

AGENDA
Cascade Charter Township Planning Commission
Monday, June 19, 2017
7:00 pm
Cascade Library Wisner Center
2870 Jacksmith Ave. SE

- ARTICLE 1. Call the meeting to order
Record the attendance**
- ARTICLE 2. Pledge of Allegiance to the flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Approve the Minutes of the June 5, 2017 meeting**
- ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.
(Comments are limited to five minutes per speaker.)**
- ARTICLE 6. Case # 17-3363 Christian Brothers Automotive – Meijer PUD Amendment
Public Hearing
Property Address: 5531 28th Street SE
Requested Action: The Applicant is requesting to amend the existing PUD to allow for an automotive service use in the existing parking lot.**
- ARTICLE 7. Case # 17-3386 Grooters Land Development
Property Address: 5361 52nd Street SE
Requested Action: The Applicant is requesting site plan approval for a 227,500 sq. ft. warehouse.**
- ARTICLE 8. Any other business**
● Four Corners Study Group
- ARTICLE 9. Adjournment**

Meeting Format

- | | |
|---|---|
| 1. Staff Presentation | <i>Staff report and recommendation</i> |
| 2. Project presentation- | <i>Applicant presentation and explanation of project</i> |
| a. PUBLIC HEARINGS | |
| i. Open Public Hearing. | <i>Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants</i> |
| ii. Close public hearing | |
| 3. Commission discussion – | <i>May ask for clarification from applicant, staff or public</i> |
| 4. Commission decision - Options | |
| a. Table the decision | <i>d. Approve with conditions</i> |
| b. Deny | <i>e. Recommendation to Township Board</i> |
| c. Approve | |

MINUTES
Cascade Charter Township
Planning Commission
Monday, June 5, 2017
7:00 P.M.

ARTICLE 1. Chairman Waalkes called the meeting to order at 7:00 P.M.
Members Present: Katsma, Lewis, Mead, Pennington, Rissi, Robinson, Sperla and Williams
Members Absent:
Others Present: Community Development Director, Steve Peterson and those listed on the sign in sheet.

ARTICLE 2. Pledge of Allegiance.

ARTICLE 3. Approve the current Agenda.

Motion was made by Member Mead to approve the Agenda. Supported by Member Lewis. Motion carried 9 to 0.

ARTICLE 4. Approve the Minutes of the May 15, 2017 Meeting.

Motion was made by Member Lewis to approve the Minutes of May 15, 2017 as written. Supported by Member Rissi. Motion carried 9 to 0.

ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.

No visitors who were present wished to speak about non-agenda items.

**ARTICLE 6. Case #17:3382 Melissa Rollo
Public Hearing**

Property Address: 7220 Oliver Woods Drive

Requested Action: The Applicant is requesting a Special Use Permit to install a 6 feet tall fence in the front yard.

Director Peterson stated that the Applicant is requesting a special use permit to allow for a taller fence in the front yard. The fence would be a 6 feet tall, wood, dog eared fence in the front yard along the Thornapple River Drive frontage. Applicant is allowed to have a 4 foot fence in the front yard and is looking to increase that to 6 feet, which requires a special use permit. Applicant actually has two front yards, because this is a corner lot. They are only seeking to place the taller fence for a portion of the Thornapple frontage. The rest of the fence is in the side or rear yard allowing it to be 6 feet tall.

Director Peterson recommends approval of the special use permit to install a fence 6 feet in height in the front yard as proposed.

Chairman Waalkes asked the Applicant to come forward with any comments.

Applicant did not come forward with any comments.

Motion was made by Member Mead to open the Public Hearing. Supported by Member Rissi. Motion was carried 9 to 0.

No one from the public came forward.

Motion was made by Member Rissi to close the Public Hearing. Supported by Member Mead. Motion carried 9 to 0.

Motion was made by Member Sperla to approve the Special Use Permit to allow a wood, dog eared fence, 6 feet in height in the front yard. Supported by Member Robinson. Motion carried 9 to 0.

ARTICLE 7.

Case #16:3383 Andrew Popp

Public Hearing

Property Address: 1360 Briarcliff Drive

Requested Action: The Applicant is requesting a Special Use Permit to construct an accessory building in excess of 832 sq. ft.

