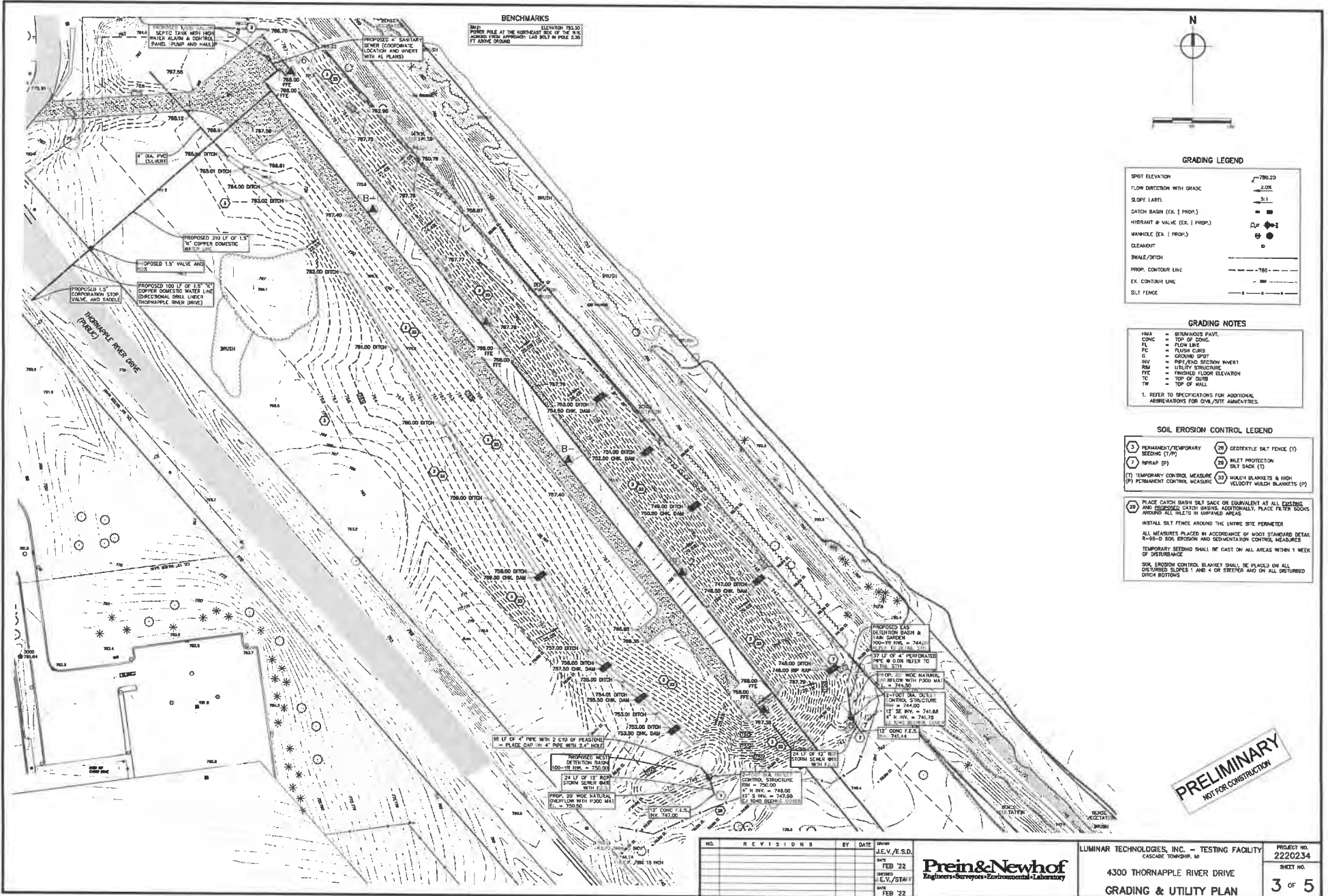
LUMINAR TECHNOLOGIES, INC. - TESTING FACILITY
 CASSIUS, TOWNSHIP, MI

4300 THORNAPPLE RIVER DRIVE
 SITE PLAN

PROJECT NO.
 2220234

SHEET NO.
 2 OF 5

1) ALL PROJECT PROCEEDINGS IN ACCORDANCE WITH LOCAL ORDINANCES - CROSS THE PARKING - OTHERS - No. 21 - 2022 - 11.20.2022 - Prein & Newhof



BENCHMARKS
 B.M. 1 ELEVATION 783.30
 PIERCE POLE AT THE APPROXIMATE CENTER OF THE LOT ADJACENT TO THE APPROXIMATE 1/4" BOLT IN POLE 2.50 FT ABOVE GROUND

GRADING LEGEND

SPOT ELEVATION	780.20
FLOW DIRECTION WITH GRAD	2.0%
SLOPE LABEL	5:1
DITCH BASH (EX. PROP.)	—
HYDRANT & VALVE (EX. PROP.)	—
MANHOLE (EX. PROP.)	—
CLEANOUT	—
SWALE/DITCH	—
PROP. CONTOUR LINE	780.00
EX. CONTOUR LINE	780.00
S.L.T. DIMSE	—

GRADING NOTES

HMA	= BITUMINOUS PAVT.
CONC	= TOP OF CONC.
FL	= FLOW LINE
FC	= FLASH CURB
C	= CROWDING SPOT
INV	= PIP/AND SECTION INVERT
RM	= UTILITY STRUCTURE
FYE	= FINISHED FLOOR ELEVATION
TC	= TOP OF CURB
TW	= TOP OF WALL

1. REFER TO SPECIFICATIONS FOR ADDITIONAL ABBREVIATIONS FOR CIVIL/SITE ABREVIATIONS.

SOIL EROSION CONTROL LEGEND

1	PERMANENT/TEMPORARY SEEDING (T/P)	20	GEOTEXTILE SALT FENCE (T)
2	REPRAP (P)	21	BULLET PROTECTION SALT SACK (T)
(T)	TEMPORARY CONTROL MEASURE	(P)	MULCH BLANKETS & HIGH VELOCITY MULCH BLANKETS (P)
(P)	PERMANENT CONTROL MEASURE		

22. PLACE CATCH BASH SALT SACK OR EQUIVALENT AT ALL EXISTING AND PROPOSED DITCH BASHES. ADDITIONALLY, PLACE FILTER SOCKS AROUND ALL SLEETS IN UNPAVED AREAS.

INSTALL SLEET FIRST AROUND THE ENTIRE SITE PERIMETER.

ALL MEASURES PLACED IN ACCORDANCE OF MOST STANDARD DETAIL R-95-D SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.

TEMPORARY SEEDING SHALL BE CAST ON ALL AREAS WITHIN 1 WEEK OF DISTURBANCE.

SOIL EROSION CONTROL BLANKET SHALL BE PLACED ON ALL DISTURBED SLOPES 1 AND 4 OR STEEPER AND ON ALL DISTURBED DITCH BOTTOMS.

NO.	REVISIONS	BY	DATE	DRWN
				J.E.V./E.S.D.
				FEB '22
				J.E.V./STAB
				DATE
				FEB '22

Prein & Newhof
 Engineers-Surveyors-Environmental-Laboratory

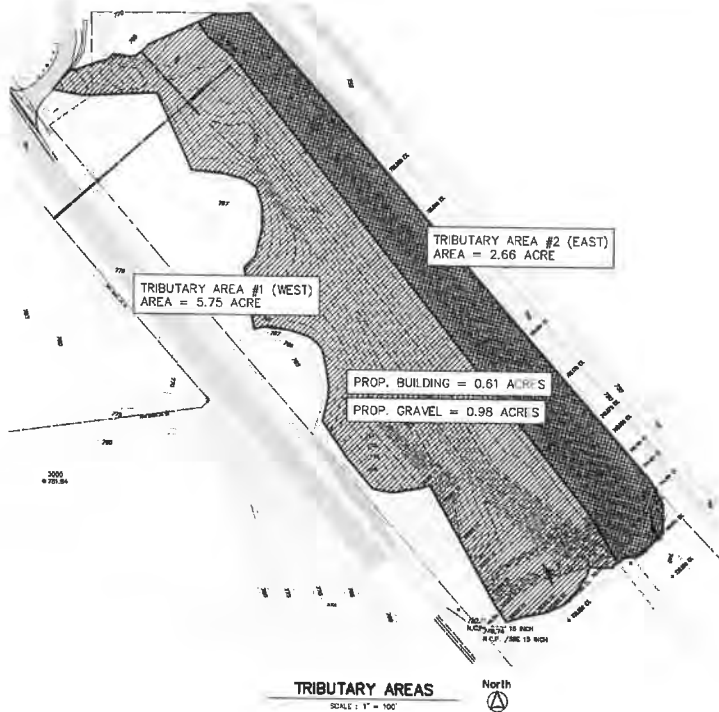
LUMINAR TECHNOLOGIES, INC. - TESTING FACILITY
 CASCADE TOWNSHIP, MI

4300 THORNAPPLE RIVER DRIVE
 GRADING & UTILITY PLAN

PROJECT NO.
 2220234

SHEET NO.
 3 OF 5

1. VALID PROJECT/CLIENT/OWNER/AGENCY/ENGINEER/DESIGNER - CHECK DATE/SCALE - 2000 - 1/4" = 1' - 03/22/22 - J.E.V./E.S.D. - Prein & Newhof



Lumina Technologies, Inc. - Testing Facility (Overse)
3/21/2022

Site Area 1.54 Acres

Proposed Times of Concentration 15.0 min

Area within Proposed Project	Area	Runoff C
1 Drivell	0.00	0.80
2 Roof	0.91	0.90

Total Area and Overall C 1.54 0.80

Allowable Release Rate

Channel #	Flow	Velocity (ft/s)	Velocity (ft/s)	Velocity (ft/s)
Channel #	0.21 cfs	(Allow)	0.13 (Minimum)	(max)
Channel #	0.21 cfs	(Allow)		

Office Equidistant
 $Q = C \cdot A_p \cdot (2.7)^{0.75}$

100 Year Orifice
 C_c orifice coefficient = 0.60
 C_p protrusion coefficient = 32.2
 H Headwater = 2.46
 N Number of holes in the row = 1
 A_p orifice area = 0.03 ft²
 H Head above orifice = 2
 $Flow$ = 0.21 cfs
Total Flow Available gpm = 0.21 cfs

PROPOSED RUN OFF

Lumina Testing Facility
Volume Provided
01/17/2022

West Basin

Structure	Area	Average Area	Depth	Volume (cu ft)
240	2668	0	0	0
190	2091	2096	1	2096
159	4732	4742	1	4742

East Basin

Structure	Area	Average Area	Depth	Volume (cu ft)	Description
242	140	0	0	0	
244	1306	956	1	956	From P41 to P44

West Check Dam Storage/Retention Basin Storage

Check Dam #	Area (sq ft)	Check Dam #	Area (sq ft)	Check Dam #	Area (sq ft)
Check Dam 1	312	Check Dam 2	1123	Check Dam 3	3115
Average Depth (ft)	0.79	Average Depth (ft)	0.76	Average Depth (ft)	0.73
Volume (cu ft)	246	Volume (cu ft)	843	Volume (cu ft)	2465

Volume Provided (cu ft) 3529

East Check Dam Storage/Retention Basin Storage

Check Dam #	Area (sq ft)	Check Dam #	Area (sq ft)	Check Dam #	Area (sq ft)
Check Dam 5	1117	Check Dam 6	751	Check Dam 7	851
Average Depth (ft)	0.76	Average Depth (ft)	0.75	Average Depth (ft)	0.73
Volume (cu ft)	851	Volume (cu ft)	549	Volume (cu ft)	619

Volume Provided (cu ft) 2020

Total Volume Provided (cu ft) 5549

PROPOSED VOLUME PROVIDED

Lumina Technologies, Inc. - Testing Facility (Overse)
3/21/2022

Orifice Detention Runoff Coeff. = 0.86

Offsite Runoff Coeff. = 0.86

T_c (on-site) = 15.0 min

T_c (off-site) = 15.0 min

Orifice area to basin = 1.59 acres

Offsite area to basin = 0.00 acres

Total area to basin, A_p = 1.59 acres

Design of Detention/Retention Basin(s)

Basin Vol. Provided = 15,270 cu ft

Direct Release Allowed = 0.21 cfs

Perf. Rate, P = 0 in/hr

Infiltrating Basin Area, A_p = 0 sq ft

Storage Required, $S_{req} = V_{stor} - Q_p \cdot T_c = C_p \cdot I_p \cdot A_p - P \cdot (A_p/A_p) \cdot T_c$

$S_{req} = C_p \cdot I_p \cdot A_p - ((Q_{max}/A_p) \cdot T_c) \cdot (P/A_p) \cdot T_c$

Storm Event: 25 yr (pick 100, 50, 25, 10, 6.3, or 2) (4.67" 24hr Rainfall)

Detention Pond Calc.	Onsite Storage (cu ft)	Offsite Storage (cu ft)	Total Storage (cu ft)
15	4.59	0.00	0.96
30	3.40	1.36	0.00
60	2.24	1.79	0.00
90	1.62	2.14	0.00
120	1.39	2.12	0.00
180	1.03	2.28	0.00
240	0.80	2.32	0.00
300	0.74	2.54	0.00
360	0.80	2.31	0.00
420	0.80	2.44	0.00
		2.54	

100 Year 14,848 cu ft
 Tot. Vol. Required 14,845
 0.24 acre-ft
 Vol. Supplied 15,270 feet OK

PROPOSED VOLUME REQUIRED

PRELIMINARY
NOT FOR CONSTRUCTION

LUMINA PROJECTS/2220234/TESTING FACILITY/2220234 - 000 - TRIBUTARY AREAS - OVERSE - Nov. 23 2022 - 08:59pm - Preliminary

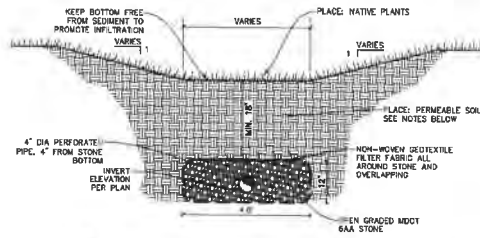
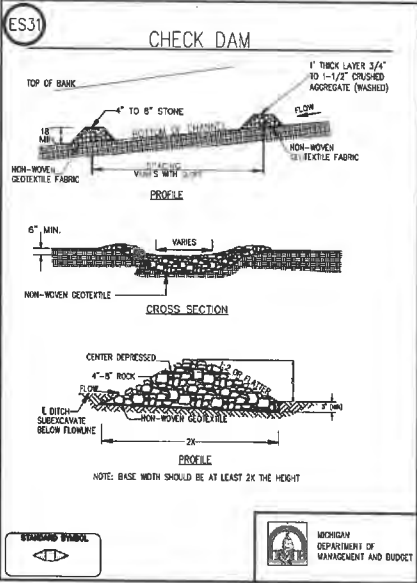
NO.	REVISIONS	BY	DATE	DATE	E.I.V./E.S.D.

PREIN & NEWHOF
Engineers • Surveyors • Environmental • Laboratory

LUMINA TECHNOLOGIES, INC. - TESTING FACILITY
CASADIA, TOWNSHIP, MI

3400 THORNAPPLE RIVER DRIVE
TRIBUTARY AREAS

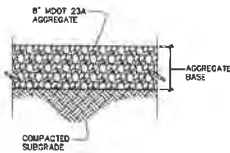
PROJECT NO. 2220234
SHEET NO. 4 OF 5



ST11 DETENTION POND

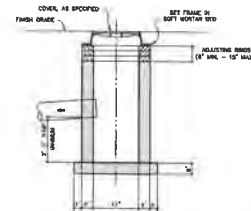
SCALE: NONE

- PERMEABLE SOIL SHALL CONSIST OF MATERIALS EVENLY MIXED IN THE FOLLOWING RATIO:
 - COMPOST: 20% - 50%
 - SAND: 20% - 80%
 - TOPSOIL: MAXIMUM 30% WITH LESS THAN 10% CLAY CONTENT
- PERMEABLE SOIL MIX SHALL HAVE A pH BETWEEN 5.5 AND 7.5



A11 GRAVEL SECTION

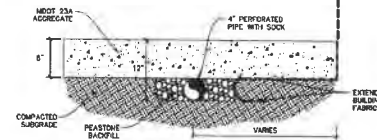
SCALE: NONE



2\"/>

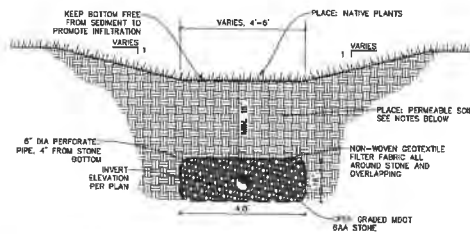
NOTE

- PRECAST CONCRETE INLET SHALL MEET ASTM D153
- IF BOTTOM IS PRECAST CONCRETE, SET ON MINIMUM 4" SAND SURFACE (TOP OF DITCH IS GRADED STONE WRAPPED WITH GEOTEXTILE FABRIC)



ST50 UNDERDRAIN SECTION

SCALE: NONE



ST10 STORMWATER SWALE

SCALE: NONE

- PERMEABLE SOIL SHALL CONSIST OF MATERIALS EVENLY MIXED IN THE FOLLOWING RATIO:
 - COMPOST: 20% - 50%
 - SAND: 20% - 80%
 - TOPSOIL: MAXIMUM 30% WITH LESS THAN 10% CLAY CONTENT
- PERMEABLE SOIL MIX SHALL HAVE A pH BETWEEN 5.5 AND 7.5

PRELIMINARY
NOT FOR CONSTRUCTION

NO.	REVISIONS	BY	DATE	DRWN	CHECKED

Prein & Newhof
Engineers - Surveyors - Environmental Laboratory

LUMINAR TECHNOLOGIES, INC. - TESTING FACILITY
CASCADE TOWNSHIP, MI

4300 THORNAPPLE RIVER DRIVE

DETAIL SHEET

PROJECT NO.
2220234

SHEET NO.

5 of 5

C:\P\PROJECTS\2022\2220234\2220234.dwg - DATE: 02/22/22 - TIME: 11:30am - P:\admin\

April 5, 2022
Project No. 170168

Brian Hilbrands
Interim Planning Director
Cascade Charter Township
2865 Thornhills Avenue, SE
Grand Rapids, MI 49546

**4300 Thornapple River Drive
Luminar Technologies
Site Plan Review**

Dear Brian:

We have reviewed the site plan for 4300 Thornapple River Drive, prepared by Prein & Newhof. The current site plan and the basis of this review were delivered by email as a PDF and the file is dated March 21, 2022. The applicant is proposing a “Temporary” structure which includes a 996-foot-long by 26-foot-wide fabric building with a gravel surface surrounding the building. While this may be considered a temporary building, we don’t know when the building will be removed; therefore, we are reviewing as if it would be a permanent structure.

Plan Sheet 2 includes a note about a future 640-foot by 26-foot fabric building. This site plan does not include grading details or stormwater controls for that future building. If the applicant decides to construct that future building, then an additional review would be required at that time.

Stormwater and Drainage

The proposed project is being reviewed under the current Stormwater Ordinance (SWO), Ordinance 7 of 2002, as amended by Ordinance 2 of 2008, May 14, 2008.

The overall layout of the site includes a long building and gravel pad dividing the site east and west. The proposed stormwater controls include drainage swales, including check dams on the east and west, and detention basins on the south side of the site with restricted outlets.

Flood Control

The proposed project is a new development, so all improvements shall comply with the requirements of the Cascade Charter Township and Stormwater Ordinance (SWO). The site is located in Stormwater Management Zone A, which requires infiltration of the 100-year storm event if soil conditions are conducive to infiltration. The applicant provided a geotechnical report including 6 soil borings to a depth of 15 feet each and all the borings indicate clay soils for the entire depth. Infiltration is not possible on this site given the underlying soil conditions. In that case, the SWO allows for detention of the 25-year storm event to satisfy the Flood Control requirements.

The site plan includes storage volume sufficient to account for the new impervious areas (building and gravel lot). This storage volume is being achieved through the two detention basins and storage in the swales behind the check dams. It is imperative that the check dams are installed during the project and constructed to the detail shown on the plans, to provide the required storage volume.

At our request, the applicant also provided an overall drainage area map and the flow path of the runoff to the Thornapple River. The overflow path routes east through airport property and then under the I-96/M-6 ramps before discharging to the Thornapple River. The improvements to the site will not change the current flow path to the river. Overall, with the improvements proposed, the peak flow rate from this site will be slightly reduced compared to the existing site.

Water Quality and Channel Protection (Bank Erosion) Control

Both of these requirements are being met through the use of the two detention basins and 4-inch inlet pipes covered by pea stone and the permeable soil per the ST11 detail on Plan Sheet 5. The applicant provided the completed Lower Grand River Organization of Watersheds spreadsheet that calculates the volume required to satisfy these requirements.

Drainage Plan

The applicant has submitted plans, calculations, and additional documentation as required in SWO Section 2.03, Drainage Plan. Please refer to the attached checklist for items and comments on each item. Please note a maintenance agreement is required before construction begins. The agreement should be submitted to the Township for review. The maintenance agreement and plan should include, at a minimum, the cleaning of the detention basins, cleaning of catch basin sumps, and sediment and debris removal from the detention basins and outlet structures.

Utilities

The plan includes a 1.5-inch domestic water line that will be connected to the existing water main west of Thornapple River Drive. The plan indicates that the new water service will be drilled under the roadway to minimize disruption. The applicant will need to obtain a permit from the KCRC for work in the Right-of-Way and they will need to coordinate with the City of Grand Rapids for the new tap.

Sanitary sewage is shown as being collected in a 1,000-gallon septic tank with high water alarm and control panel. This will allow for the tank to be pumped and hauled. This will need approval from the Kent County Health Department.

Soil Erosion and Sedimentation Control

Soil Erosion and Sedimentation Control (SESC) falls under the review and approval of the Kent County Road Commission (KCRC) and a permit is required before construction can begin.

SESC measures are provided on the plan drawings. The applicant has included silt fence along the southern limits of the project, mulch blanket on steep slopes, and silt sacks in catch basins.

This is a relatively large site with clay soils and steep slopes. Sites like this have the potential to be problematic with SESC during large rain events. It is imperative that appropriate measures be taken by the developer to reduce the risk of soil erosion. KCRC may require additional SESC measures beyond what is shown on the drawing.

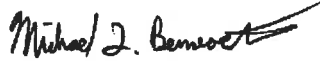
The disturbed area on the site exceeds five acres and a Notice of Coverage is required with EGLE.

Summary

The proposed stormwater management design meets the Township SWO requirements given the soil conditions and location. The applicant will need to apply for several permits prior to beginning any construction. We recommend approval of the site plan from an engineering standpoint.

If you have any questions or require additional information, please contact me at 616.464.3927 or mberrevoets@fishbeck.com.

Sincerely,



Michael L. Berrevoets, PE
Senior Civil Engineer

Attachment
By email

Cascade Charter Township

Storm Water Ordinance, Ordinance 7 of 2002, as amended by Ordinance No. 2 of 2008, May 14, 2008

Reviewing Engineer Comments are Italicized

OK – Received and Acceptable

NA – Not Applicable

NR – Not Received, Needs Follow-up, See Comments

4300 Thornapple River Drive, Luminar Technologies

Drainage Plan Checklist

- OK (1) Location of the development site and water bodies that will receive stormwater runoff
Stormwater runoff from the site will discharge to 2 detention basins through swale with check dams.
- OK (2) Existing and proposed topography of the development site, including the alignment and boundary of the natural drainage courses, with contours having a maximum interval of one foot (using USGS datum). The information shall be superimposed on the pertinent Kent County soil map
Existing and proposed contours have been provided. Soils data provided with geotechnical report.
- OK (3) Development tributary area to each point of discharge from the development.
The applicant provided a tributary area for the portions draining to the detention basin.
- OK (4) Calculations for the final peak discharge rates
The applicant provided calculations for the new detention basins and onsite storm sewer system.
- OK (5) Calculations for any facility or structure size and configuration
The applicant provided calculations for the new detention basin and onsite storm sewer system.
- OK (6) Drawing showing all proposed storm water runoff facilities with existing and final grades
The applicant provided plans showing all proposed storm water runoff facilities.
- OK (7) The sizes and locations of upstream and downstream culverts serving the major drainage routes flowing into and out of the development site. Any significant off-site and on-site drainage outlet restrictions other than culverts should be noted on the drainage map
No significant offsite drainage routing through the site. Thornapple River Drive has roadside ditches that act as a barrier to offsite runoff coming from the west.. Applicant provided downstream runoff path route to the river for review.
- NR (8) An implementation plan for construction and inspection of all storm water runoff facilities necessary to the overall drainage plan, including a schedule of the estimated dates of completing construction of the storm water runoff facilities shown on the plan and an identification of the proposed inspection procedures to ensure that the storm water runoff facilities are constructed in accordance with the approved drainage plan
A construction schedule was not included on the drawings. Applicant will need to inform Township when construction is expected to take place to allow periodic inspections if necessary.

- OK (9) Plan to ensure the effective control of construction site storm water runoff and sediment track-out onto roadways
SESC falls under the review and approval of the KCRC and a permit is needed before construction can begin. SESC measures shown on plan and subject to review by KCRC.
- OK (10) Drawings, profiles, and specifications for the construction of the storm water runoff facilities reasonably necessary to ensure that storm water runoff will be drained, stored, or otherwise controlled in accordance with this ordinance
The applicant provided a plan and design details for construction of the proposed detention basin.
- NR (11) Maintenance agreement, in form and substance acceptable to the Township, for ensuring maintenance of any privately owned storm water runoff facilities. The maintenance agreement shall include the developer's written commitment to provide routine, emergency, and long-term maintenance of the facilities and, in the event that the facilities are not maintained in accordance with the approved drainage plan, the agreement shall authorize the Township to maintain any on-site storm water runoff facility as reasonably necessary, at the developer's expense
Maintenance agreement was not provided and is required.
- OK (12) Name of the engineering firm and the registered professional engineer that designed the drainage plan and that will inspect final construction of the storm water runoff facilities
- NA (13) All design information must be compatible for conversion to Grand Valley Regional Geographic Information System (REGIS)
This is a privately owned system and will not be uploaded to REGIS.
- OK (14) Other information necessary for the Township to verify that the drainage plan complies with the Township's design and performance standards for drains and storm water management systems

STAFF REPORT

STAFF REPORT: Case #22-3701/Woods Builders Homes Inc.
REPORT DATE: April 13, 2022
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: April 18, 2022
PREPARED BY: Brian Hilbrands, Planning Director

APPLICANT:

Woods Builders Homes Inc.
2620 Horizon Dr. Suite 125
Grand Rapids, MI 49546

STATUS
OF APPLICANT:

Developer

ADDRESS
OF PROPERTY:

6105 Charlevoix Woods Ct

REQUESTED ACTION:

Basic Plan Review for an amendment to the PUD to accommodate a 24-unit apartment project.

EXISTING ZONING OF
SUBJECT PARCEL(S):

PUD 58

GENERAL LOCATION:

North side of 28th St, northeast of Wal-Mart

PARCEL SIZE:

Approximately 4 acres

EXISTING LAND USE
ON THE PROPERTY:

Vacant

ADJACENT AREA
LAND USES:

N – Residential (Single-family)
W – Residential (Attached residential)
S – Commercial (Subaru dealership)
E – Residential (Assisted living facility)

ZONING ON
ADJOINING PARCELS:

N – R-2
W – PUD 91
S – PUD 67
E – PUD 58

STAFF COMMENTS:

1. The applicant is requesting Basic Plan Review to amend the existing Planned Unit Development to allow for the development of a 24-unit apartment complex on an approximately 4-acre parcel. The 24 units would be located in three buildings.
2. The site was rezoned to PUD in 1998 to permit an adult assisted living facility campus. It was amended in 2002 to allow for office uses south of Charlevoix Drive Court, but that area was then removed from the PUD in 2004.
3. The site is currently vacant. There is an assisted living facility located on the parcel immediately to the east which is part of the same PUD.
4. The property is Master Planned as Community Residential. This designation allows for multifamily developments and a residential density of 4-6 units per acre. The developer is proposing a 6 unit per acre development.
5. The size of each apartment is approximately 1,545 square feet.
6. We do not have specific landscape buffer requirements between residential uses, but in the past a bufferyard with plantings have been included when a higher density development is created. I would suggest requiring some landscaping and bufferyard along the property lines. The residential development immediately to the east that was approved in 2013 included a robust landscape plan. There is a large number of trees currently along the north property line, but few along the east and west property lines.
7. The developer proposes to use the existing private street, Charlevoix Woods Ct. This road was developed when the assisted living project went in in the late 90's. The initial plans for the area called for there to be office uses on the south side of Charlevoix Woods Ct. However, those parcels were purchased by the adjacent car dealerships and are now used as parking lots, so there is less traffic demand on Charlevoix Woods Ct.
8. The applicant/buyer has mentioned that the question of access across the Wal-mart parcel has been brought up by the seller. It is the belief that the parcels located along Charlevoix Woods Ct have been granted an easement for access across the parcel, but that will have to be confirmed before construction can commence.
9. They have shown a private road system that has two connections out to Charlevoix Woods Ct to address our limit of no more than 19 units on a dead end. They will need to indicate on the plans that the private road meets our design standards. The street name will need to be approved by the Kent County Road Commission.
10. The buildings should meet the setback requirements of the underlying zoning district, which is Office (O). This would include 30' front yard, 25' side yard and 50' rear yard setbacks. Any raised decks should also be located out of the setback areas. It appears that building is located within the front yard setback.

11. The development is proposed to be served by public sewer and water. The developer will need to satisfy the township engineer and the City of GR.
12. The developer will also need to satisfy the township engineer and the KCDC regarding stormwater. The developer will have to provide a stormwater maintenance agreement.
13. The developer will also need to provide a recognition statement regarding the proximity of the airport in their documents, including the PUD Ordinance.
14. The applicant has not indicated the location of any light poles in the development. Our subdivision ordinance requires lights. The applicant should provide details on the type and height of the lights proposed for the project. A lighting photometric plan will also be required.
15. No sidewalks are planned for the project. Although they would not connect to the 28th St sidewalks or any other sidewalks we should discuss whether or not this is something you would want to be included in this project.
16. The Planning Commission can require that a traffic study be provided if desired. I do not believe a traffic study is needed since the office uses that were originally planned for the south side of Charlevoix Woods Ct are now parking areas for the car dealerships, so there is less traffic demand on Charlevoix Woods Ct.
17. The applicant has submitted this package as required by Section 16.05 (2) of the Zoning Ordinance for Basic Plan Review.
18. If you find that all the procedural information has been provided, this application should proceed to a public hearing and consideration of a Preliminary Development Plan. It will be at that stage of the review process that the *merits* of the request will be considered, and the detailed site plans will be required and reviewed.

Before proceeding to the Preliminary Development Plan review (Public Hearing), I would recommend that the applicant submit the following information:

1. Plans indicating the private road meet our design standards.
2. Provide a full civil plan set
3. Landscaping plan
4. Approval from the Township Engineer.
5. Approval from the Fire Chief.
6. Have the plans reviewed by the KCDC for their comments on the storm water system.
7. Location and type of street lights
8. Photometric Plan

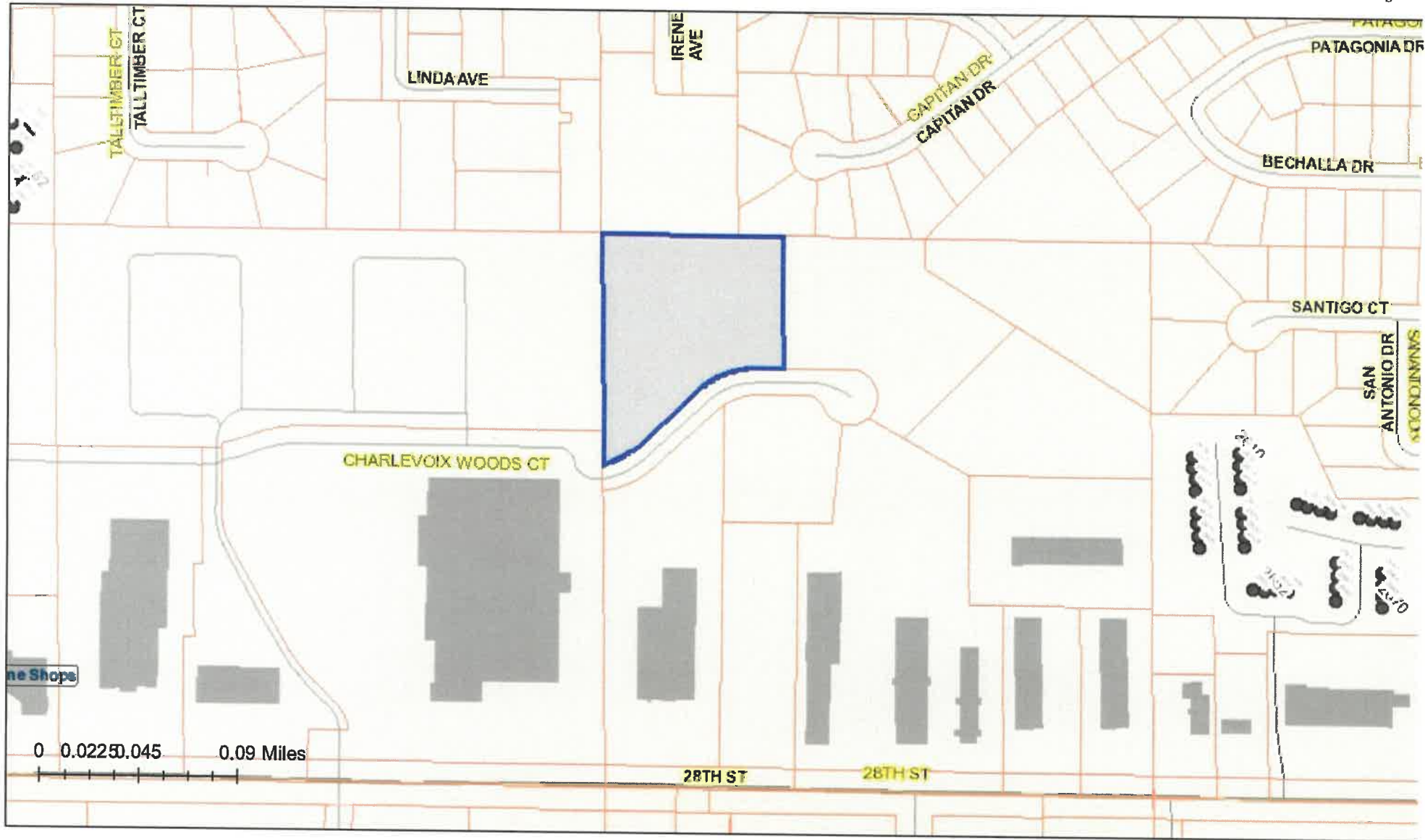
ATTACHMENTS:

Application

Site Plan

Current PUD Ordinance Thornapple Manor #2 of 1998 and 2002
and 2004 amendments

TITLE



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TITLE



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CASCADÉ CHARTER TOWNSHIP

5920 Tahoe Dr. SE, Grand Rapids, Michigan 49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Woods Builders Homes Inc.
 Address: 2620 Horizon Dr., Suite 125
 City & Zip Code Grand Rapids 49546
 Telephone: 616-290-6996
 Email Address: admin@woodsbldr.com

OWNER: * (If different from Applicant)
 Name: Cascade Stewardship Properties LLC
 Address: 4519 Cascade Rd. SE. Suite 2B
 City & Zip Code: Grand Rapids MI 49546
 Telephone: 616-551-3310
 Email Address: service@timberline Property.net

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input checked="" type="checkbox"/> P.U.D. - Rezoning *
<input type="checkbox"/> P.U.D. - Site Condominium *	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Site Plan Review *	<input type="checkbox"/> Sign Variance Subdivision
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Plat Review *
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ *

** Requires an initial submission of 5 copies of the completed site plan*

BRIEFLY DESCRIBE YOUR REQUEST:**

Rezone from assisted living to Multi-family Apartments

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY**:

411908451040 Part of SW 1/4 SE 1/4 COM at S 1/4 COR TH N
OD 43M 11S W 773.48 FT Along W Line SE 1/4 to BEG of
this Desc - TH N OD 43M 11S W 552.57 ft. Along SD
W Line TH S 89D 34M 26S E 435.31 TH S OD
00M 00S W 313.43 ft TH S 90D 00M 00S W 46.19 ft. TH

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19-08-451-040

ADDRESS OF PROPERTY: Lolo Charlevoix Woods SE, Grand Rapids 49546

PRESENT USE OF THE PROPERTY: Vacant

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

Lolo Charlevoix Woods LLC

545 Ada Dr SE, Ada, Mi 49301

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Jeffrey G. Shell, Member

David Woods

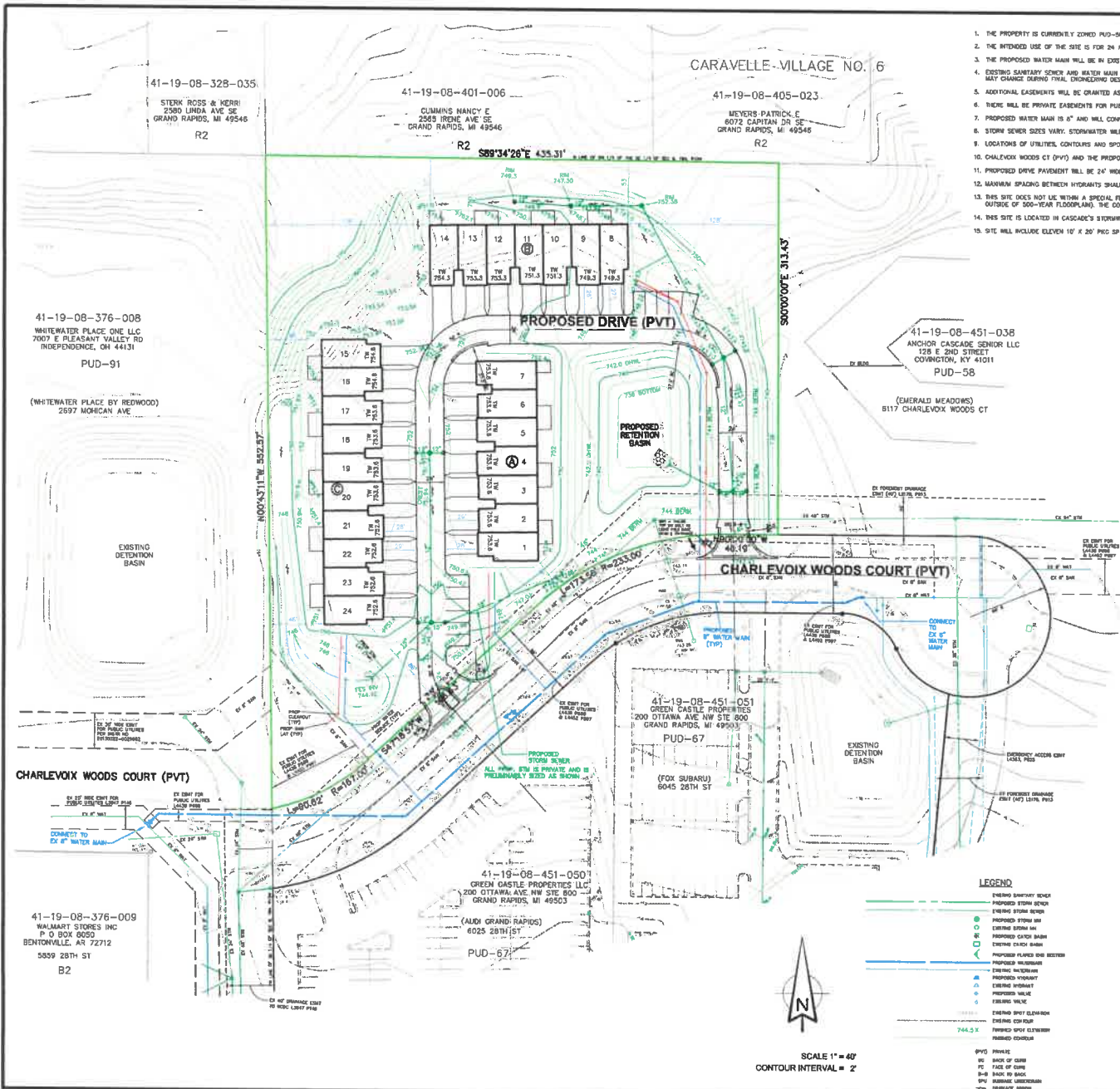
Owner – Print or Type Name
(*If different from Applicant)

Applicant – Print or Type Name

*Jeffrey G. Shell 3/17/22
Owner's Signature & Date
(*If different from Applicant)

David Woods 3/17/22
Applicant's Signature & Date

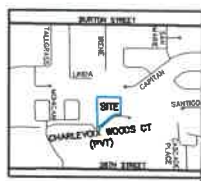
PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU



GENERAL NOTES

1. THE PROPERTY IS CURRENTLY ZONED PUD-58, ZONING FOR ADJACENT PROPERTIES VARIES AND IS SHOWN ON THIS PLAN.
2. THE INTENDED USE OF THE SITE IS FOR 24 APARTMENTS. THE LAYOUT SHOWN IS PRELIMINARY AND MAY CHANGE DURING FINAL ENGINEERING DESIGN.
3. THE PROPOSED WATER MAIN WILL BE IN EXISTING PRIVATE EASEMENTS FOR INGRESS/EGRESS AND PUBLIC UTILITIES LOCATED APPROXIMATELY AS SHOWN.
4. EXISTING SANITARY SEWER AND WATER MAIN ARE PUBLIC. PROPOSED WATER MAIN IS PUBLIC. PROPOSED STORM SEWER AND RETENTION BASIN ARE PRIVATE. LOCATIONS SHOWN ARE PRELIMINARY ONLY AND MAY CHANGE DURING FINAL ENGINEERING DESIGN.
5. ADDITIONAL EASEMENTS WILL BE GRANTED AS NEEDED FOR SANITARY SEWER, WATER MAIN, STORM SEWER, OTHER PUBLIC UTILITIES AND DRAINAGE AS REQUIRED. (EASEMENTS MAY OR MAY NOT BE SHOWN).
6. THERE WILL BE PRIVATE EASEMENTS FOR PUBLIC UTILITIES WITH LOCATIONS TO BE DETERMINED DURING FINAL ENGINEERING DESIGN.
7. PROPOSED WATER MAIN IS 24" AND WILL CONNECT TO THE EXISTING 8" WATER MAINS AS SHOWN.
8. STORM SEWER SIZES VARY. STORMWATER WILL BE COLLECTED AND ROUTED TO A PROPOSED RETENTION BASIN DESIGNED TO CASCADE STANDARDS.
9. LOCATIONS OF UTILITIES, CONTIGUOUS AND SPOT ELEVATIONS SHOWN ARE PRELIMINARY ONLY AND MAY CHANGE DURING FINAL ENGINEERING DESIGN.
10. CHALLENGE WOODS CT (PVT) AND THE PROPOSED DRIVE ARE PRIVATE. NOT ALL ACCESS EASEMENTS ARE SHOWN.
11. PROPOSED DRIVE PAVEMENT WILL BE 24" WIDE BITUMINOUS VALLEY CUTTER PAVEMENT, 24" CONCRETE CURB AND GUTTER AND 30" CONCRETE GUTTER PAN WILL BE PROVIDED WHERE SHOWN.
12. MAXIMUM SPACING BETWEEN HYDRANTS SHALL BE 400'.
13. THIS SITE DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THE PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF 500-YEAR FLOODPLAIN). THE COMMUNITY PANEL NUMBER IS 260814 00254 WITH AN EFFECTIVE DATE OF NOVEMBER 6, 1991.
14. THIS SITE IS LOCATED IN CASCADES 810/810/810 ZONE A.
15. THIS SITE WILL INCLUDE ELEVEN (11) X 20' PGC SPACES IN ADDITION TO THOSE IN DRIVEWAYS AND GARAGES.