Director Peterson stated that Applicant is requesting permission to construct a 30' x 40' accessory building (1,200 sq. ft.). The building will be 14 feet tall as measured to the midpoint. This requires a minimum 10 feet setback from the side and 25 feet from the rear property lines. The Applicant shows the nearest setback of 11 feet to the side property line. The property is on the river so they are allowed to put the building in the front yard provided they still meet the required front setback of 35 feet. They propose a setback of about 200 feet. The building will be used for personal storage.

With less than 3 acres, the property would only be allowed this one accessory building. It does appear that they have a small building on the river. They would need to choose which one they want, as they are only allowed one building.

Director Peterson recommends approval of the request to construct the new building under the following conditions:

1. That the building is not used for living space or to run a business.
2. Any outdoor light meets township regulations; and
3. Remove the existing accessory building within 30 days of completing the new building.

Chairman Waalkes asked the Applicant to come forward with any comments.

Mr. Popp came forward to address the existing accessory building. Mr. Popp stated that he might like to keep that building in addition to the new building and asked if there were any way he could keep it. Discussion followed in which it was suggested that he

seek a variance to keep the existing building, but that would mean he would not get the building permit for the new building until that happened. Mr. Popp stated that if he decided to keep the existing building, he would seek the variance understanding he could not build the new building until the variance was approved.

Motion was made by Member Mead to open the Public Hearing. Supported by Member Williams. Motion was carried 9 to 0.

No one from the public came forward.

Motion was made by Member Sperla to close the Public Hearing. Supported by Member Rissi. Motion carried 9 to 0.

Motion was made by Member Sperla to approve the Special Use Permit to construct an accessory building with the three conditions stated by Director Peterson above. If, however, Applicant applies for a variance to keep the existing accessory building, then the building permit for the new accessory building will not be issued until a decision is made on the variance. Supported by Member Robinson. Motion carried 9 to 0.

ARTICLE 8. Case #16:3316 Leisure Living LLC

Property Address: 5042, 5044 Cascade Road and 1225 Spaulding

Requested Action: Recommendation to the Township Board for approval of the P.U.D. ordinance and site plan.

Director Peterson stated that at the April 17, 2017 Planning Commission meeting, preliminary plan approval was awarded to accommodate the independent, assisted and memory care living project, with certain conditions, which the Applicant has completed, except the City of Grand Rapids issues which will be ongoing. The P.U.D. Ordinance has been reviewed by Applicant and Director Peterson believes the language addresses the Commission's approval.

Director Peterson recommended that the Planning Commission forward a positive recommendation to the Township Board for approval of the P.U.D ordinance and site plan. If a positive recommendation is given, the Township Board will then hold an additional public hearing to consider the Planning Commission's recommendation.

Motion was made by Member Mead to send a positive recommendation to the Township Board for approval of the P.U.D. ordinance and site plan. Supported by Member Rissi. Motion carried 9 to 0.

ARTICLE 9. Any other business

Chairman Waalkes announced that he will be vacating his position on the Planning Commission, effective after the June 19, 2017 meeting.

ARTICLE 10. Adjournment.

Motion was made by Member Mead to adjourn. Supported by Member Rissi. Motion carried 9 to 0. The meeting was adjourned at 7:35 p.m.

Respectfully submitted,
Scott Rissi, Secretary

TO: Cascade Charter Township Planning Commission
FROM: Steve Peterson, Community Development Director
REPORT DATE: June 12, 2017
MEETING DATE: June 19, 2017
CASE: #17-3363/Christian Brothers Automotive – Meijer PUD Amendments

GENERAL INFORMATION

- A. **Applicant:** Christian Brothers Auto
- B. **Status of Applicant:** Developer
- C. **General Location:** Southwest of the Meijer Store.
- D. **Requested Action:** Amend the existing PUD to allow for an automotive service use in the existing parking lot.
- E. **Existing Zoning on Subject Parcels:** PUD 69
- F. **Zoning on Adjoining Parcels:**
 - N – PUD 26
 - S – PUD 69
 - E – PUD 69
 - W – ES, Expressway Service
- G. **Parcel Size:** Approximately 21 acre parcel
- H. **Existing Land Use on Subject Parcel:** Parking lot for Meijer store
- I. **Adjacent Area Land Uses:**
 - North - Meijer store
 - East - parking lot
 - South - vacant
 - West - vacant