SEWER MARK ELEVATION
 8011 - 744.87
 TOP OF SOLE
 TO LIGHT POLE BASE
 NEAR E ENTRANCE



JOB SITE



PROJECT LOCATION

THE WATER MAIN WILL BE CONSTRUCTED IN A SINGLE PHASE, WITH ANTICIPATED COMPLETION IN FALL 2022.

LEGAL DESCRIPTION (FROM TAX DESCRIPTION)

That part of the Southwest 1/4 Southeast 1/4 of Section 8 T8N R10W described as: Commencing at the South 1/4 corner of said section; thence N0°43'11" W 773.48 feet along the West line of the Southeast 1/4 to the point of beginning of this description; thence N0°43'11" W 662.57 feet along said West line; thence S89°34'28" E 435.31; thence S0°00'00" W 313.43 feet; thence S80°00'00" W 46.19 feet; thence West 173.65 feet along a 233 foot radius curve to the left, the long chord of which bears S68°39'29" W 165.50 feet; thence S47°19'57" W 186.63 feet; thence West 50.82 feet along a 167 foot radius curve to the right, the long chord of which bears S62°51'43" W 89.51 feet to the point of beginning.

THE IDENT COUNTY PARCEL NUMBER IS 41-19-08-451-050.
 THE CURRENT ADDRESS IS 8103 CHARLEVOIX WOODS COURT, SE
 178,000 SQ FT (4.04 AC)



For:
 Dove Woods
 2820 Horizon DR SE, Suite 125
 Grand Rapids, MI 49546
 (616) 272-3488

PART OF THE SW 1/4 AND THE SE 1/4 OF SECTION 8, T8N, R10W, E8W OF GRAND RAPIDS

CHARLEVOIX APARTMENTS

PRELIMINARY SITE PLAN

Scale: 1" = 40'

Sheet No. 1 of 1

MEDEMA, VAN KOOTEN & ASSOCIATES
 CONSULTING ENGINEERS & SURVEYORS SINCE 1955

PHONE (616) 431-0630 282 STATE ST., S.E.
 FAX (616) 431-8225 GRAND RAPIDS, MI 49503
 www.mvka.com

LEGEND

- EXISTING SANITARY SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED WATER MAIN
- EXISTING WATER MAIN
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- PROPOSED PLUMED AND BEHIND
- PROPOSED WALKWAY
- EXISTING WALKWAY
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY
- PROPOSED WALK
- EXISTING WALK
- EXISTING SPOT ELEVATION
- EXISTING COP FLOOR
- PROPOSED COP FLOOR
- PROPOSED DRIVEWAY
- PROPOSED CURB

- PVT PRIVATE
- NO BACK TO CURB
- NO BACK TO DRIVE
- B-B BACK TO BACK
- NOV NOVATION
- DRAINAGE 00000

SCALE 1" = 40'
 CONTOUR INTERVAL = 2'

WOODS BUILDERS

Hawthorn SOG

GENERAL NOTES — RESIDENTIAL

1. CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, ORDINANCES, AND REGULATIONS.
2. ALL MATERIALS AND WORKMANSHIP TO MEET OR EXCEED INDUSTRY STANDARDS.
3. ANY DISCREPANCIES BETWEEN THE SCOPE OF WORK AND THE CONSTRUCTION DOCUMENTS ARE TO BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. IN THE EVENT OF DISCREPANCIES THAT WERE NOT BROUGHT TO THE PROJECT MANAGER'S ATTENTION FOR A RESPONSE IN WRITING, THE CONTRACTOR WILL BE HELD TO THE HIGHER STANDARD.

4. ALL GYPSUM BOARD TO BE 1/2" ON WALLS, 5/8" ON CEILINGS GYPSUM BOARD.

6. TRUSS FABRICATOR TO SUBMIT TRUSS DRAWINGS TO WOODS BUILDER'S FOR REVIEW & APPROVAL PRIOR TO FABRICATION.

GENERAL STRUCTURAL NOTES

1. ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE MICHIGAN RESIDENTIAL BUILDING CODE 2015
2. DESIGN LOADS:
LIVE LOAD: PER BUILDING DISTRICT REQUIREMENTS
WIND: 90 MPH EXPOSURE "B"
SEISMIC: SITE CLASS "A"
DESIGN SOIL BEARING: 2,000 PSF
SOILS:

WOOD FRAMING NOTES — RESIDENTIAL

1. FOLLOW ALL REQUIREMENTS AND RECOMMENDATIONS OF MANUFACTURER.
a. PSL= 2.0E PARALLAM, Fb=2,900 PSI
b. LVL=1.9E MICROLAM, Fb=2,600 PSI
c. LSL= 1.7E TIMBERSTRAND, Fb=2,600 PSI
2. LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL WOOD LEDGERS, PLATES, SILLS AND NAILERS IN CONTACT WITH EARTH OR WITHIN 6 INCHES OF EARTH SHALL BE P.T. ALL NAILS, BOLTS, HANGERS, ETC. SHALL BE G-185 OR STAINLESS STEEL IN CONTACT WITH ACQ. LUMBER.

MECHANICAL, ELECTRICAL & PLUMBING NOTES

1. ALL WIRING TO COMPLY WITH THE LATEST ENFORCEABLE N.E.C., STATE, AND LOCAL CODE REQUIREMENTS.
2. ALL DUCTWORK SHALL COMPLY WITH ASHRAE STANDARDS, ALL MECHANICAL WORK SHALL COMPLY WITH THE STATE OF MICHIGAN MECHANICAL CODE AND LOCAL REQUIREMENTS.
3. ALL PLUMBING SHALL COMPLY WITH THE STATE OF MICHIGAN PLUMBING CODE AND LOCAL REQUIREMENTS. PROVIDE CLEANOUTS AS REQUIRED AND AT BASE OF ALL STACKS.

CODE INFORMATION — RESIDENTIAL

DESIGN PARAMETERS:
2015 MRC BUILDING CODE
2015 MRC MECHANICAL CODE
2015 MRC PLUMBING CODE
2015 MRC ELECTRIC CODE
ICC/ANSI 117.1-2003
OCCUPANCY: R-3
CONSTRUCTION: TYPE 5-B UNPROTECTED, NON-SPRINKLERED
EXTERIOR BEARING WALLS - #2 & BTR SPF
ROOFING MATERIAL - WOOD TRUSS / SHINGLE
SEPARATION: NONE

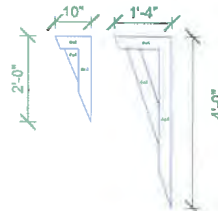
DRAWING INDEX

DRAWING INDEX	PAGE #
TITLE	PAGE #1
ELEVATIONS & SIDING	PAGE #2
ELEVATIONS	PAGE #3
LOWER LEVEL	PAGE #4
MAIN FLOOR	PAGE #5
UPPER FLOOR	PAGE #6
ROOF PLAN	PAGE #7
DETAILS - SECTIONS	PAGE #8
NONCOMB. DETAILS	PAGE #9
LOWER LEVEL ELECTRICAL	PAGE #10
MAIN FLOOR ELECTRICAL	PAGE #11
UPPER FLOOR ELECTRICAL	PAGE #12





FRONT ELEVATION
SCALE: 3/16" = 1'-0"

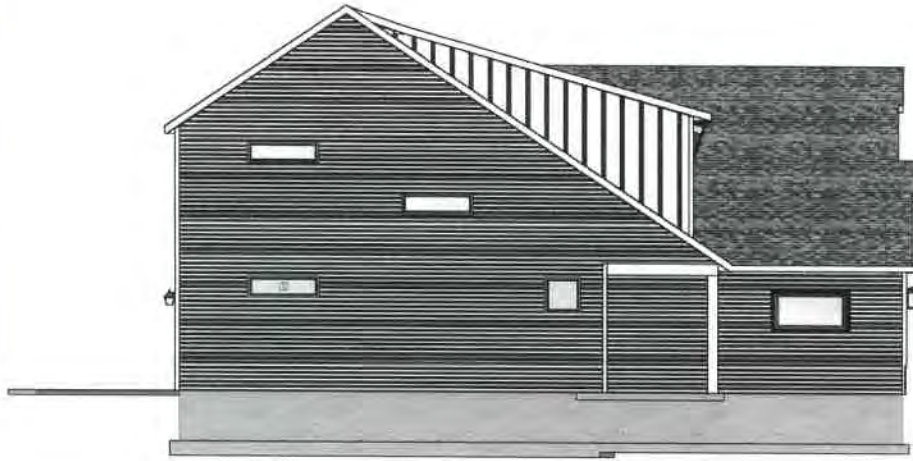


BRACKETS
SCALE: 3/4" = 1'-0"

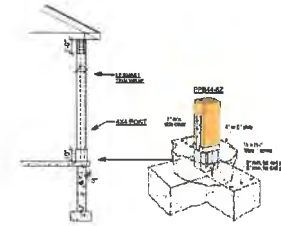


REAR ELEVATION
SCALE: 3/16" = 1'-0"

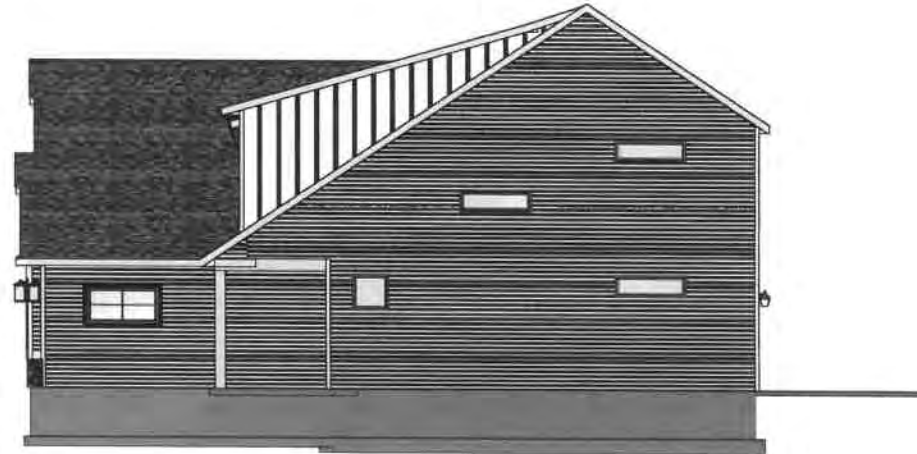




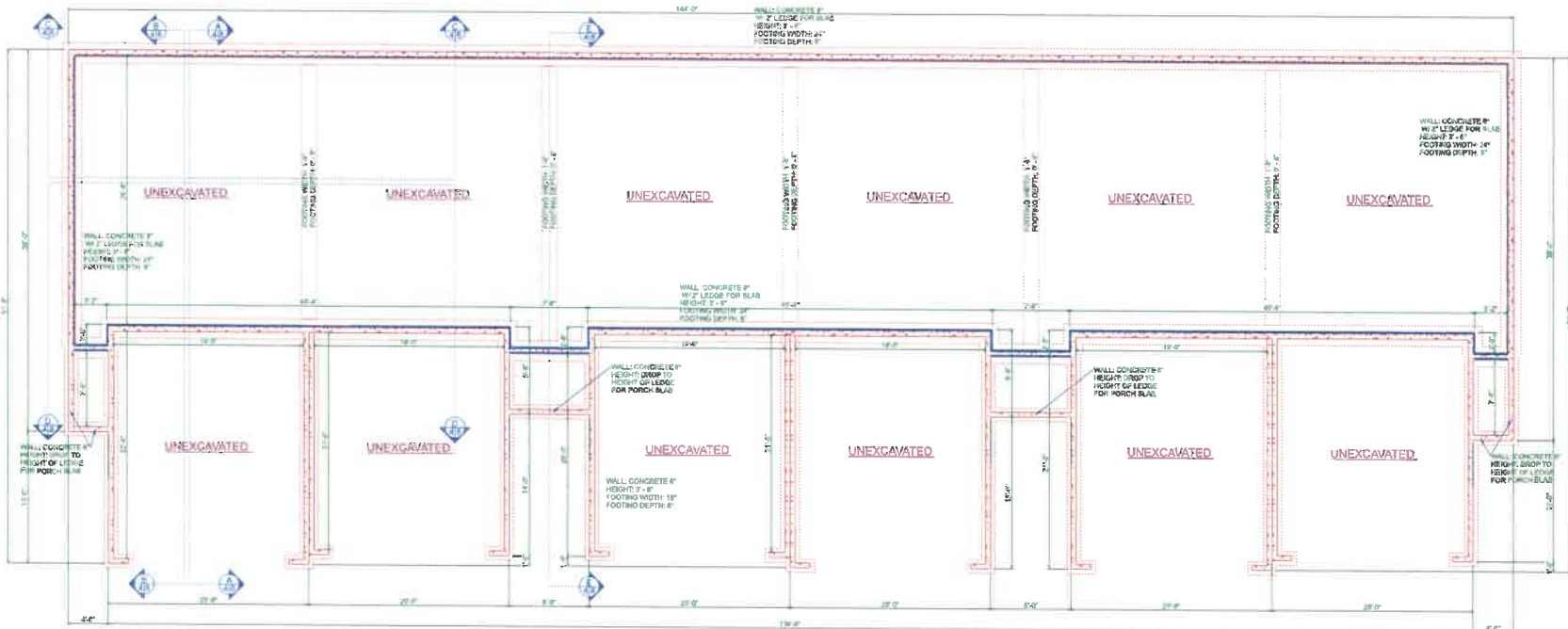
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



PORCH COLUMN
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



FOUNDATION
SCALE: 3/16" = 1'-0"

Foundation and Concrete Notes:

1. Concrete Strength for Garage Slabs: 3,500 psi
Concrete Strength for Patios, Porches and Exterior walls and drives: 4,000 psi and 8-inch slump.
In Winter: Concrete Air Entrainment 6% ± 1% in areas exposed to freezing and follow approved winter installation & proper curing.
Concrete Strength for Footings: 3,000 psi min. (3,000 where required). Max. slump 5" ± 1". Concrete should not be dropped more than 40'. Reinforcing Steel: Horizontal rebar size: #4, typically 2 pieces in the bottom 1/3 of the footing with 3" min. concrete coverage and 18" min. bars, continuous through solid joints. Install as per requirements of local building department.
2. Place 1" deep expansion or control joints not to exceed 12' intervals on large slabs and 5' intervals on walls.
3. Form outdoor walls, stoops, steps and patios to slope for drain off. Hold driveway slab 3" below garage slab to prevent water from entering garage. The following min. fall/slopes apply: Porches/patio/stoops - 2" slope per 4 feet to the outside min. Walks/Drives at least 3/4" slope per 1' foot Garage slab to slope off 1/4" at garage door but level at garage door landing.
4. Slabs for all network including but not limited to, garage floors, patios, porches, stoops, lower level floor slabs, shall be 4" min. thick (never less than 3-1/2").
5. Reinforce finished surfaces to be finished lightly to a non-slip broom-finish, except garage slabs and interior slabs to be smooth trowel finish.
6. Where floor drains are indicated for slabs in garage or around water heater, stoves slab and interior slabs to be smooth trowel finish.
7. Foundation steps/bolts to be placed at 4' intervals and approved hold downs or anchors/standoffs at all corners, piers and columns.
8. Hold final finished grade to a min. of 6" below top of foundation, including all foundation steps, (unless a table notes it provided).
9. Apply waterproofing to foundation per site/local conditions and specifications to top of finished grade level.



Framing Notes:

1. Dimensions are wood frame to frame, sheathing figured flush with the foundation, unless otherwise noted and all stud walls are 3-1/2" with 1/2" drywall unless noted otherwise.
2. Solid Blocking: Provide horizontal solid blocking for kitchen cabinets, laundry cabinets and closets for shelves/rods.
3. Frame inside lower level openings for windows and doors with 1-1/2" framing.
4. Any framing in contact with concrete to be treated lumber.

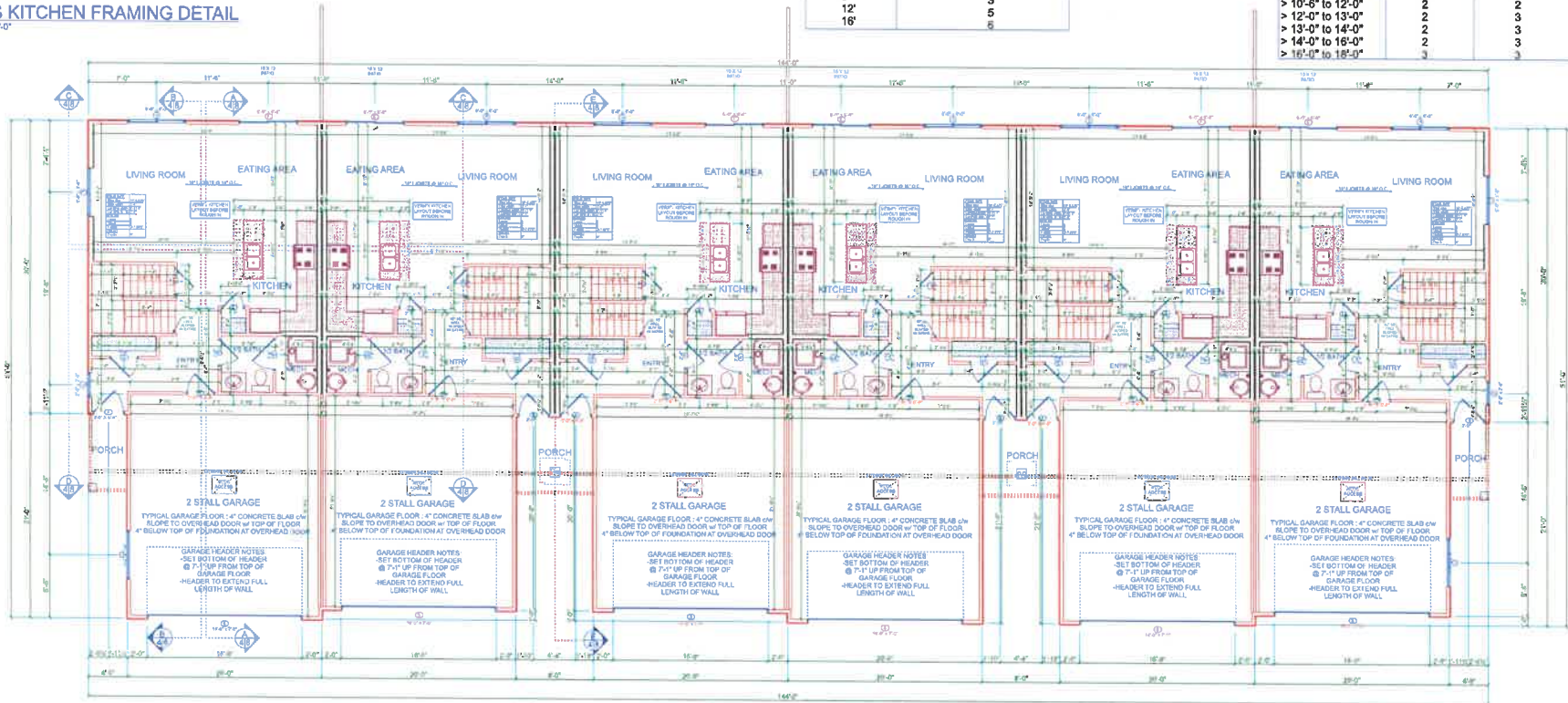
MIN. NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN (feet)	MAX. STUD SPACING (inches)
< OR = 3'	16
4'	1
8'	2
12'	3
16'	5

TOTAL NUMBER OF JACK AND KING STUDS REQUIRED AT EACH END OF AN OPENING

SIZE OF OPENING (feet-inches)	16-inch O.C. STUD SPACING	No. of Jack Studs	No. of King Studs
Up to 3'-6"		1	1
> 3'-6" to 5'-0"		1	2
> 5'-0" to 5'-6"		1	2
> 5'-6" to 8'-0"		1	3
> 8'-0" to 10'-6"		2	3
> 10'-6" to 12'-0"		2	4
> 12'-0" to 13'-0"		2	5
> 13'-0" to 14'-0"		2	6
> 14'-0" to 15'-0"		2	7
> 15'-0" to 15'-6"		3	7

RECESS KITCHEN FRAMING DETAIL
SCALE: 3/16" = 1'-0"



MAIN FLOOR 9'
SCALE: 3/16" = 1'-0"

MAIN FLOOR BUILDING
MAIN FLOOR UNIT
PORCH

4086 SQ. FT.
890 SQ. FT.
32 SQ. FT.

ALL UNITS ARE NOT SYMMETRICAL - CHECK DIMENSIONS OF EACH UNIT

TOP OF ALL WINDOWS ARE TO BE SET AT 87 EXCEPT FRONT EASTERN WINDOWS ARE TO BE SET AT SAME AS FRONT DOOR

MAIN FLOOR OPENING SCHEDULE

NO.	TYPE	WIDTH	HEIGHT	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH
1	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
2	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
3	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
4	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS

MAIN FLOOR OPENING SCHEDULE

NO.	TYPE	WIDTH	HEIGHT	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH
1	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
2	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
3	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
4	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS

MAIN FLOOR OPENING SCHEDULE

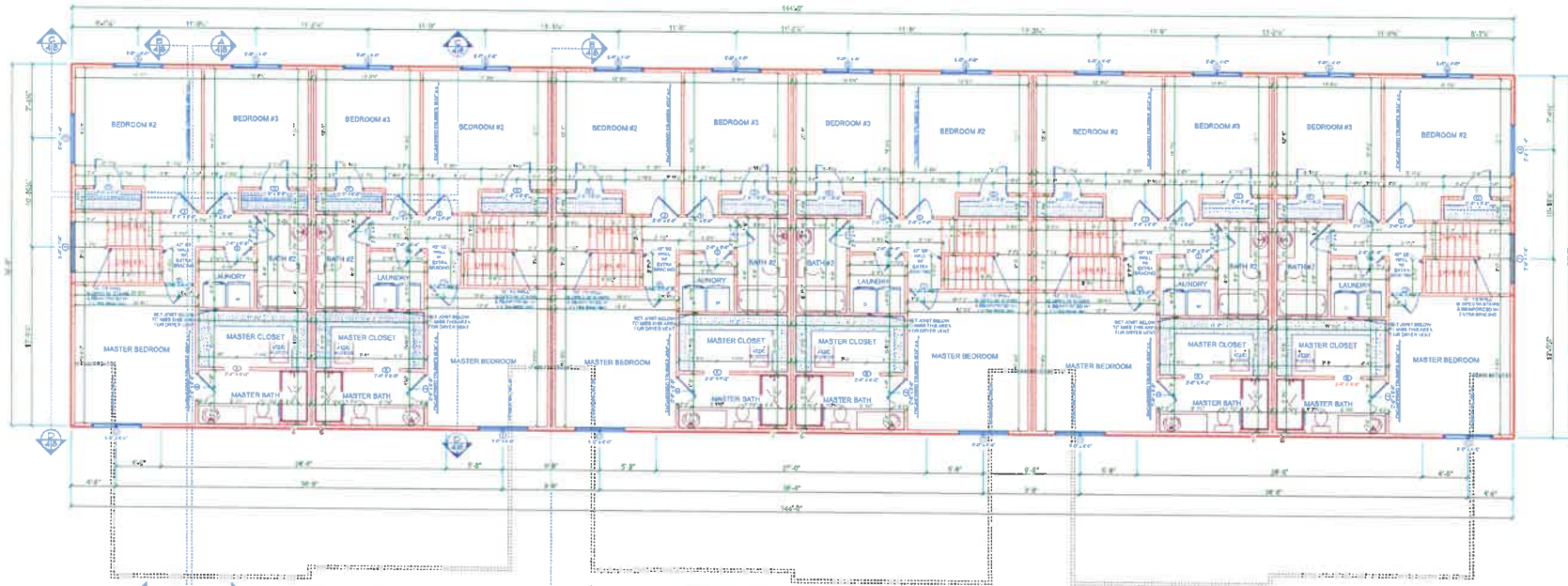
NO.	TYPE	WIDTH	HEIGHT	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH
1	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
2	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
3	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
4	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS

MAIN FLOOR OPENING SCHEDULE

NO.	TYPE	WIDTH	HEIGHT	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH
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2	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
3	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
4	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS

MAIN FLOOR OPENING SCHEDULE

NO.	TYPE	WIDTH	HEIGHT	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH
1	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
2	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
3	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS
4	WINDOW	2'-0"	4'-0"	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS	1/2" GLASS



UPPER FLOOR BUILDING
UPPER FLOOR UNIT 5194 SQ. FT.
885 SQ. FT.

ALL UNITS ARE NOT SYMMETRICAL -
CHECK DIMENSIONS OF EACH UNIT

TOP OF ALL UPPER LEVEL
WINDOWS ARE TO BE SET AT 4"

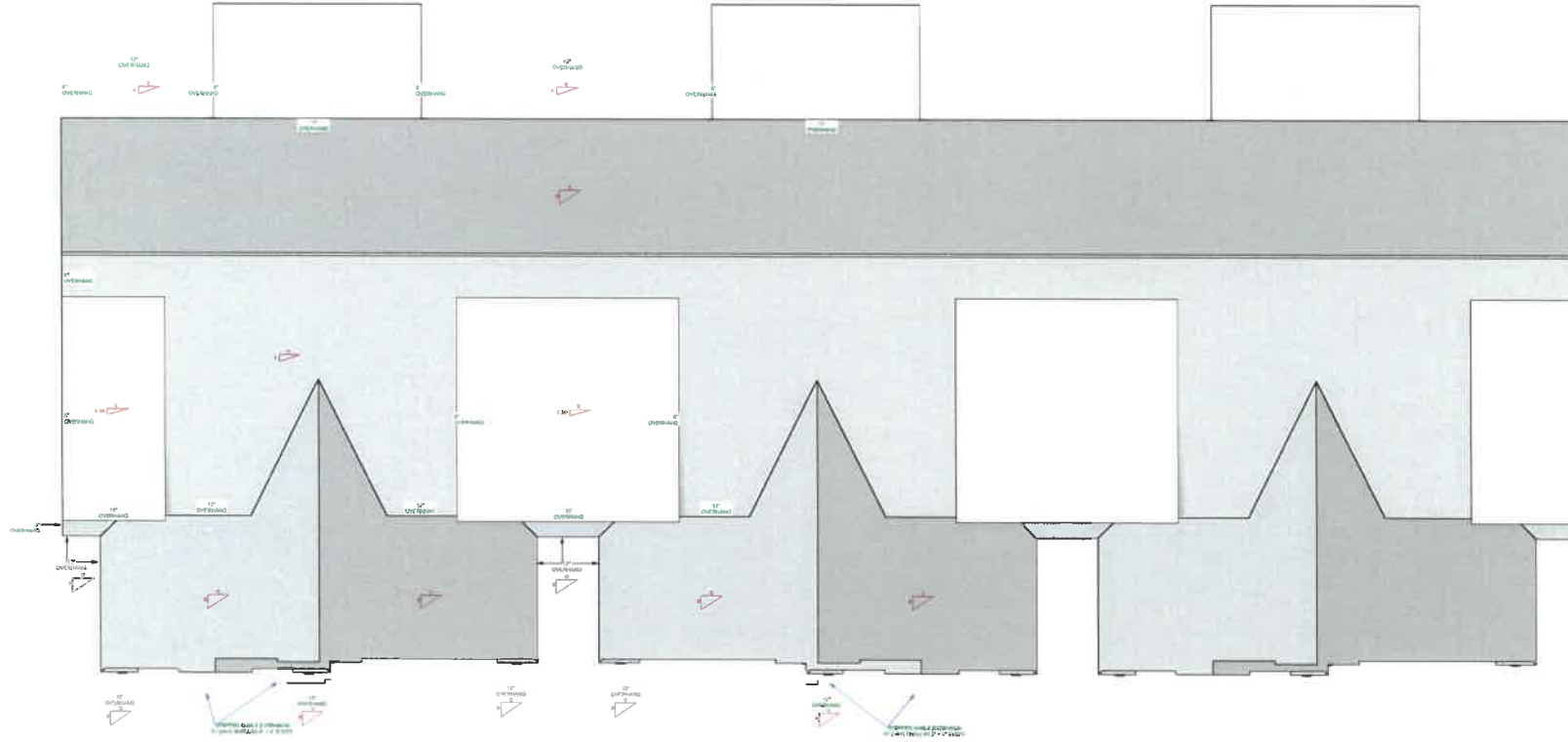
UPPER FLOOR 8'
SCALE: 3/16" = 1'-0"

NO.	TYPE	SYMBOL	HEIGHT	WIDTH	SPACING	REMARKS
1	UPPER FLOOR WINDOW	[Symbol]	4'-0"	2'-0"	12'-0"	1/2" GLASS
2	UPPER FLOOR WINDOW	[Symbol]	4'-0"	2'-0"	12'-0"	1/2" GLASS

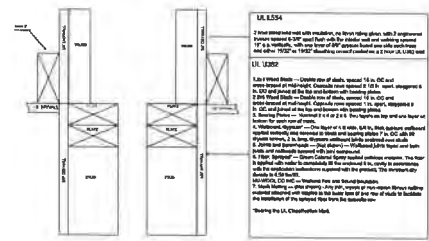
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3	UPPER FLOOR WINDOW	[Symbol]	4'-0"	2'-0"	12'-0"	1/2" GLASS
4	UPPER FLOOR WINDOW	[Symbol]	4'-0"	2'-0"	12'-0"	1/2" GLASS

NO.	TYPE	SYMBOL	HEIGHT	WIDTH	SPACING	REMARKS
5	UPPER FLOOR WINDOW	[Symbol]	4'-0"	2'-0"	12'-0"	1/2" GLASS
6	UPPER FLOOR WINDOW	[Symbol]	4'-0"	2'-0"	12'-0"	1/2" GLASS

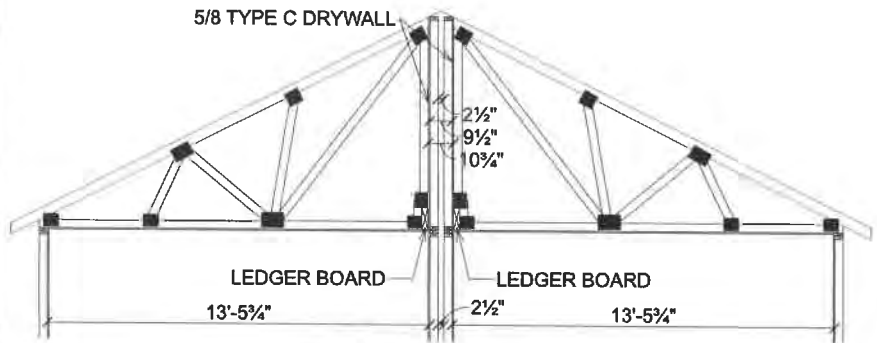
NO.	TYPE	SYMBOL	HEIGHT	WIDTH	SPACING	REMARKS
7	UPPER FLOOR WINDOW	[Symbol]	4'-0"	2'-0"	12'-0"	1/2" GLASS
8	UPPER FLOOR WINDOW	[Symbol]	4'-0"	2'-0"	12'-0"	1/2" GLASS



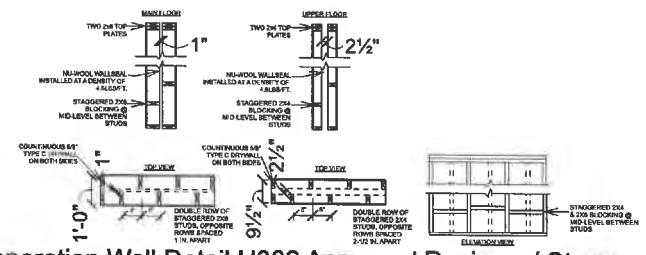
ROOF
SCALE: 3/16" = 1'-0"



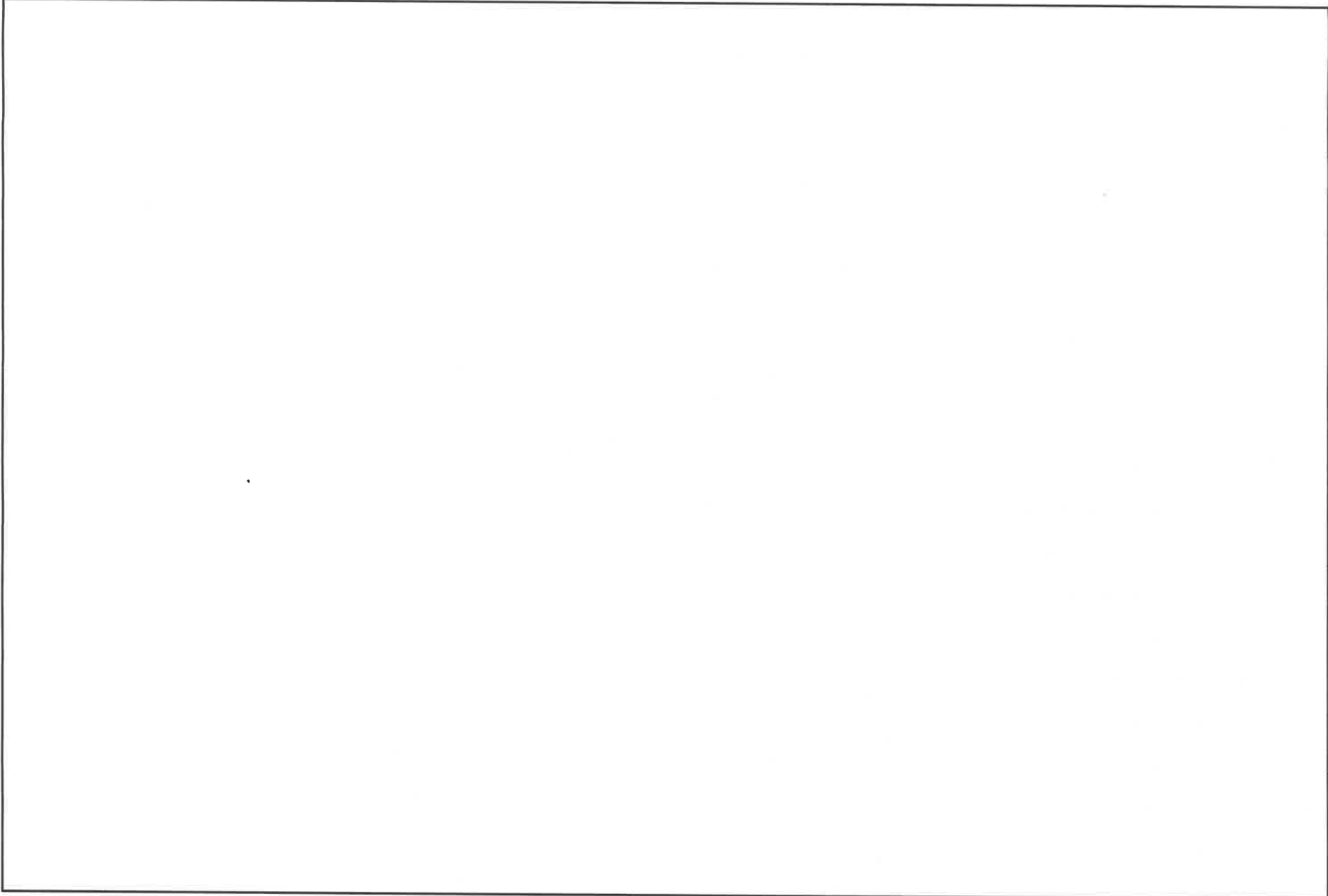
Detail 3
2 Hr. Separation Wall/
Truss Assembly



Garage Shared Wall Detail



Separation Wall Detail U382 Approved Design w/ Staggered Stud Construction



WOODS BUILDERS HOMES
2620 Hickory Dr SE Suite 105
Grand Rapids, Michigan 49548
PHONE: 616-972-3468

SCALE: 1/8" = 1'-0"
DRAWN BY: Woods Builders
DATE: Tuesday, December 21, 2021



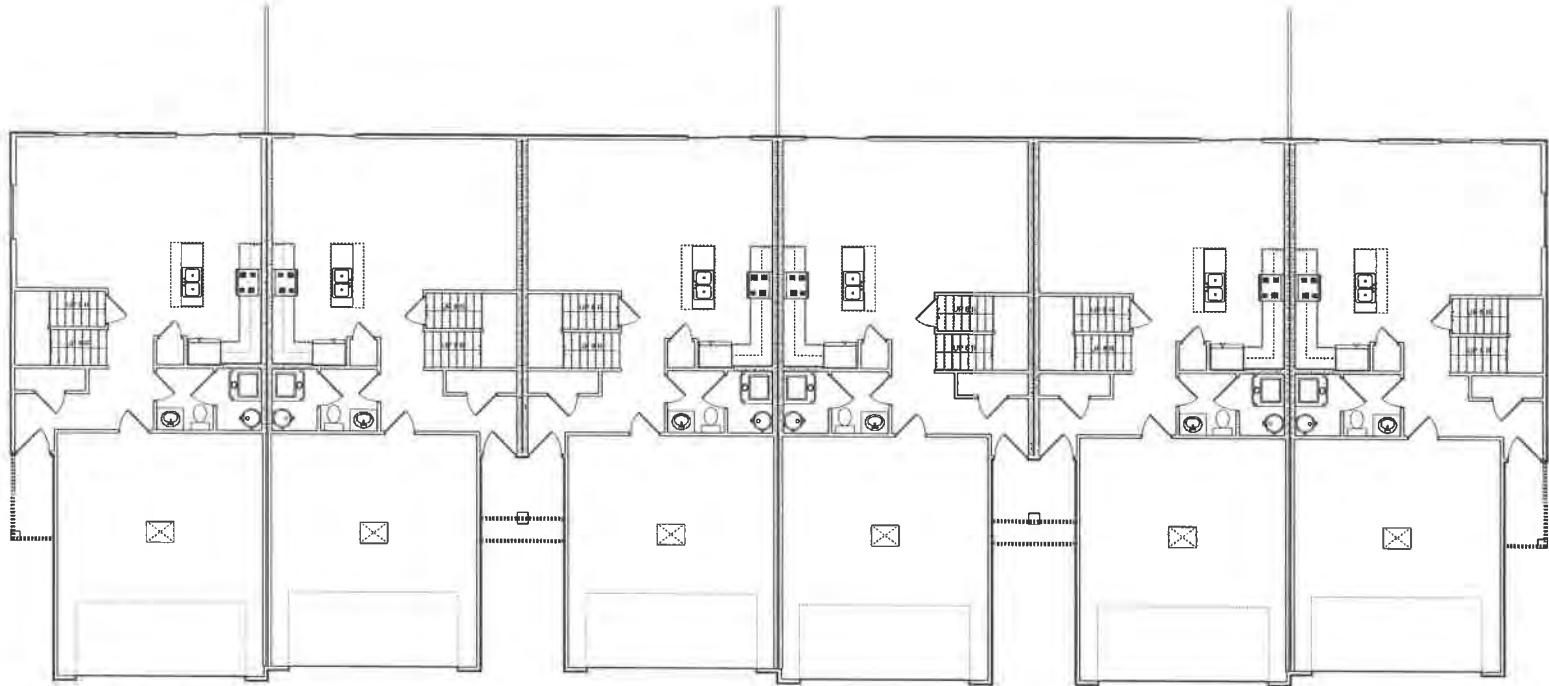
SECTION
LETTER

PAGE #

PAGE
NUMBERS

NONCOMB. DETAILS

9



MAIN FLOOR - ELECTRICAL

SCALE: 3/16" = 1'-0"



WOODS BUILDERS HOMES
 2620 Horizon Dr. SE, Suite 125
 Grand Rapids, Michigan 49546
 PHONE: 616-772-3468

SCALE: 3/16" = 1'-0"
 DRAWN BY: Woods Builders
 DATE: Tuesday, December 21, 2021



PAGE #

SECTION
LETTER
A
T
WOODS BUILDERS

10
MAIN FLOOR ELECTRICAL

PUD Ordinance - Thornapple Manor #2 of 1998

CASCADE CHARTER TOWNSHIP

Ordinance #2 of 1998

AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE AND ZONING MAP TO ESTABLISH THORNAPPLE MANOR ADULT ASSISTED LIVING FACILITY PLANNED UNIT DEVELOPMENT

Cascade Charter Township Ordains:

Section I. An Amendment to The Cascade Charter Township Zoning Ordinance

The application received from Ivan Marsman (DBA Thornapple Land Company) or its assigns (hereinafter referred to as the "Developer"), for Planned Unit Development designation for the proposed adult assisted living facility project (hereinafter referred to as the "Project") was recommended by the Cascade Charter Township Planning Commission for approval on January 20, 1998. The Project is recommended for rezoning from B2, General Business and O, Office to PUD, Planned Unit Development permitting an adult assisted living facility campus. This action requires an amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission's recommendation and the Cascade Charter Township Board of Trustees' action on February 25, 1998 thereby creating the Thornapple Manor Adult Assisted Living Facility Planned Unit Development Ordinance (hereinafter referred to as the "Ordinance").

Section II. Legal Description

The legal description of the Project is as follows: That part of the SW 1/4 of Section 8, T6N, R10W, Cascade Township, Kent County, Michigan, described as: Commencing at the South 1/4 corner of said Section; thence N 0 degrees 43' 11" West 500 feet along the West line of said SE 1/4 to the PLACE OF BEGINNING; thence North 0 degrees 43' 11" West 826.08 feet along said West line; thence south 89 degrees 34' 26" East 776.0 feet along the North line of said SW 1/4; thence South 0 degrees 40' 18" East 70.0 feet; thence South 58 degrees 25' 44" East 637.94 feet; thence South 0 degrees 37' 25" East 163.46 feet along the East line of said SW 1/4, SE 1/4; thence North 89 degrees 33' 15" West 438.77 feet; thence South 0 degrees 38' 51" East 232.94 feet; thence North 89 degrees 32' 03" West 330.00 feet; South 0 degrees 43' 11" East 141.99 feet; thence North 89 degrees 32' 03" West 273.00 feet to the Point of Beginning.

Section III. General Provisions

The following provisions shall hereby apply to the Project, in addition to those Provisions outlined in Chapter 16 of the Cascade Charter Township Zoning Ordinance (Ordinance No. 11 of 1988, as amended).

Section IV. Purpose

The Project occupies approximately 18.12 acres of land that is vacant. The Project is proposed to be developed into an adult assisted living facility, including buildings, parking and associated uses necessary to create an adult assisted living facility campus. The Planned Unit Development rezoning technique has been chosen by the Developer to provide flexibility in the associated uses, design of the facility and control over the Project's aesthetics and appearance. This development technique provides the Developer with the ability to develop the Project in a manner to meet market expectations where more traditional mechanisms may not.

The regulations contained herein are established to define the procedures necessary to insure high quality development in the Project. Additionally, they are designed to achieve integration of this development with adjacent land uses.

Section V. Approval Limitations

The provisions of the Ordinance are not intended as a substitute for the Cascade Charter Township Zoning Ordinance and General Development Plan, nor do they in any way relieve the Developer from obtaining all approvals and permits required by the Township, except as otherwise expressly provided herein. In the event that a development issue or site plan element is not addressed by this Ordinance, the specifications and requirements of the Cascade Charter Township Zoning Ordinance or any other Ordinance shall be enforced.

Except as otherwise provided herein, the Developer and his assigns must meet all applicable provisions and regulations of Cascade Charter Township, as well as federal and state law, and must obtain all necessary approvals from state and county governmental agencies that are required for operation or use.

This PUD approval is expressly contingent upon all conditions of approval herein remaining fully effective and valid. If any condition imposed herein is determined to be illegal or contrary to a law as a result of a successful legal challenge by the Developer or its assigns, or any other party, the Township reserves the right to review the entire Project under the PUD provisions of the Cascade Charter Township Zoning Ordinance, and further, to withdraw its approval of this PUD if it finds that, absent the effect of any condition imposed herein, the PUD no longer meets the standards for PUD approval contained in the Zoning Ordinance.

All conditions contained herein shall be binding upon the Developer, as well as its successors, tenants and assigns. The conditions may be modified or amended only pursuant to a formal amendment of the PUD approval and ordinance amendment.

This approval document shall be recorded with the Kent County Register of Deeds by the Developer prior to construction occurring on site and shall run with and bind the lands involved. Copies of this recorded document shall be supplied by the Developer to the Cascade Charter Township Clerk.

Failure to comply with the site plans or any condition of approval herein shall be deemed to be both a nuisance per se and a violation of the Cascade Charter Township Zoning Ordinance.

Prior to recording a copy of this document as specified in Section V(E) hereof, the Developer shall type the following statement onto the end of this document (or add an additional page to the document) as follows:

1. I, Ivan Marsman, (d/b/a Thornapple Land Company) have fully read the above PUD Ordinance amendment, understand its provisions and fully agree with all requirements and conditions contained in the same, on behalf of myself and my assigns, successors and

transferees in and to the property involved.

Wherever this document calls for the granting or recording of an easement or right-of-way for access or utility purposes, the Developer shall submit the same to the Township for its prior review and approval, which approval shall not be unreasonably withheld.

Section VI. Permitted Uses

The permitted uses for the Thornapple Manor PUD are as follows:

Adult assisted living buildings, as the market warrants, not to exceed 28,933 square feet in area each and in compliance with the setback requirements as set forth in this Ordinance.

Other buildings that are associated with and have a demonstrable relationship to the adult assisted living facility concept are allowed provided they comply with the setback requirements set forth in this Ordinance.

Section VII. Design Guidelines, Requirements and Limitations

The Project shall conform in as much as reasonably possible to the master development concept approved by the Township Board and signed by the Township Supervisor on February 25, 1998. The Developer may develop the Project in separate phases, and will be required to submit site plans for each phase, building or site improvement. The Planning Commission shall review and approve these plans prior to the construction of the intended phase to insure consistency with the master development concept.

All phases of the Project shall comply with the Permitted Uses listed in Section VI of this Ordinance. Site plan approval for each phase, building, or site improvement shall only be granted in accordance with this ordinance and Chapters 16 and 21 of the Zoning Ordinance, as may be amended.

Section VIII. Specific Development Regulations

The Project shall be developed in accordance with the site plans approved and signed by the township. The site plans shall indicate where each building will be located and provide appropriate measurements demonstrating compliance with this ordinance. Engineering plans and documents relating to utilities, topography, drainage and the survey of the Project shall be reviewed and approved by the Township Engineer. Approval of these documents shall be based upon their meeting recognized, acceptable engineering standards and practices. No alterations, expansions, or additions may take place to the Project without an amendment to this Ordinance, unless authorized otherwise herein.

Phase One

Two (2) buildings will be constructed for phase one. Neither building may exceed an area of 28,933 square feet.

Future Phases

As the market warrants, the Developer is entitled to seek site plan approval for additional buildings to increase the space available for adult assisted living and/or to further develop the adult assisted living campus.

Other uses, either within the existing buildings or new buildings, may be permitted if determined to be part of the adult assisted living concept and upon receiving site plan approval from the Planning Commission.

All Phases

Maximum building height – no building in the Project shall exceed a height of 25 feet as determined by the Zoning Ordinance.

Setback requirements – no building or parking area shall extend closer than 40 feet to the Project's northern property line, a common property line with the Caravelle Village neighborhood. Setbacks from the property line along the detention basin shall not be less than 15 feet. The setback from every other property line for parking, access drives or buildings shall not be less than 25 feet.

Parking – parking for the various buildings within the Project shall be required as set forth in the standards published by the Institute of Transportation Engineers' report, titled Parking Generation, as may be updated.

Lighting – site lighting shall be consistent with Chapter 19 of the Zoning Ordinance. Light fixtures shall not be more than 15 feet above the ground and shall be designed so as not to emit light from the Project onto adjacent residential properties or upward. The level of illumination shall be between 0.5 foot candles and five (5) foot candles, with one (1) foot candle be the desired level of illumination.

Landscaping – landscaping shall be provided within the phases consistent with the approved landscape plans for each building as the individual site plans are considered for approval. As deemed necessary for aesthetic purposes, additional landscaping may be required by the Planning Commission at the time of site plan review. A 20 foot wide bufferyard shall be installed along the Project's northern property line with evergreens being the preferred planting. The existing tee line along the northern property line shall not be disturbed.

Architecture – all buildings within the Project shall have a brick exterior and be constructed with an actual sloped or pitched roof on all sides of the building. Canopies on the proposed buildings shall not be lower than 12 feet in height at the lowest projection.

Dumpsters and Loading Docks – dumpsters and loading docks shall be screened with landscaping and/or a privacy fence so as to not be visible from adjacent properties.

Signs – the Project shall be permitted one (1) freestanding sign. The freestanding sign shall be a ground mounted development identification sign and shall not exceed 50 square feet in sign area and a height of five (5) feet. The sign is subject further to the provisions of the Cascade Charter Township Sign Ordinance (Ordinance #14 of 1997), as it may be amended. Directional signs of up to two square feet in sign area will be permitted.

Construction time limits – no building may be under construction for a period of time exceeding seven (7) months which will begin upon issuance of a building permit.

Fencing – if the Project is required to be fenced by the State of Michigan, the Developer shall place a gate along the fence to allow neighboring property owners walking access to the Project site.

Section IX. Private Street Development and Emergency Vehicle Secondary Access Easement

A. Before any construction commences on the Project, the Developer shall provide the Township with copies of the recorded Charlevoix Court access easement from the Wal-Mart site and the recorded emergency vehicle secondary access easement from the commercial development south of the Project.

B. The secondary access for emergency vehicles shall be paved and it shall also be the responsibility of the Developer and its successors or the individual property owners to fully maintain and keep the easement in good repair at all times and to ensure that snow and ice are removed in a timely fashion during the winter.

C. The Developer shall submit a construction, maintenance and pavement plan consistent with Section 16.11(4)(f) of the Zoning Ordinance for Charlevoix Court.

1. The road shall not exceed an eight (8) percent grade. All grades within the Project shall be sufficient to allow safe ingress/egress of emergency vehicles.

D. In accordance with Section G of the "Cascade Charter Township Engineering Design requirements and Standards for Private Streets", the Developer of the Project shall provide a disclosure statement on all property deeds to all owners of the private street, all those who utilize the private street and all persons securing a building permit to construct a building or structure served by the private street, stating that all such persons shall use the private street at their own risk and the Township shall not be responsible for any aspect of the private street.

E. In accordance with Section I of the "Cascade Charter Township Engineering Design Requirements and Standards for Private Streets", it shall also be the responsibility of the Developer and its successors or the individual property owners to fully maintain and keep the private street in good repair at all times and to ensure that snow and ice are removed in a timely fashion during the winter.

F. No combustible materials may be erected on the Project until a temporary access road is constructed to within 100 feet of the furthest point of a structure. Such road shall be a minimum 18 feet wide and be able to support 20 tons on a single axle with dual wheels and standard road tires.

Section X. Temporary Buildings

No structure of a temporary nature, trailer, tent or construction shack shall be constructed, placed or maintained within the Project except accessory to and during construction of building expansions or infrastructure improvements.

Section XI. Utilities

A. Municipal Sewer and Water Service – All buildings within the Project shall be served by municipal sewer and water prior to occupancy at the Developer's expense. No building permits will be issued for any construction within the Project until final approval of the public utility system is approved by the City of Grand Rapids and Cascade Township.

B. Stormwater Drainage – All proposed stormwater drainage facilities shall be reviewed and approved by the Township Engineer and the Kent County Drain Commissioner's Office prior to development of the Project. The Developer shall provide the Township Planning Department with copies of all correspondence and permits received from the Kent County Drain Commissioner and Michigan Department of Natural Resources or Department of Environmental Quality regarding stormwater disposal.

C. The Developer shall provide all necessary easements within the Project for telephone, electricity, gas and cable television to the appropriate utility provider without cost. Said easements shall be recorded with the Kent County Register of Deeds and provided to each utility provider for their records.

Section XII. Soil Erosion Control Requirements

Prior to each phase of construction, the Developer shall submit a soil erosion control plan showing all temporary and permanent soil erosion control measures to be taken before, during and after construction of each new building or building expansion within the Project. These plans shall be reviewed and approved by the Township Engineer prior to commencing any earth moving activities on the site for the proposed building or addition.

A soil erosion control permit must be obtained for each new building as a building permit is sought. A site plan indicating control measures to be put in place before and during construction and until the building site is stabilized with landscaping or other measures shall be submitted with the building permit application.

Section XIII. Performance Guarantee

To insure compliance with this Ordinance and any conditions herein, Cascade Township may require reasonable performance guarantees, as authorized under the Township Rural Zoning Enabling Act to insure completion of improvements such as, but not limited to, drainage, lighting, roads and utilities. The Township Board, Engineer or Planning Department may require such guarantee at any time they deem necessary to insure completion of the improvements.

Section XIV. Reimbursement of Review Fees

The Developer shall reimburse the Township for all fees associated with the review of the Project. These fees may include, but are not limited to, legal, engineering, publishing, and planning review fees.

Section XV. Consistency with Planned Unit Development (PUD) Standards

The rezoning to Planned Unit Development will result in a recognizable benefit to the ultimate users of the Project and to the community. Current and future residents will recognize the benefits of an adult assisted living facility within the community.

In relation to the underlying zoning (B2, General Business and O, Office), the Township finds the Project will not result in a material increase in the need for public services, facilities and utilities and will not place a material burden upon the subject property and the surrounding properties. The Project will be served by municipal water and sewer. The Project is not anticipated to cause undo impact to the stormwater drainage of the surrounding area. All stormwater plans have been approved by the Township Engineer and the appropriate County and State agencies.

The Project has been determined by the Township to be compatible with the General Development plan of the Township and with the spirit and intent of the Planned Unit Development Chapter of the Zoning Ordinance.

The Township finds the Project to have at least as much green and usable open space as would be required by the Township Zoning Ordinance.

Finally, the Township recognizes the Project will be under single ownership or control. The Township recognizes that the Developer or its assigns will retain ownership and control of the Premises until a majority of the adult assisted living campus is developed.

Section XVI. Effective Date

This Ordinance shall become effective seven days after the publication of the Ordinance, or a summary thereof, in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

The foregoing Ordinance was offered by Board Member Kleinheksel, supported by Board Member Johnson. The roll call vote being as follows:

YEAS: Carpenter, Goodyke, Johnson, Julien, Kleinheksel

NAYS: None

ABSTAIN: None

ABSENT: Timmons, Van Strien

Marlene K. Kleinheksel

Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 25th day of February, 1998.

Marlene K. Kleinheksel

Cascade Charter Township Clerk

PUD Ordinance - Thornapple Manor #15 of 2002

CASCADE CHARTER TOWNSHIP

Ordinance #15 of 2002

AN ORDINANCE TO AMEND ORDINANCE #2 OF 1998, **THE THORNAPPLE MANOR ADULT ASSISTED LIVING FACILITY** PLANNED UNIT DEVELOPMENT PROJECT

CASCADE CHARTER TOWNSHIP ORDAINS:

Section 1. Amendments to the Thornapple Manor PUD Ordinance

Section VI of the Ordinance shall be amended in its entirety to read as follows:

The permitted uses in Area 1 of the PUD, generally described as the area North of Charlevoix Ct. shall be as follows:

Adult assisted living buildings, as the market warrants, not to exceed 28,933 square feet in area each in compliance with the setback requirements as set forth in the PUD Ordinance.

Other buildings that are associated with and have a demonstrable relationship to the adult assisted living facility concept provided they comply with the setback requirements as set forth in the PUD Ordinance.

The permitted uses in Area 2 of the PUD, generally described as the area south of Charlevoix Ct. shall be as follows:

The uses allowed in Area 1 of the PUD

Office uses as allowed in the Office "O" zoning district per the current Zoning Ordinance.

Section VIII of the Ordinance shall be amended to **delete the Phase One and Future Phases** paragraphs and replace it with the following:

Area 1 (see map attached to original PUD Ordinance)

The developer is required to construct at least Two (2) Assisted living buildings. Neither building may exceed 28,933 square feet.

Area 2 (see map attached to original PUD Ordinance)

The developer shall be permitted to seek site plan approval for additional buildings to increase the space available for adult assisted living, or any other general office use allowed by the Township Zoning Ordinance.

Section 2. Effective Date

This PUD Ordinance amendment shall become effective upon publication in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

Section 3. Effect

The Cascade Charter Township Zoning Ordinance, as amended, and the remainder of Ordinance #2 of 1998, except as otherwise expressly amended herein, shall remain in full force and effect.

The foregoing Ordinance amendment was offered by Board Member Goodyke, supported by Board Member Jones. The roll call vote being as follows:

YEAS: Goodyke, Carpenter, Julien, Parrish, Jones

NAYS: None

ABSENT: Kleinheksel, Timmons

Jeanie Neve

Cascade Charter Township Deputy Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a regular meeting of the Cascade Charter Township Board on the 9th day of October 2002.

Jeanie Neve

Cascade Charter Township Deputy Clerk

PUD Ordinance - Thornapple Manor #2 of 2004

CASCADE CHARTER TOWNSHIP

Ordinance #2 of 2004

AN ORDINANCE TO AMEND ORDINANCE #2 OF 1998, THE Thornapple Manor PLANNED UNIT DEVELOPMENT PROJECT

CASCADE CHARTER TOWNSHIP ORDAINS:

Section 1. Amendment to the Thornapple Manor PUD Ordinance

The following described property shall be deleted from the Thornapple Manor Planned Unit Development.

Part of the SE 1/4 of Section 8, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan described as: COMMENCING at the S 1/4 corner of said Section 8; thence N 00°43'11" W, 500.00 feet along the North and South 1/4 line to the POINT OF BEGINNING of this description; thence continuing N 00°43'11" W, 206.63 feet along the North and South 1/4 line to the South line of Charlevoix Woods Court (66 wide private); thence 139.06 feet on a 233.00 foot radius curve to left, the long chord which bears N 64°24'45" E, 137.00 feet along said South line of Charlevoix Woods Court; thence continuing along said South line of Charlevoix Woods Court N 47°18'57" E, 196.63 feet; thence 28.52 feet on a 167.00 foot radius curve to the right, the long chord bears N 52°12'31" E, 28.48 feet; thence S 00°29'57" W, 418.87 feet; thence N 89°32'03" W 284.38 feet to the POINT OF BEGINNING. This parcel contains 1.95 acres more or less. Subject to easements, restrictions and rights-of-way of record.

Section 2. Effective Date

This PUD Ordinance amendment shall become effective upon publication in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township.

Section 3. Effect

The Cascade Charter Township Zoning Ordinance, as amended, and the remainder of Ordinance #2 of 1998, except as otherwise expressly amended herein, shall remain in full force and effect.

The foregoing Ordinance amendment was offered by Board Member Timmons, supported by Board Member Parrish. The roll call vote being as follows:

YEAS: Carpenter, Googyke, Julien, Kleinheksel, Parrish, Timmons

NAYS: None

ABSENT: Jones

ORDINANCE DECLARED ADOPTED.

Marlene Kleinheksel
Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a regular meeting of the Cascade Charter Township Board on the 14th day of January, 2004.

Marlene Kleinheksel
Cascade Charter Township Clerk

MEMORANDUM

To: Cascade Charter Township Planning Commission
From: Brian Hilbrands, Planning Director
Subject: Worm Farm/Composting Use
Meeting Date: April 18, 2022

Staff have been directed to review worm farm/composting as a land use activity to determine where it would be most appropriately located within the Township, and if any special use regulations should apply. As a reminder, the Township had received a complaint in December of 2021 regarding a worm farm/composting operation (Wormies, LLC) located in the agricultural (ARC) zoning district at 5745 Whitneyville. After previous discussion with the Township Attorney and the Planning Commission, it was determined that a worm farm/composting operation is not a use permitted by right in the ARC zoning district, and that the use should be reviewed further to determine where it might be appropriately located.

The direction provided during initial discussion involved viewing the use as being permitted as a special use in either the industrial (I) or ARC zoning districts. The most similar uses that are currently permitted by the zoning ordinance would be "A" Grouping Basic Manufacturing of Agricultural Products and Food and Kindred Products which is permitted by-right in the Industrial district, and Nurseries and Greenhouses which are permitted as a special use in the ARC and Farmland Preservation (FP) districts. These sections of the zoning ordinance are included in the following pages in the meeting packet.

I think that is also important to note that the Township Board held a separate discussion with the Township Attorney regarding this issue, and the direction from the Board was that they believe this use would be most appropriately located within the Industrial zoning district.

Staff have reached out to planning and zoning staff from all neighboring municipalities to determine if they have any formal regulations regarding a worm farm/composting use. I also reached out to Georgetown Township, where Wormies was previously located. Only one municipality had formal regulations regarding composting, while some other staff members provided their opinion on where the use would potentially be allowed in their municipality. Those responses are included in the following table:

Municipality	Formal Regulations	Staff Comments
Lowell Township	No	No regulations dealing with this type of business.
Vergennes Township	No	Might be allowed as specialized farming operation, which requires a special use permit.

Georgetown Township	No	Would treat it as a permitted use under the agricultural zoning district's chapter with no additional standards.
Bowne Township	Yes	Commercial composting operations are permitted as a special use in the AG district only and require at least 40 acres.
Grand Rapids Township	No	Believe that it would be allowed in Suburban Residential and Single-Family Residential Districts as "Farms and Farm Operations". Requires at least 10 acres and would be regulated by Right to Farm Act.
Caledonia Township	No	If it follows GAAMPS/Right to Farm Act it would be permitted as an agricultural use by right.
Ada Township	No	No language in zoning ordinance that references this type of use.
Gaines Township	No	Would most likely be allowed in Agricultural/Agri-business district as a permitted use, and allowed in Agricultural/Residential district as a special use.
Kentwood	No	Would most likely fall under the industrial zoning district, possibly as a recycling center which would be a special land use.

To summarize the responses, one municipality (Bowne Township) formally regulates commercial composting as a special use in the Ag district, three municipalities might allow it as a by-right use in Ag districts, two might allow it as a special use in Ag districts, and one might allow it as a special use in the industrial zoning district. The Bowne Township special use requirements are included in the meeting packet.

Wormies, LLC has recently provided a Project Proposal for their proposed operation at 5745 Whitneyville. This is included in your packet. The project proposal describes the operation as a "Medium Composting Facility" and states that it will meet all state regulations and requirements.

The next step would be for staff to work with the Township Attorney to draft a proposed amendment to the zoning ordinance to allow for commercial composting as an allowed use somewhere in the Township. At this time, staff are looking for direction from the Planning

3. Maintains the property consistent with the visible characteristics of the neighborhood.
4. Does not exceed 16 hours of operation during a 24-hour period. The operation of a facility between the hours of 10 p.m. and 6 a.m. must be limited to 2 individuals receiving care and be registered with the Township for that purpose.
5. Meets regulations, if any, governing signs used by the facility to identify themselves.
6. Meets regulations, if any, requiring off-street parking accommodations for employees.
7. The child care center shall be registered and licensed as required for child care facility under the Child Care Organizations Act, Act 116 of 1973, as amended.
8. All structures, facilities, design elements, and operational requirements of the facility shall be provided or complied with, as determined necessary by the Planning Commission.
9. Based on the established capacity of the facility, a minimum of 100 square feet of outdoor open space per person, with not less than 5,000 square feet of open space area per facility, shall be provided and maintained on the lot. For purposes of this section, "open space area" means the area located within the side or rear yard of the facility, exclusive of any area occupied by other structures, swimming pool, or required parking facilities. The open space area shall be free from sharp gravel, glass, or cinder and shall be well drained. The open space area shall be completely enclosed by a chain-link or solid fence of at least 4 feet in height and shall be screened from any abutting residential use by vegetation having a height, when planted, of at least 5 feet.

F. Compost Facilities

A commercial compost operation is prohibited within the Township, except as a Special Land Use within agricultural districts, under the terms and conditions set forth within this section. Compost facilities may be permitted, provided the Planning Commission finds that the following conditions are met:

1. The site must be a minimum of 40 acres in size.
2. All active resource recovery processing operations shall be visually screened from all adjacent parcels. The screen shall consist of berming and/or vegetation buffer located within a 500-foot setback.
3. Structures shall be permanent and for the storage of equipment only. Furthermore, all equipment associated with this use shall be stored within these structures when not in use.
4. Access roads to the site shall be sufficiently engineered to accommodate heavy truck loading and unloading during peak operation periods. This shall include the grading application of base material and graveling or blacktopping of the road. The access road shall be of sufficient length and width to prevent any trucks from backing up or turning around within the public road right-of-way.

5. All lighting used to illuminate the property and operation shall be directed away from all surrounding property.
6. In addition to the requirement set forth herein, applications for such Special Land Use authorization shall include a site plan showing the following:
 - a. The area to be actively used for the preprocessing, mixing, shredding, grinding, watering, and dewatering of the compost material; and, if the same shall be in phases, a design for such phases shall be shown.
 - b. The area for any loading and unloading, mechanical processing facilities, and settling ponds.
 - c. An area for treatment facilities and resource storage and stockpiles.
 - d. An area for overburdened storage.
 - e. An area for production facilities for resource recovery related activities.
 - f. Areas for and the types of permanent buildings and/or other improvements.
7. An opinion based on a qualified engineering report as to the effect on the water table and wells within the area and reasons for such opinions and/or mitigative measures shall be submitted.
8. A description of the operation, including a list of all of the temporary, permanent, stationary, and mobile equipment to be utilized shall be submitted and shall state the following:
 - a. The proposed vehicular access to the operation, circulation, and access routes within the site that include provisions for emergency vehicles to all portions of the site.
 - b. The amount and source of water to be utilized in processing and the means, location, treatment, and disposal of such water.
 - c. Hazardous substances as defined by the U.S. Environmental Protection Agency are prohibited. A detailed description of all materials to be processed must be submitted.
 - d. A detailed description showing the volumes, timing, and methods of processing the material.
9. All structures, materials, and equipment shall be removed within 6 months after the termination of the use.
10. The facilities comply with the Kent County Solid Waste Management Plan adopted pursuant to Act 141 of 1978, as amended, and with all other applicable federal and state laws, rules, and regulations.

G. Confined Animal Feeding Operation (CAFO)

1. The parcel must be a minimum of 40 acres in size.

CHAPTER 13

I Industrial District

Section 13.01 Title:

Use Regulations Relating to the "I" Industrial District

Section 13.02 Intent:

This zone is intended to permit industrial uses which are not unreasonably offensive, hazardous, or debilitating to surrounding property or the community through the effects of noise, smoke, odor, dust, dirt, noxious gases, vibration, glare, heat, fire hazards, industrial wastes, or traffic. In those instances where there may be doubt regarding the effect of the operation, the Planning Commission may require the prospective operator to demonstrate, through the use of qualified technical persons and acceptable testing techniques, that protective devices shall be utilized that will categorically assure the control of the questioned factor.

All outdoor storage facilities for fuel, raw materials, and products for every use, as enumerated and limited herein, located less than one hundred (100) feet from any other district, shall be enclosed by a solid fence or wall, not less than eight (8) feet in height.

Section 13.03 Uses Permitted by Right: Amended by Ord #5 of 2010; 3/10/10

Land and/or buildings in this district may be used for the following purposes:

1. "A" Grouping Basic Manufacturing: Manufacturing, compounding, processing and/or fabrication of the following materials provided that any structure used therefor shall not be located less than four hundred (400) feet from any residential district or use:
 - a. Agricultural products.
 - b. Food and kindred products.
 - c. Chemicals and chemical products such as plastics, synthetic fibers and cosmetics.
 - d. Wood and wood products, including sawmills and planing mills.
 - e. Metals and metal products, including metal plating.
 - f. Glass and glass products.
 - g. Paper and paper products.
 - h. Foundries and forge plants.
 - i. Insulation manufacture.
 - j. Rubber and rubber products.

2. "B" Groupings - Non-Basic Manufacturing: Facilities for manufacturing, processing fabrication, packaging treating or assembling from previously prepared materials provided that any structure used therefor shall be located not less than two hundred (200) feet from any residential district or use.
 - a. Automotive and aircraft parts (not including tires) and metal working.
 - b. Automotive assembly, including major repair.
 - c. Textile mill products such as woven fabric, knitted goods, floor coverings, yarn and thread.
 - d. Apparel and similar products made from fabrics, leather, fur, canvas and similar materials.
 - e. Prefabricated structural wood products, containers and lumber yards but excluding sawmills.
 - f. Furniture and fixtures.
 - g. Paper and paperboard containers and products.
 - h. Printing, publishing, and allied industries.
 - i. Chemical products such as plastics, synthetic fibers, and cosmetics.
 - j. Drugs and pharmaceutical products.
 - k. Electrical machinery, equipment, and supplies.
 - l. Fabricated metal products.
 - m. Glass products.
 - n. Tool and die shop and screw machine products.
 - o. Metal bending and welding.
 - p. Central dry cleaning or laundry.*
 - q. Building trades contractors.*
 - r. Research and development, and testing laboratories.*
 - s. Warehousing and general storage.*
 - t. Truck and trailer and heavy equipment sales, leasing and rental.*
 - u. Mini warehouses and self storage.*
 - v. Wholesale establishments.*
 - w. Retail sales where such use is clearly incidental to the primary use and where the area devoted to retail sales does not exceed fifteen (15) percent of the total floor area, and provided that the building used for such purpose is located a minimum of one hundred fifty (150) feet from a residential district or use.*



Definitions

General Provisions

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Special Uses

Planned Unit Development

Height, Area, & Placement

Parking & Access

Landscaping

Chapter 17

Special Uses

- 4) Proper measures shall be taken to minimize the nuisance of noise and flying dust or rock. Such measures may include, when considered necessary, limitations upon the practice of stockpiling material upon the site, watering and paving.
 - 5) When processing operations are completed, all structures shall be removed and the affected area shall be reconditioned to support complete re-vegetation. No gradients in disturbed earth shall be steeper than a slope of 3:1(horizontal-vertical). A layer of arable topsoil shall be spread over the affected area to a minimum depth of four (4) inches. The area shall be seeded with a perennial rye grass and maintained until the area is stabilized and approved by the Planning Director.
 - 6) In granting approval the Township Board may require the posting of a letter of credit or certified check to insure compliance with this section.
 - 7) Upon approval of the application and approval of any required surety, the Building Inspector shall issue any necessary building permits and a temporary occupancy permit for a one (1) year period.
 - 8) An occupancy permit may be renewed for up to one (1) year at a time or for the duration of an accepted surety whichever is less, upon a finding by the Township Board that all conditions and plans are being complied with and no nuisance has been created by prior operations. Where any new area is to be considered, or where any area not shown by the original site plan is to be included, the procedures for a new application shall be followed.
 - 9) The Building Inspector shall revoke an occupancy permit where operations do not conform to approved plans or special conditions. All operations shall cease fourteen (14) days following notification by the Building Inspector of such violations unless such conditions are corrected. Reinstatement of a revoked permit shall require a new application and approval therefore.
- i. **Truck freight terminals and yards, public utility and private contractor storage and service yards in association with special services requiring bases of operation and outdoor storage of equipment and material, excluding the major repair of equipment.**
 - 1) A minimum lot size of three (3) acres.
 - 2) The minimum setback for use and structures other than employee and customer parking shall be 100 feet from the street right-of-way and 50 feet from side or rear property line.
 - 3) A buffer strip shall be required along all property lines.
 - 4) Repair of vehicles shall be done within a totally enclosed building.
 - 5) The storage of vehicle parts or inoperable vehicles shall be done within an enclosed building.
 - 6) Except for visitor parking, operable vehicle parking and storage and all material storage shall be within a fenced area.
 - j. **Nurseries and greenhouses with associated limited retail and wholesale trade of nursery stock raised on the premises.**
 - 1) Minimum parcel size shall be 15 acres.
 - 2) All buildings shall be located a minimum of 100 feet from the front property line and 50 feet from any side and rear property lines.
 - 3) All machinery and equipment, except for motor vehicles and trailers used in the conduct of business, shall be stored within a completely enclosed building.
 - 4) Motor vehicles and trailers shall be stored indoors, out-of-view when not in use for longer than a two-week period.
 - 5) Motor vehicles, trailers, and stockpiled materials, such as topsoil, wood mulch, bark, stone, balled and burlapped plant materials and "heeled-in" plant materials, shall be stored a minimum of 100 feet from the front property line and 50 feet from any side or rear property line, in locations which minimize visual impacts of such materials on adjoining properties and adjoining public roads. Permanent landscaping shall be installed as needed to accomplish this objective.



Chapter 17 Special Uses

- 6) Retail and wholesale sales on the premises to the general public shall be limited to nursery and/or greenhouse stock raised on site.
 - 7) No freestanding light poles shall be erected or lights placed on buildings unless deemed necessary in the special use permit review process for safety reasons. Light poles shall not exceed 20 feet in height. Light shall be directed downward and shall not reflect off the premises.
 - 8) Activities on the premises shall be limited to those associated with running a nursery or greenhouse, unless prior special approval is granted by the township.
 - 9) The storage of any fertilizer, chemical or loosely packed material shall be maintained and contained so as to prevent adverse effects upon adjacent properties. (This subsection added by Ordinance #2 of 1997)
- k. Auto repair shops and garages and car washes.**
- 1) No subject facility existing on the effective date of this Ordinance shall be altered so as to provide a lesser degree of conformance with the provisions of this section than existed on said date.
 - 2) All repair lubrication and service work shall be done within an enclosed building.
 - 3) All storage and display of equipment, materials and merchandise, with the exception of fuel shall be within the building.
 - 4) All outside storage areas for trash, used tires, auto parts and similar items shall be enclosed by a six (6) foot high solid wall or fence.
 - 5) The storage of automobiles, trucks, or trailers for a period in excess of 72 hours or the sale or rental thereof is expressly prohibited without specific approval as part of the special use approval.
 - 6) Vacuuming activities shall not be located in the front yard and shall be at least 50 feet from any adjoining side or rear property line.
 - 7) No vehicle wash establishment shall permit patrons to extend lines of vehicles off the premises.
 - 8) All washing activities must be within a building.
- 9) No more than two (2) curb-cuts shall be constructed to provide ingress and egress. (This subsection amended by Ordinance #6 of 1993)
- l. New and used car sales and rentals.**
- 1) The display of new and used cars shall not be carried out within any required front yard greenstrip area.
 - 2) All outdoor vehicle display areas shall be of an improved paved surface.
 - 3) Vehicle display or storage shall not be carried out within areas required for visitor, employee or service parking.
 - 4) Vehicle service and repair shall be carried out in accordance with the provisions of Section 17.07(2k) above.
- m. Roadside stands as defined in Chapter 3.**
- 1) All structures and uses associated with the operation which are of a temporary nature shall be removed when the operation is not active.
 - 2) Adequate off-street parking maintained in a dust free condition shall be provided.
 - 3) The operation is located no less than one hundred (100) feet from any adjacent residential dwelling.
 - 4) The minimum setback for all uses and structures associated with the operation shall be in accordance with the minimum setbacks for residential buildings in the district.
 - 5) Signs shall be subject to the regulations relating to signs in the district as regulated by the Cascade Charter Township Sign Ordinance.
- n. Transitional Uses.**
- In addition to other permitted uses or special uses which may be provided for, the first ARC, R-1 or R-2 zoned lots or the first 100 feet of unplatted street frontage with a depth not to exceed 200 feet with a side yard adjoining a B-1, B-2, ES, O or I zone may be utilized for the following uses.
- 1) Two-family dwelling units.
 - 2) Offices, including administrative, architectural, engineering, accounting, law, medical, dental, real estate and other typical offices provided that there is no sale of



WORMIES, LLC

**PROJECT PROPOSAL FOR CASCADE TOWNSHIP
PLANNING COMMISSION**

April 18, 2022



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Introduction

Wormies is a regenerative agricultural business focusing on composting with worms. The worms are fed, in part, food scraps from local residents. The food waste is mixed with carbon sources and passes through stages of hot composting, vermicomposting with worms, and finally harvesting. The finished product is sold as worm castings or blended into craft soil mixes or liquid soil amendments.

Worm castings are highly valued by organic gardeners and farmers due to their beneficial microbiology that promotes plant growth and soil fertility. Worm poop is odorless and safe for pets, people and the environment. It is pH-neutral.

Wormies is a purpose-driven company that believes these services are essential in improving the health of our communities, including our living ecosystems. By managing valuable resources such as food waste, Wormies is able to cycle nutrients back into the soil to grow plants that are nutrient dense and healthier for consumers.

Wormies composting operation is not only a solution that helps neutralize the effect of carbon dioxide emissions from landfills, but it also removes carbon dioxide and methane emissions from landfills but also removes carbon dioxide from the atmosphere and sequesters it for longer periods of time. This is considered a carbon-negative business.

History, recognitions & awards

Luis Chen started Wormies in 2018 with the vision to create the healthiest soil while providing a better solution for waste management. Up until 2021, Wormies operations were located in Jenison, Georgetown Township at Trillium Haven farm, which is adjacent to a residential subdivision. For 4 years Wormies operated without causing any nuisance to the neighborhood and serving as an attraction and educational space for the residents. (Please see attached letters of reference from our Trillium neighbor and Georgetown Township.) In 2020 our landlord sold the property to the township and we continued to rent the space from Georgetown Township. We moved out of the property due to the township's decision to use the land for wetland conservation purposes.



Over the past 4.5 years Wormies has been recognized and awarded for the quality of the finished products, its composting service, and for the innovation of its business model.

- 2022 Nextcycle MI, MICROS Grant
- 2022 Nextcycle MI, Market Development Grant
- 2021 NextCycle MI FLOWS Awardee and Showcase Winner
- 2021 Nominated as a finalist for GRBJ Newsmaker of the Year Award in the category of Sustainability
- 2020 Start Garden 5x5 winner
- 2019 Start Garden 100 Ideas winner
- 2018 Partners Worldwide startup idea winner
- 2018 US Composting Council mentorship award with Rodale Institute

Site development at 5745 Whitneyville Ave SE, Alto MI (Cascade Township)

Wormies, following discussions with Township officials, purchased this 13 acre property to move its operation and to develop the infrastructure for it. To that end Wormies secured a grant from the state of Michigan for \$365,000.

It is important to note that Wormies is more than a conventional composting operation. Most of the space in the property will be regenerated with the goal of having natural ecosystems that increase the biodiversity in the property and benefit Wormies composting process and finished products.

Natural Ecosystem upgrades -Wormies plans to make the following changes to the property:

- Biodiversity pond with biofiltration
- 2 acres of pollinator habitats NRCS
- 1 acre total of trees will be added
- 4 acres for biodynamic accumulator crops
- 1/2 acre educational garden and orchard



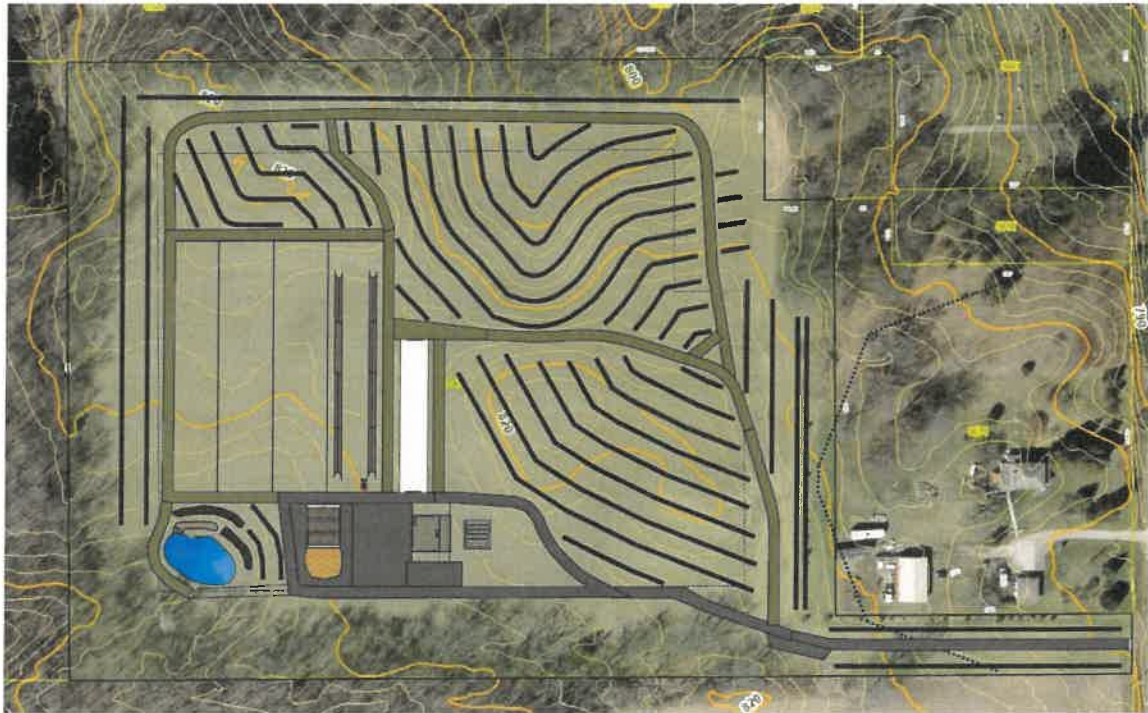
- 2 acre tree line to remain intact and managed

Infrastructure:

- 0.27 acre (12,000 sqf) driveway
- 0.23 acre (10,000 sqf) of hoophouses and barn
- 0.08 acre (3,600 sqf) feedstock pad bays
- 2 acre (87,000 sqf) for worm rows. That's only 1 acre of windrows with the space we leave in between.

16% of property space will be used for composting activities.

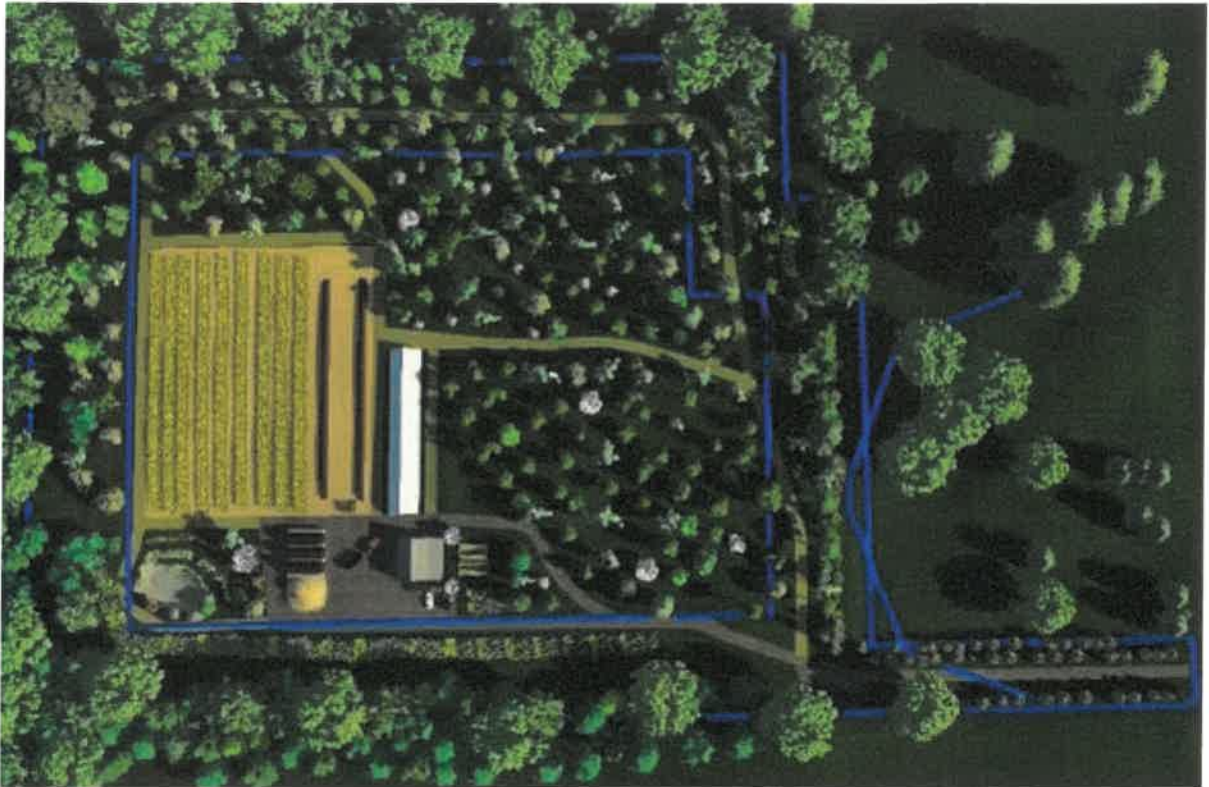
[Click here for aerial view rendering on youtube](#)



Legend

Compost Rows	Gravel Access	Pond	100' Property Buffer	
Contour Planting Pattern	Barn	Wetland Filter	200' Residence Buffer	
Grasses Access	Hoop House		Property Line	





Regulations and guidelines

This type of facility is regulated by both the Township and the Michigan Department of Environment, Great Lakes and Energy - Material Management Division (EGLE MMD) and also requires their approval. A package of legislation relating to composting has passed the Michigan House of Representatives and is awaiting action by the State Senate. Wormies plans to satisfy those requirements as well as the requirements in Michigan Administrative Code Rule R 299.4121, as applicable, EGLE guidance, and MCL 324.11521. Other State requirements for this type of facility include:

- Register with the EGLE MMD.
- Conduct compost under controlled conditions.
- No compost water discharges into groundwater or surface water.
- Don't create nuisance.
- Compost material application will be done at agronomic rates.
- Inventory controls to ensure material is not kept on site for longer than is appropriate.
- Report volumes on a yearly basis.
- Annual \$600 registration fee.

Further, Wormies plans to adhere to the requirements of MCL 324.11521, even if they do not apply to Wormies' operations including:

1. Operations will be at least the following distances from each of the following features:
 - (A) 50 feet from a property line.
 - (B) 200 feet from a residence.
 - (C) 100 feet from a body of surface water, including a lake, stream, or wetland.
 - (D) 2,000 feet from a type I or type IIA water supply well.
 - (E) 800 feet from a type IIB or type III water supply well.
 - (F) 500 feet from a church or other house of worship, hospital, nursing home, licensed day care center, or school, other than a home school.
 - (G) 4 feet above groundwater.
2. Finished compost with not more than 1%, by weight, of foreign matter that will remain on a 4 millimeter screen.
3. Prevents the pooling of water by maintaining proper slopes and grades.
4. Properly manages stormwater runoff.
5. Does not attract or harbor rodents or other vectors.
6. Maintains, and makes available to EGLE, all of the following records:
 - (A) Records identifying the volume of compostable material accepted and the volume of compostable material and of compost transferred off-site each month.



(B) Records demonstrating that the composting operation is being performed in a manner that prevents nuisances and minimizes anaerobic conditions, including, unless otherwise approved by EGLE, records of carbon-to-nitrogen ratios, the amount materials received in tons or cubic yards, temperature readings, moisture content readings, and lab analysis of finished products.

Wormies is currently seeking approval from Cascade Township to develop and operate a "Medium Composting Facility" as defined in the pending legislation. This will be accomplished by amending the Township's Zoning Ordinance to either: (1) provide that vermicompost operations fall within the definition of "agricultural;" (2) provide that properties zoned agricultural may operate a vermicompost operation with special use approval; or (3) rezone Wormies' property to some other newly created zone in which vermiculture is permitted.

Before Wormies will renew its operations, it will register with the State and seek approval of a petition to approve its operation as proposed as well. We understand that the Planning and Zoning process will take some time and that the EGLE process should be faster as EGLE is already familiar with Wormies' process and that is why we are starting with the Planning Commission first.

Michigan.gov released a "Composting Operation Training Guidebook".

https://www.michigan.gov/documents/deq/deq-oea-compostoperatorguidebook_488399_7.pdf

This is one of the resources Wormies has used through its years of operation. In this guidebook composting operations are classified by capacity and sizing into three categories and recommendations are given: low, medium and high intensities. 3,000 cy annual per acre of composting material for low intensity to 8,000 cy for high intensity.

EGLE has confirmed to us that this type of facility would be allowed to have up to 1,000 cy of food waste on site in its active composting phase, a period of 3-6 months.

Wormies' operation is below the low threshold for intensity at a maximum of 2,500 cy per year in a 13 acre property, thereby greatly diminishing the risk of nuisance.



Wormies composting site in comparison to conventional composting sites

Site biodiversity

Wormies composting operation incorporates permaculture principles to manage and regenerate the natural resources on the property. By increasing the biodiversity in the site Wormies provides a better habitat for its worms and increases the availability of beneficial organisms to work in the composting process. Through the NRCS programs WORMIES will be allocating 2 acres for pollinator habitats. Trees, shrubs and biodynamic accumulator crops will be grown on the property. This approach also helps to mitigate the risk of pests, smells and the pooling of water. Most commercial composting facilities use a bare plot and large acreage similar to a monoculture type of agriculture.

Yard clippings

Wormies does not offer composting of yard clippings. This makes the operation considerably smaller when compared to other facilities and also avoids the need for large equipment to manage the material. Also avoids traffic of vehicles onto the property.

Size of piles

Most composting facilities accumulate large amounts of feedstock in windrows over 6-8 ft tall to benefit from economies of scale. Wormies hot composting system and worm windrows have a maximum height of 4 ft. It makes it easier to manage with small equipment and mitigates the risk of anaerobic conditions that cause smells.

Wormies maximum processing capacity is targeted at 2,400 cy per year, a small amount easily manageable and with a low risk of nuisance given all the controls and protocols in place. To put it in perspective, neighboring farms in Cascade Township are allowed and do in fact have active compost piles of 5,000 cubic yards.

For your reference Country Oaks composting operation located at 3218 E Atherton Rd, Burton, MI 48529. Considered a high intensity operation, they compost 17,000 cubic yards of material per year. They have been operating for over 15 years in a residential subdivision with its closest residential neighbor less than 200 ft from their site. They use similar negative aeration technology to what Wormies uses for its active composting phase. They were recently featured in this [article](#). (See Appendix A)



Micro-hauling model

Wormies is the only company in Kent County offering a micro-hauling solution for residential collection of food waste for composting purposes. Wormies recommends that its sources provide food-preparation waste, not post consumption waste. Wormies requires that its larger sources (restaurants) provide only preparation, pre-consumption plant waste. Most composting facilities and haulers focus on hauling large quantities of material or yard waste due to their efficiencies of scale. Wormies focuses on micro-hauling of 5 gal sizes per residential customer while other composting facilities offer 30 gal or 65 gal carts per residence which can be too big for the needs of one household. On average each household produces 5 gal of food waste per week.

Vermicomposting

The utilization of worms in the composting process at Wormies is an extra step that most composting facilities do not have. Once the material is passed through the gut of the worm it's naturally neutralized and pelletized, becoming odorless and pH-neutral.

Wormies is not a monoculture of composting windrows



Wormies is not a dump site



Wormies is not a facility with large loud machinery

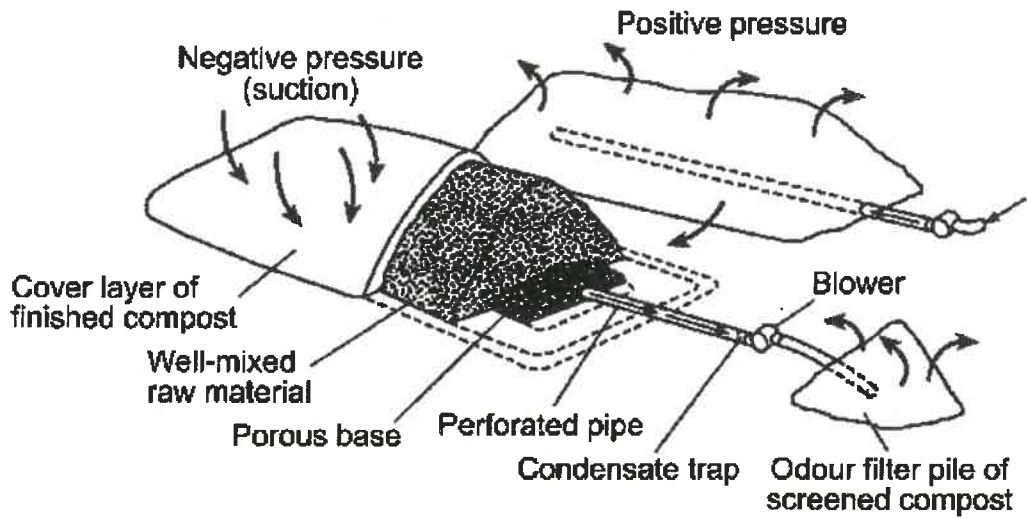


Wormies is not a facility with high volume tall windrows



Wormies composting system and technologies

1st. Thermophilic composting using ASP with negative aeration for at least 21 days.
Material is contained in enclosed bays.



2nd. Vermicomposting with worms in windrows for at least 8 months.



3. Screening and bagging equipment



Risk and Nuisance Controls

1. ASP Negative Aeration system sucks in the oxygen and any potential odors from the active piles and directs it through pipes into a carbon filter pool.
2. Active composting phase is at least 21 days. We do not turn the active piles until day 21 at least. Diminishing the risk of smells.
3. Piles are monitored daily for temperature, moisture content, particle size, oxygen content and diffusion. Ensuring aerobic conditions are present and decreasing the risk of smells.
4. Feedstock receipt protocol. On collection days we will receive between 1 to 10 cubic yards of food waste. A very small amount that allows us to manage and mix our recipe with carbon particles quickly in under 20 minutes. We do not accept or process feedstock that are already putrid or with an unmanageable foul smell. And we are able to enforce this protocol through our micro-hauling activities. We do not process large amounts of yard waste and it is not in our business model to receive large amounts of yard waste.
5. Active compost piles are located over 200 ft distance from neighboring houses. Greatly diminishing the risk of nuisance.
6. Thick vegetation buffers surround all our 2 acre composting areas. It helps to intercept and filter particulate matter that may contain odorous compounds.



7. Active composting area is sheltered and surrounded by trees, a hoophouse, and on a low surface point in the property. This greatly diminishes the risk for potential odors to travel with the wind.
8. Active piles are capped with a layer of aged or finished compost or fine aged wood chips. This prevents odors from escaping the piles.
9. Composting areas are designed with drainage so runoff water is managed to prevent odorous puddles from forming.
10. Our composting recipe consists of at least 40% carbon, that carbon is mostly woodchips, sawdust or leaves which allows for all the nitrogen sources to dissipate and adhere to the carbon particles quickly. Preventing anaerobic conditions with the risk of odor.
11. Initial active phase of composting (thermophilic) is done in bays keeping the material contained and sheltered. This diminishes the risk of pests. Though those are already deterred by the temperature that the piles reach and the insulation cap that we place on the material.
12. Wormies finished product, aka worm castings, vermicompost or worm manure is odorless. It provides no risk of nuisance in comparison to the manure of other farm livestock.
13. Wormies avoids post-consumer food waste, including animal parts (bones and meats). This decreases the risk of pests and odor nuisance.

Growth Plan

January to December 2022:

- 15 cy/month food waste collection
- Max of 200 cy of active composting material on site at a time.
- Using 20,600 sqf (½ acre) area for active and matured compost
- Develop the infrastructure for the new site will allow to increase the capacity to process value added products

January to December 2023:

- 75 cy/month food waste collection



- 1000 cy active composting on site
- Using 103,000 sqf (2.3 acres) area for active and matured compost

January to December 2024:

- Upon the success of the site we will pursue the development of a second location near Holland

Community engagement and education

Wormies is all about creating community around the idea of composting. Pickup service customers receive a share of the finished product to close the loop or they can opt to donate their share of finished compost to Wormies community garden partners.

Every growing season Wormies organizes donation events at community gardens in the area and delivers finished compost on behalf of customers. Some of the gardens and organizations Wormies has partnered with include: Mary Free Bed YMCA, Our Kitchen Table, MLK Freedom School, SECOM, Dwelling Place and many more!

Wormies offers educational workshops and events throughout the year on various topics including composting and soil health. Wormies has been part of Meijer Gardens educational programming for the past 3 years. In 2021 Wormies co-founded the 1st Michigan Compost Cup and Symposium that attracted over 75 soil nerds from all over the state.

Wormies offered consulting for Delta College, GVSU, Ada Christian School and many farms in West Michigan.

To promote awareness around composting and soil health Wormies partners with community leaders and organizations, such as Kent County Department of Public Works, West Michigan Sustainable Business Forum, Michigan Recycling Coalition, GR Public Schools, Urban Agriculture Committee, Kent County Food Policy Council, Climate Crisis Coalition, West Michigan Growers Group and others.

Current customers in Cascade Township:

6995 Bridge Water Dr SE, Sarah Klemm
802 Dogwood Meadows, Jennifer Whyte
841 Dogwood Meadows, Dale Bowman
2300 Buttrick Ave SE, Nicole Cruz



3157 Howlett Dr, SE, Rachell Babbit
3279 Hidden Hills Ct SE, Laura Vaughn
7170 Artisan Woods SE, Jessa Challa
6940 Bridgewater Dr SE, Sandy Van Brouwer
6399 Cascade Pointe Dr SE, Leslie Stolz
2300 Christine Ct SE, Kelly Bowen Burke
Thomett Stables
Mary Free Bed YMCA

Plus another dozen served through the sales of products and consulting service.

Team

Wormies continues to grow due to the commitment of a strong leadership team and our team of consultants.

Luis Chen - Founder & CEO

Certified Compost Facility Operator by the US Composting Council. Member of the Soil Food Web Institute. Former 12 year career as a forensic auditor. Board member of the West Michigan Growers Group. Board member of the Young Farmers Coalition.

Jim Yost - Development Partner

A former science teacher, specializing in environmental studies. Leads operations and compliance, biochar, and educational outreach.

Chandler Michalsky - Living Soil Director

Craft organic grower specializing in no-till and living soil methods. Oversees all soil blends operations and product innovation including bokashi and recipes for soil blends and teas.

Sarah Yost - Brand and Marketing

UX specialist and digital artist specializing in small business and non-profit branding, web design and marketing. Graduate of Boston University's Center for Digital Imaging Arts.

Consultants:

- O2 Compost
- EarthFort Labs
- NextCycle



- Start Garden
- Spring GR

Wormies proposal to Cascade Township Planning Commission

Wormies, LLC appreciates the time and consideration of the planning commission to allow Wormies to operate at 5745 Whitneyville Ave SE as an agricultural activity with its main focus on composting as a “Medium Composting Facility” based on permitting and approval from EGLE MMD. Wormies has the funding to succeed and provide an enriching experience for the neighbors and possesses the team, qualifications and experience to do so. Its composting operation is considerably low intensity compared to conventional composting operations and not limited to composting but also micro-hauling, manufacturing of soil blends, growing of biodynamic accumulators, compost tea application service, consulting and education. Wormies’ operation possesses a low risk of nuisance such as smells, noise, dust, traffic and pests.

Letters of support - See Appendix B

We hope these letters of support will help Cascade Township with their decision.

- Georgetown Township, previous landlord
- Andrew Poole, neighbor at old property
- Kent County DPW
- Kent County Food Policy Council
- Local First of West Michigan
- West Michigan Sustainable Business Forum
- Spring GR
- Jennifer Whyte, customer in Cascade
- Sandy Van Brouwer, customer in Cascade
- Kelly Burke, customer in Cascade
- Nicole Marie Cruz, customer in Cascade



Appendix A



MARCH 21, 2022 | COLLECTION, COMPOSTING, FOOD WASTE, OPERATIONS

Compost Heat Recovery Spawns Aquaponics Enterprise

The need to switch from windrows to aerated static piles to manage odors prompted Michigan landscape supply company to take advantage of the opportunity to recover heat.



RELATED POSTS

On-Site Commercial Food Waste Digester



Waste Disposal Surcharges Review



New Industry Classification For Compost





Top. Heat from the composting process warms the the radiant floor in the greenhouse. Nutrients from the fish waste (franks in background) are processed to fertilize the crops. Images courtesy of Country Oaks Landscape Supply

Nora Goldstein

Country Oaks Landscape Supply (Country Oaks) in Burton, Michigan, founded in 1987, began composting yard trimmings in the mid-2010s. The turned windrow composting operation complemented an existing mulch production facility, expanding product offerings. Mark Cherry, second generation owner of Country Oaks since 2001, took a compost operator training course to learn the fundamentals. "I was more interested in the end product than the tipping fees," he recalls. "There is not a lot of composting infrastructure in this part of the state."



Panoramic view of Country Oaks Landscape Supply, showing, from left to right, the end of the composting pad, new greenhouse, biofilter, CAHR unit, the shop and sales building, and back to the composting pad and recessed channels. Photo by Jason McCune-Sanders, Agrilab Technologies Inc

The facility ran into odor challenges, primarily when turning piles that had become anaerobic. Odor complaints ultimately led to the municipality issuing a warning that if Country Oaks did not address the situation, its composting operation would be shut down. "I knew that to solve the problem, my best option was to switch to an aerated static pile system," notes Cherry. "I took a class on compost pile aeration at the US Composting Council Conference in 2019, as well as did a lot of research — including the option of combining aeration with compost heat recovery. I decided it made sense to go with that option, as I could use the recovered heat in a pole barn we had built for product storage and a sales office."

Cherry connected with Brian Jerose, owner of Agrilab Technologies, Inc. (AGT) in Enosburg Falls, Vermont, which designs and installs compost aeration and heat recovery (CAHR) equipment. AGT installed an AGT Compost Hot Box 250-8R unit, which has 8 compost zone intakes and vapor recirculation capability. The composting pad is 100 feet by 200 feet. "The system, which began operating in February 2020, runs on two 3-HP aeration blowers that can push or pull airflow through the pipes installed in concrete trenches in the aeration floor under each zone," explains Jerose. "When operating in the negative aeration mode, vapor comes through the pipes [ductwork], passes through a sump tank to remove condensate, and then goes into the heat exchanger. Water and glycol circulate through the heat exchanger, which capture the thermal energy in the vapor stream. That tubing connects via an underground insulated pipe to the radiant floor in the pole barn."



19

Classification For Compost Manufacturing






The 100 foot by 200 foot, 2 zone composting pool has pipes in the trenches of the aeration zones (above). The system runs in both positive and negative aeration modes.

The recovered condensate can be used to irrigate the compost biofilter. The airflow also can operate in the positive mode to maintain a minimum of 10% oxygen in the active compost or to have hot exhaust recirculated into new compost piles to give the temperature a boost. Country Oaks starts new piles on positive aeration to build up the heat, and then switches to negative aeration. The company contracts with AGT to remotely monitor and manage the



Heat exchangers and piping inside the AGT Compost Hot Box, 250-BR. Photo courtesy Agrilab Technologies, Inc.

composting aeration system, including optimizing the use of positive/negative operating modes and heat recovery. Since the CAHR system was installed, the facility has not received any odor complaints.

Food Waste Collection

Country Oaks composts 10,000 to 15,000 tons/year of source separated organics, or between 30,000 to 35,000 cubic yards/year. "About 97% of incoming feedstocks are yard trimmings, and the rest is food waste that we collect from commercial generators," says Cherry. "We purchased a truck with a cart lifter, which tips the food waste into the top of the truck. All food waste is accepted, as well as soiled paper and BPI-certified compostable products. Customers are provided 32- and 64-gallon carts for their food waste. We've only been collecting and composting food waste for about 10 months so are relatively new to it."

The active aerated composting phase is about four to five weeks. The curing phase is anywhere from three to eight months. The piles are turned during curing to



Products include a wide range of soil blends, including compost-based soils for storm water management and erosion control. Country Oaks owns a Rotobagger unit (manufactured by Rotochopper) that can be used to fill sediment control socks. It also supplies mulches, compost and soil blends in bulk and in bags to area garden centers.

The CAHR has increased compost process efficiency and significantly cut diesel fuel costs, adds Cherry. "It also saves on labor. The entire process is more hands off, especially as AGT oversees aeration and heat exchanger management."

Aquaponics Venture

The ability to recover and circulate heat combined with Cherry's ongoing interest and willingness to diversify Country Oaks' offerings, led to the launch of an aquaponics enterprise in 2021. A 3,500 sq. ft. greenhouse was constructed, along with two 1,000-gallon fish tanks to raise tilapia. Cherry worked with Jim Gill, founder of Aqua Growers of Michigan, to build and manage the aquaponics system. A second heat exchanger was installed in the AGT Compost Hot Box 250-8R to recover additional thermal energy from the composting process to heat the aquaponics operation. The glycol and water tubes inside insulated Badger pipe run underground from the heat exchanger to the fish tanks. The desired temperature in the fish tanks is 73°F to 78°F; the warm air also is used to provide radiant heating in the greenhouse.



Fish waste in the tanks (rear) flows into clarifiers (center) to separate the solids from the nitrites. Microbes on floating biofilters (foreground) consume the nitrites and convert them to nitrates for the plants to absorb. Greenhouse raised tilapia on right (inset).

The fish waste in the tanks goes through a clarifier to separate the solids from the nitrites. (The solids are removed and composted.) Microbes on a floating biofilter consume the nitrites and convert them to nitrates for the plant roots to absorb. "We are definitely on a learning curve since we started up the system last fall," notes Cherry. "The tilapia requires specific conditions to thrive, and the plants require specific nutrients to grow, so optimizing the process for both fish and plants is critical. Everything is going well. We are growing lettuce, herbs, kale, tomatoes and other plants and selling the produce to restaurants and other customers. At this

'collage-1 inn



The fish waste in the tanks goes through a clarifier to separate the solids from the nitrites. (The solids are removed and composted.) Microbes on a floating biofilter consume the nitrites and convert them to nitrates for the plant roots to absorb. "We are definitely on a learning curve since we started up the system last fall," notes Cherry. "The tilapia requires specific conditions to thrive, and the plants require specific nutrients to grow, so optimizing the process for both fish and plants is critical. Everything is going well. We are growing lettuce, herbs, kale, tomatoes and other plants and selling the produce to restaurants and other customers. At this point, we do not have a market for the tilapia."

All in, Country Oaks has invested about \$500,000 in the transition from windrow composting to aerated static piles with heat recovery and the aquaponics enterprise (view process in this [video](#) on Facebook). Around \$350,000 of that amount was for the CAHR equipment, biofilter and working pad improvements. The labor, heat and fuel savings are significant, and compost and soil blends sales are strong. The CAHR system enabled the site to increase total production on a smaller physical footprint. "It's too early to gauge our return on investment," says Cherry. "But we have achieved our goal of creating a full-circle, closed loop enterprise that contributes to building healthy soils, generating renewable energy, and growing fresh food."



TAGS: [AQUAPONICS](#) [YARD TRIMMINGS](#) [ZERO WASTE](#)

A dark blue banner with the BioCycle Connect logo on the left. The logo consists of the word "BIOCYCLE" in red and "CONNECT" in blue. To the right of the logo, there is a sign-up form. The form includes the text "SIGN UP" above the logo, and "Get the latest news from the most trusted name in organics recycling delivered to your inbox twice a month — enter your email below." above a text input field. To the right of the input field is a red button with the text "SIGN UP NOW!".



Appendix B





**KENT COUNTY
DEPARTMENT OF
PUBLIC WORKS**

April 5, 2022

2022 BOARD

Emily Brieve
Chair

Cynthia Janes
Vice Chair

Ben Greene
Secretary

David Bulkowski

Dan Burrill

Phil Skaggs

Ken Yonker

Darwin Baas
Director

Chris Noordyke, Chair
Cascade Township Planning Commission
RE: Wormies Vermicompost, Luis Chen, 5745 Whitneyville Ave SE

Chair Noordyke:

Kent County Department of Public Works is pleased to extend support to Wormies Vermicompost in their work to keep food scraps out of landfills by creating a nutrient-rich soil amendment that helps build sustainable food systems in our community. Though small in scale, their vermicompost operation is supporting Kent County DPW's goal of reducing waste going to landfill by 90% by 2030.

Wormies Vermicompost Farm is a startup that began in 2017 and has received recognition from various Economic Support Organizations (ESOs), such as Start Garden, Next Cycle and Local First, and intentionally partners with community players, such as Our Kitchen Table, to reduce waste and increase access to resources that rejuvenate soil.

Through their micro-hauler and micro-composting business model, they will collect and process up to 1,000 cubic yards of food scraps from residential and commercial customers and local farms and stables on their 13-acre parcel. Comparatively speaking, nearby farms in Cascade Township are allowed to have compost piles containing 5,000 cubic yards of organic farm wastes per acre. The entire process of hot composting and vermicomposting with worms is closely supervised by qualified staff and mostly contained in an enclosed building.

Wormies fills an important niche in Kent County with their innovative approach to turning food waste into a valuable product. We're confident that they will be a good neighbor in Cascade Township. I encourage you to thoughtfully consider Wormies Vermicompost's request to operate in Cascade Township to reduce organic waste going to landfill, replenish nutrients in the soil, and provide jobs and economic value to the local economy.

Please don't hesitate to contact me regarding this, recycling, or other subject matter related to municipal solid waste.

Darwin Baas
Director



1045 Wealthy Street SW
Grand Rapids, MI 49504

616.632.7920 tel
616.632.7925 fax
kcdpw@kentcountymi.gov
www.reimaginetrash.org



Kent County Food Policy Council

A Committee of ENTFF

Cascade Township Planning Commission.
Re: 5745 Whitneyville Ave SE

April 6, 2022

To Whom This May Concern:

I write on behalf of the Kent County Food Policy Council to express our support for for Wormies Vermicompost Farm as it pursues the development of a new site in Cascade Township. Wormies makes sure that locally generated food waste is returned to the local soil through composting. Their micro-hauling and micro-composting operation significantly diverts food waste from landfills. Additionally, Wormies ensures that members of our community can learn about the waste management benefits of composting through their residential services and community outreach.

The Kent County Food Policy Council (KCFPC) formed in 2021 to inform local policy and decision makers on the current and future issues that will impact local food production, consumption, and access. We bring together residents, organizations, agencies, and businesses to strengthen and grow the local food system. Part of our food system includes food waste recovery: as food waste is a significant contributor to climate change and since soil erosion is a significant issue we face; we need actors like Wormies to show us the way to a more sustainable future.

What is most impressive about Wormies is their commitment to community benefit: this is not a business that will steamroll a community for the sake of profit. Wormies is committed to the betterment of our greater food system and is willing to put in the time to build relationships, educate the community and provide ways to participate for people who want to be engaged. We need more businesses like this.

The Kent County Food Policy Council supports Wormies Vermicompost and Luis Chen's efforts to expand their business in Kent County. We encourage you to consider their proposal to create a stronger and more resilient food system in our region.

Thank you for your consideration and we wish you well.

Warmly,



Janelle Vandergrift
Coordinator
Kent County Food Policy Council





April 5, 2022

Attention: Cascade Township Planning Commission

Dear Commissioners,

I am writing to indicate our strong support for the Wormies compost facility that will be located at 5745 Whitneyville Ave SE, an agricultural use in agricultural zoned property in Cascade Township. As an introduction, West Michigan Sustainable Business Forum works with businesses and institutions to advance business practices that promote clean energy, community resilience and the creation of a circular economy. We are the largest organization for beyond-compliance sustainability practitioners in the Midwest, and are active partners to several of the largest employers in the township.

I have some familiarity with the township's efforts to promote a high-quality of life for its residents through conservation programs, parks and community assets. These thoughtful investments and decisions have made it one of the most desirable communities in the state.

My organization works with businesses and communities throughout the region and state. We are among the state's foremost experts in composting and organics recycling, and I will note that it is not uncommon for these facilities to receive additional scrutiny from local governments. There has been a history of bad actors in Michigan, to a certain degree enabled by outdated state policy. We understand why local governments and neighbors often are hesitant to invite this use into their communities.

Problem facilities are universally composters that focus on yard waste and the larger volume municipal streams that are banned from Michigan landfills. This is the polar opposite of Wormies' business model, a boutique operation designed to thrive at a small to medium scale. It will not process yard waste and will never serve more than 2,000 homes. Unlike the yard waste processors, this company is focused on creating high-quality compost for demanding customers. This is not a waste management operation, it is a farm. The site will preserve agricultural use in a unique industry with growth potential. It will also offer educational opportunities for local youth and professionals that are not currently available in the area.

Last month I served as a judge for the NextCycle program, a start-up competition managed by Lawrence Technological University and global consulting firm RRS. We were pleased to recognize Wormies as the winner in the organics category against competition from across the country. This is an innovative and important start-up that I strongly believe will be an asset to the township and region.

I can be reached at (616) 308-4761 or dschoonmaker@wmsbf.org if you have any questions. I strongly recommend approving the application.

Daniel Schoonmaker
Executive Director

West Michigan Sustainable Business Forum • Michigan's Great Southwest Sustainable Business Forum
Michigan Sustainable Business Forum • Lakeshore Sustainability Forum
PO Box 68696 • Grand Rapids, Mich. 49516 • wmsbf.org





March 28, 2022

Dear Planning Commission at Cascade Township:

We are pleased to provide this letter in support of a new development site in Cascade Township for Wormies Vermicompost Farm. Believing that every individual deserves the opportunity to succeed, we intentionally partner with entrepreneurs and initiatives that increase access to economic mobility and build thriving communities. Our work at SpringGR (www.springgr.com) focuses on empowering primarily minority entrepreneurs to start businesses and create real profit, which strengthens our community. Wormies Vermicompost Farm, a SpringGR business, is one of those local startup companies creating economic opportunity in the greater Grand Rapids area.

In 2016, Luis Chen, founder of Wormies, participated in the SpringGR program. Here, he developed the necessary skills to bring his idea to life. Luis's passion was to create a high-quality natural fertilizer by composting food scraps, and through the support of the SpringGR program, his idea became a strong and sustainable business. He gained an in-depth perspective of business and management and learned how to launch, organize, and scale his business. In 2017, Wormies Vermicompost Farm was officially founded as a collective effort of family, friends, and volunteers. We have since supported and followed Luis's excellent work over the years. The company's passion for composting is rooted in principles of sustainable and organic agriculture, which is good not only for our environment but also for our economy.

We believe local businesses are key players in our economic ecosystem—a system that exists to scale new startup companies and build a strong business community. Local businesses create enriching opportunities and add value to our community, providing healthy places for people to live, work, learn, and play. We can attest to the transformative impact small businesses like Wormies have in creating economic benefits, and we urge you to consider granting the proper permits to develop land in Cascade Township for a new site location. Approval will allow the company to expand and continue its good work.

Thank you for your consideration and support. We look forward to the benefits this will bring to the Cascade area. If you have any questions, please feel free to contact us.

Sincerely,

Jason Zylstra
VP of Philanthropy
jasonz@dvfoundations.org

Attah Obande
SpringGR Director
attah@springgr.com

Arlene Campbell
SpringGR Director
arlene@springgr.com

818 Butterworth SW, Ste. 100, Grand Rapids, MI 49504



Cascade Township
Planning Commission

To whom it may concern,

I was a neighbor to Wormies during the years they were located in Jenison, MI, from 2018-2021. My house was located about 250 feet away from their composting operation. It was a consistently positive experience. We never experienced any type of nuisance, smells, noise or pests. I did enjoy coming to visit them frequently.

Their worm farm and composting operation was clean and professional and posed no negative effects to our residential subdivision. On the contrary, as they succeeded with their business I also gained interest to grow my own garden using Wormies all natural and organic methods.

I understand Wormies has relocated to your township and is seeking a special permit to run their business. We recommend them as considerate neighbors and good stewards of the land who perform a very valuable service for our community.

Please do not hesitate to contact me if you have any questions. I will be happy to answer any further questions.

Sincerely,

Andrew Poole
1300 Elmwood Dr, Jenison MI
Phone: 616-822-8439



To the Cascade Township Planning Commission,

I've been a customer of Wormies Vermicompost since week 1 and I'm so glad a service such as theirs exists in our community. I was also very delighted to hear they had acquired a new space to operate out of and that it was in my township, Cascade Township. Wormies does so much for the environment and the community and I believe they're such a valuable and amazing enterprise. Composting has changed so much and modern composting is so helpful and unintrusive, the lives of people around them will not be impacted in a negative way by the operations of Wormies. I have my Wormies bucket out on my porch and I put the pepper food waste and they pick it up, every number of pickups they drop off compost at my door ready to use to feed my garden. As a resident of Cascade Township I love this service. I implore the Cascade Township Planning Commission to consider and support Wormies and all it has to offer for our community and our environment.

Sincerely,
Nicole Marie Cruz Flores
2300 Buttrick Ave SE, Ada MI
(616) 286-4596



To whom it may concern,

I am a current customer of Wormies and I am also a resident of Cascade Township.

I understand Wormies has relocated to our township and is seeking a special permit to run their business. We highly recommend them as an excellent business to have in our township. They are providing a solution like no one else and are good stewards of the land who perform a valuable service for our community.

Every Spring I look forward to gardening with their line of soil products, which is all organic and locally made with my own food scraps! And I very much appreciate having an environmentally responsible alternative to sending my food scraps to the landfill.

Please do not hesitate to contact me if you have any questions. We look forward to continuing our Wormies membership and are excited for all of the environmental and economic benefits they will bring to Cascade.

Sincerely,

Kelly Burke
Phone: (810) 599-1036
2300 Christine Ct. SE, Grand Rapids, MI 49546



April 8, 2022

To the attention of the Cascade Township Planning Commission,

I am writing to you as a valued Wormies customer and a longtime resident of the Ada/Cascade area to express my support for Luis Chen and the great work he is doing for our community.

It has been brought to my attention that a resident(s) is opposing Luis' compost farm. I feel there are concerns with this individual(s) due to lack of knowledge and education around composting. Not only is his farm zoned for agriculture, but Luis and his team maintain a clean environment, complying to all regulated processes and guidelines.

I believe most people think of a compost farm and have visions of a landfill. That is the furthest from the truth. We need to help educate our neighbors. His farm is no different than the nurseries in our neighborhood like Bos Farms and Koetsiers living adjacent to residential homes. The work Luis and his team do every day, enhances the structure and quality of our town's soil, creates less waste, reduces stormwater runoff and soil erosion, protects the climate, reduces methane emissions, creates jobs; supporting our local economy, and it is just simply environmentally responsible.

I fully support the work that Luis, Wormies Vermicompost, and his team are doing. Please feel free to reach out if you have any questions.

Thank you,

Sandy Van Brouwer
6940 Bridgewater Dr
Grand Rapids, MI 49546



April 4, 2022

To the attention of the Cascade Township Planning Commission,

I am writing to you as a valued Wormies customer and a longtime resident of the Ada/Cascade area to express my support for Luis Chen and the great work he is doing for our community.

It has been brought to my attention that a resident(s) is opposing Luis' compost farm. I feel there are concerns with this individual(s) due to lack of knowledge and education around composting. Not only is his farm zoned for agriculture, but Luis and his team maintain a clean environment, complying to all regulated processes and guidelines.

I believe most people think of a compost farm and have visions of a landfill. That is the furthest from the truth. We need to help educate our neighbors. His farm is no different than the nurseries in our neighborhood like Bos Farms and Koetsiers living adjacent to residential homes. The work Luis and his team do every day, enhances the structure and quality of our town's soil, creates less waste, reduces stormwater runoff and soil erosion, protects the climate, reduces methane emissions, creates jobs; supporting our local economy, and it is just simply environmentally responsible.

I fully support the work that Luis, Wormies Vermicompost, and his team are doing. Please feel free to reach out if you have any questions.

Thank you,

Jennifer Whyte
802 Dogwood Meadows Drive SE
Ada, MI 49301





111 South Division Ave NE
Grand Rapids, MI 49503
616.808.3788
localfirst.com

March 22, 2022

On behalf of Local First West Michigan, I am pleased to provide this letter of support for Wormies Vermicompost Farm as it pursues the development of a new site in Cascade Township. At Local First, our team focuses on supporting a people first economy through local ownership. We do this because communities with higher percentages of locally-owned companies are healthier by nearly every **social, environmental, and economic** indicator. Wormies Vermicompost Farm is one of those beloved local businesses helping to move the needle on local, comprehensive sustainability and, as we see it, the betterment of its community.

Wormies Vermicompost Farm is a startup that began in 2017 and has received recognition from various Economic Support Organizations (ESOs), such as Start Garden, Next Cycle and ourselves, and intentionally partners with community players, such as Our Kitchen Table, to reduce waste and increase access to resources that rejuvenate our soil. The work of Wormies invites community members to engage in the care of our common home. Wormies takes the greatest care is utilizing the best technology for organic processing and producing the highest quality soil.

Passionate, innovative local businesses like Luis' are the vehicles by which our dollars recirculate in the community, our friends and family receive job opportunities, and our local economy becomes more self-reliant. A [study](#) in partnership with [Civic Economics](#), revealed that 68% of our money stays in our community when individuals support local businesses over national brands/chains and franchises. It's also a way to reintegrate our lives and connect in practical ways with the people we live and work with.

It's my understanding that Wormies recently received an underwriting grant to develop land in Cascade Township for a new site location and is working with the township to file and obtain the proper permits. We urge you to consider the place-based and economic benefits of this medium-sized, scalable business within your community, as Luis has shown over time the value of collaboration and created enriching opportunities in the Greater Grand Rapids area through their product and service offerings. Approval of the proper permits will allow Wormies to further its impacts through community education and engagement in the township, as well as, employment opportunities.

While Local First strives to lead the development of an economy grounded in local ownership that meets the basic needs of people, builds local wealth and social capital, functions in harmony with our ecosystem, and encourages joyful community; our organization could not make this mission and vision possible without the presence of companies like Wormies Vermicompost Farms.

Please do not hesitate to contact me if you have any questions. It would be my pleasure to share my enthusiasm for Wormies' impact in the region.

Sincerely,
Kathleen Roark

Director of Engagement, Local First West Michigan
kathleen@localfirst.com





PLANNING & ZONING TRAINING For Elected and Appointed Officials

Michigan Association of Planning
A Chapter of the American Planning Association

WHO SHOULD ATTEND?

- Planning commissioners
- Zoning board of appeals members
- Elected and appointed officials
- Zoning administrators
- Emerging planning professionals
- Planning students (*special member rate!*)
- Michigan State University Extension Master Citizen Planners

The Michigan Association of Planning's education programs provide participants with the skills to make better land use decisions. Our knowledgeable and experienced instructors enable elected and appointed officials to better understand their roles and responsibilities, and innovative planning tools and techniques. Most classes will be offered via zoom and materials will be mailed to attendees in advance of the training. We will offer two workshops in Frankenmuth on March 16. A meal is included in that registration.

REGISTRATION POLICY

For cancellations received in writing 10 business days prior to the workshop, a refund (minus a \$25 administration fee) will be given. Those received less than 10 days prior will not be refunded. You may identify a substitute or view the recorded workshop.

Students: The student discount is intended to make the workshops affordable for all full-time student members. Student members enrolled in a minimum of 12 undergrad credit hours or 9 grad hours are eligible. We will verify enrollment and course load.

Register online at: www.planningmi.org
Send this form to: info@planningmi.org
OR 1919 West Stadium, Ste 4 | Ann Arbor, MI 48103
OR Fax to: (734) 913-2061

Questions? Call us at: (734) 913-2000

REGISTRATION FORM

Complete one form per registrant.

CONTACT INFORMATION:

NAME _____

AFFILIATION _____

EMAIL (confirmations and directions will be sent via email) _____

PHONE (with area code) _____

BILLING ADDRESS (include apt. or suite #) _____

CITY _____ STATE _____ ZIP _____

Please list any special needs _____

REGISTRATION INFORMATION:

- I'm a MAP Member
- Join MAP now for \$60 and receive the member discount. As a bonus, you will receive membership through June 2023.

MEMBER RATES	NON-MEMBER RATES	*Apply a \$25 late fee if you register LESS THAN 5 business days before workshop*
<input type="checkbox"/> \$115	<input type="checkbox"/> \$145	Planning & Zoning Essentials March 16th 12 - 4:30 PM <i>Frankenmuth, meal included</i>
<input type="checkbox"/> \$80	<input type="checkbox"/> \$110	
<input type="checkbox"/> \$95	<input type="checkbox"/> \$125	Zoning Administration March 1st and 2nd 2 - 4 PM Virtual
<input type="checkbox"/> \$70	<input type="checkbox"/> \$110	Managing Risk March 8th 6 - 8:30 PM Virtual
<input type="checkbox"/> \$80	<input type="checkbox"/> \$110	Zoning Ordinance: A to Z March 10th 2 - 4:30 PM Virtual
<input type="checkbox"/> \$80	<input type="checkbox"/> \$110	Zoning Board of Appeals March 15th 6 - 8:30 PM Virtual
<input type="checkbox"/> \$115	<input type="checkbox"/> \$145	Capital Improvements Program March 16th 5:30 - 8:00 PM <i>Frankenmuth, meal included</i>
<input type="checkbox"/> \$25, virtual only		Student (Full time) Member Rate List workshop and date: _____

PAYMENT INFORMATION: TOTAL: _____

- Check enclosed
 - Invoice Me
 - Visa
 - Master Card
- (Make checks payable to: Michigan Association of Planning)

NAME ON CREDIT CARD _____

CARD # _____

EXPIRATION DATE _____ SECURITY CODE _____

SIGNATURE _____ CARD HOLDER ZIP CODE _____

TRAINING FOR OFFICIALS by Michigan Association of Planning

PLANNING & ZONING ESSENTIALS

This program counts toward one session of the MSU Extension Citizen Planner Program

March 16th | 12-4:30 PM | in Frankenmuth |

Member fee: \$115

Instructors: Doug Piggott, AICP, and Jason Ball, AICP, Rowe Professional Services

March 21st and 22nd | 6-8 PM | VIA ZOOM |

Member fee: \$80

Instructor: Adam Young, AICP, Wade Trim

The most requested training product we offer. This course is designed to boost confidence by sharpening skills, examining roles and responsibilities, identifying conflicts of interest, understanding legal foundations, and more!

This program is a robust introduction for new planning commissioners and zoning board of appeals, but also a great refresher for more experienced officials looking to build upon existing knowledge. Public hearing procedures, site plan review, master planning, zoning ordinances, variances, how to determine practical difficulty, and standards for effective decision-making are covered.

This program also provides a broad overview for students and emerging planners who want to learn about planning procedures in Michigan. **Course includes a guidebook.**

ZONING BOARD OF APPEALS

2.5 Master Citizen Planner Credits

March 15th | 6-8:30 PM | VIA ZOOM | Member fee: \$80

Instructor: Vidya Krishnan, McKenna

This interactive, case study based workshop goes into greater depth on the issues of practical difficulty and unnecessary hardship. A summary of voting and membership requirements and other procedural requirements unique to ZBA operations are reviewed. **Course includes a guidebook.**

CAPITAL IMPROVEMENTS PROGRAMS

2.5 Master Citizen Planner Credits

March 16th | 5:30 - 8 PM | in Frankenmuth | Member fee: \$115

Instructor: Amy M. Vansen, AICP

This program explains-- from start to finish-- everything you need to know to prepare and adopt a Capital Improvement Program, including: who should be involved in the Capital Improvement Program process; the accounting and budgetary requirements of a CIP; how to tie the program into your infrastructure capacity; and how to handle controversial topics. Included is a hands on workshop where participants work in groups to prepare their own CIP. **Course includes a guidebook.**

ZONING ADMINISTRATION

3.5 Master Citizen Planner Credits | 3.5 AICP CM Credits

March 1st and 2nd | 2-4 PM | VIA ZOOM | Member fee: \$95

Instructor: Jacob Kain, AICP

This program is for zoning administrators in rural, suburban, or urban settings as well as municipal officials, other staff members, or citizens interested in a more complete understanding of all facets of zoning administration from legal basis to record keeping to enforcement. This four hour program is divided into two presentations. **Course includes a guidebook.**

MANAGING RISK: MAKING SOUND PLANNING & ZONING DECISIONS

2.5 Master Citizen Planner Credits

March 8th | 6 - 8:30 PM | VIA ZOOM | Member fee: \$70

Instructor: Emily Palacios, JD

As communities face litigation related to planning and zoning decisions, this is essential training for all elected officials, planning commissioners, zoning board of appeals members and emerging planning professionals. Topics include identifying a conflict of interest, applying discretionary standards during special land use reviews, reasonable expectations of a developer and how your comprehensive plan can minimize risk. **Course includes guidebook.**

ZONING ORDINANCE: A to Z

2.5 Master Citizen Planner Credits

March 10th | 2 - 4:30 PM | VIA ZOOM | Member fee: \$80

Instructor: Kathleen Duffy, AICP, SmithGroup

This brand new MAP workshop to provide local decision makers with everything they need to know about this important regulatory, police power tool. A brief history of zoning, alternative ways to zone, a tour of a typical zoning ordinance including tips and best practices, zoning approval processes, and enforcement are all on the agenda. **Course includes a guidebook.**



Master Citizen Planner Credential: “Tell me more!”

Why would I want to be a Master Citizen Planner (MCP)?

- **Standard of Excellence:** The MCP credential is an achievement recognized as the standard of excellence among planning officials and community leaders in Michigan.
- **Discounts:** MCPs often receive training discounts (about 10%) and have exclusive access to MSU Extension MCP programming.
- **Increased Satisfaction:** Michigan State University evaluated the impact of the MCP program from 2005-2015 and found that MCPs report **increased satisfaction, improved land use decisions**, increased length of time served on boards, **enhanced understanding of ethics and conflict of interest**, and **improved working relationships** compared to basic graduates of Citizen Planner (*Source: MSU Extension Bulletin, E-3312, May 2016*).
- **Continued Learning:** A key component of maintaining MCP is **6 hours of continuing education** every year. MCPs stay on top of new laws, topics, and planning strategies to address current issues. The learning never stops for MCPs because the world is always changing. Keeping up to date helps to make MCPs invaluable assets to their boards and community.

What do I have to do to be a MCP?

STEP 1: Fully complete the Citizen Planner classroom series or online course. Only Citizen Planner graduates can receive Master Citizen Planner status. You must complete all episodes/sessions to apply.

STEP 2: Submit the MCP Application within **60 days** of completing the Citizen Planner Program.

STEP 3: Complete the MCP Exam, with a score of 70% or higher **within six months** of completing the program. The 40-question exam is based in MSU’s leaning management system – Desire to Learn (D2L).

STEP 4: Complete a 20 minute (minimum) capstone presentation on a topic you learned about in Citizen Planner. Within **six months** of completing the program, present to a local legislative board, ZBA, or planning commission. The topic should be relevant to Citizen Planner and the audience. After the presentation, submit a brief description of the presentation and who to contact for verification.

To learn more about the Citizen Planner Program and the Master Citizen Planner credential, email: cplanner@msu.edu or visit: <https://www.citizenplanner.msu.edu>

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