STAFF ANALYSIS

- A. The applicant is requesting Preliminary Plan Review in order to construct a new automotive service use in a portion of the existing parking lot.
- B. The new business is to the south and east of the new hotel that was just permitted (now under construction).
- C. The Meijer property was put into a PUD in 2002 to accommodate the development along 28th St. The underlying zoning district is B2, general business. This designation requires a minimum of 3 acre parcels. With approximately 36 acres in total the development, the PUD could accommodate as many as 12 parcels. This development would be the 9th project in the Meijer PUD.
- D. The new auto use is seeking the PUD amendment not only to add the use, but because it does not meet some of the underlying zoning regulations. These deviations from the ordinance are:

	Underlying zoning	Proposed	Comments
Parcel Size	Minimum of 3 acres	.84 acres	We have allowed the other outlots on smaller than 3 acres, if satisfied with the rest of the development.
Setbacks	100 foot front 50 foot rear 25 foot side	60 foot front 100 foot rear 40 foot side	The proposed front setback from the service drive is similar to the existing hotel as well as the hotel that was recently approved.
Bufferyards	20 feet	0 feet	They are incorporating some additional landscape islands on their parcel but do not have the traditional bufferyard since they will be in the current parking lot.

- E. The planning commission did basic plan review at our March 20, 2017 meeting. At that meeting we asked the applicant to address the following items.
- F. Provide the required site plan information.
- G. Approval from the KCDC for storm water information plan.
- H. Provide an updated site plan showing that Meijer has adequate parking according to our regulations.
- I. Approval from the Township engineer.
- J. Copy of the reciprocal parking agreement.
- K. Lighting plan (our light level is a max of 5 foot candles).

- L. A copy of your acoustic report.
- M. Sscope of the work that occurs at your site that you offered to include as conditions of approval.
- N. The applicant has now provided these itmes.
- O. The Master Plan designation for this property is General commercial. This designation is in line with the B2 zoning district.
- P. They have similar set up at the Meijer store in Grand Rapids at Kalamazoo and 28th st. After checking with the City of Grand Rapids they reported no issues with the use or operator at their location.
- Q. This development would be taking about 84 parking spaces from the Meijer store. 33 of those parking spaces would remain but would be on the new auto repair parcel. According to our regulations the auto repair would be required to have 15 spaces.
- R. According to our records the Meijer retail store is about 248,000 sq ft and would require about 1,107 parking spaces. Currently they have about 1,215. With the new automotive use the property would require 1,122 parking spaces.
- S. The applicant has not indicated any signage deviations.
- T. As a result of the split for the new business they will create a small irregular shaped area to the south of the service road. As a result they have agreed to record a restriction that would not allow this piece to be developed.
- U. The applicant has indicated that the storm water from the site will be addressed and improved to comply with our storm water ordinance. This area is handled by regional storm water system that will need to be approved by the KCDC.

V. Standards

Section 16.03 of the Zoning Ordinance requires that a Planned Unit Development must demonstrate that:

Standard	Staff Comment
Granting of the Planned Unit Development rezoning will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved.	The property is already zoned PUD. The changes they are asking for are consistent with the master plan.
In relation to underlying zoning, the proposed type and density of use shall not result in a material increase in the need for public services, facilities and utilities, and	The type of use and density is consistent with the master plan would not result in a material increase in the need for public services.

shall not place a material burden upon the subject or surrounding land or property owners and occupants or the natural environment	
The proposed development shall be compatible with the General Development Plan of the Township, and shall be consistent with the intent and spirit of this Chapter	The project is consistent with the master plan
In relation to underlying zoning, the proposed development shall not result in an unreasonable negative economic impact upon surrounding properties	The underlying zoning/use of the area is commercial and the amendment to allow the Automotive service with a few minimal exceptions would not result in an unreasonable negative economic impact
The proposed development shall contain at least as much green area and usable open space as would otherwise be required by this Ordinance with respect to the most dominant use in the development	Although some of the bufferyards are smaller than required by the underlying zoning and the original plan, they have been able to plant the same required plantings as would have been required.
The proposed development shall be under single ownership or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. This provision shall not prohibit a transfer of ownership or control, upon due notice to the Planning Director of the Township	Although there are other owners in the PUD, this project only involves one property in the PUD.

Staff Recommendation

Staff recommends approval of the plan. Once approved, we will put together the P.U.D. ordinance amendments with the applicant for your review so you can make a recommendation to the Township Board.

Attachments: Application
 Site plan
 Master plan excerpts

Ada Twp

City of Kentwood

Lowell Twp

Caldonia Twp

Cascade Charter Township

Kent County, Michigan

Map 15 Future Land Use

Legend

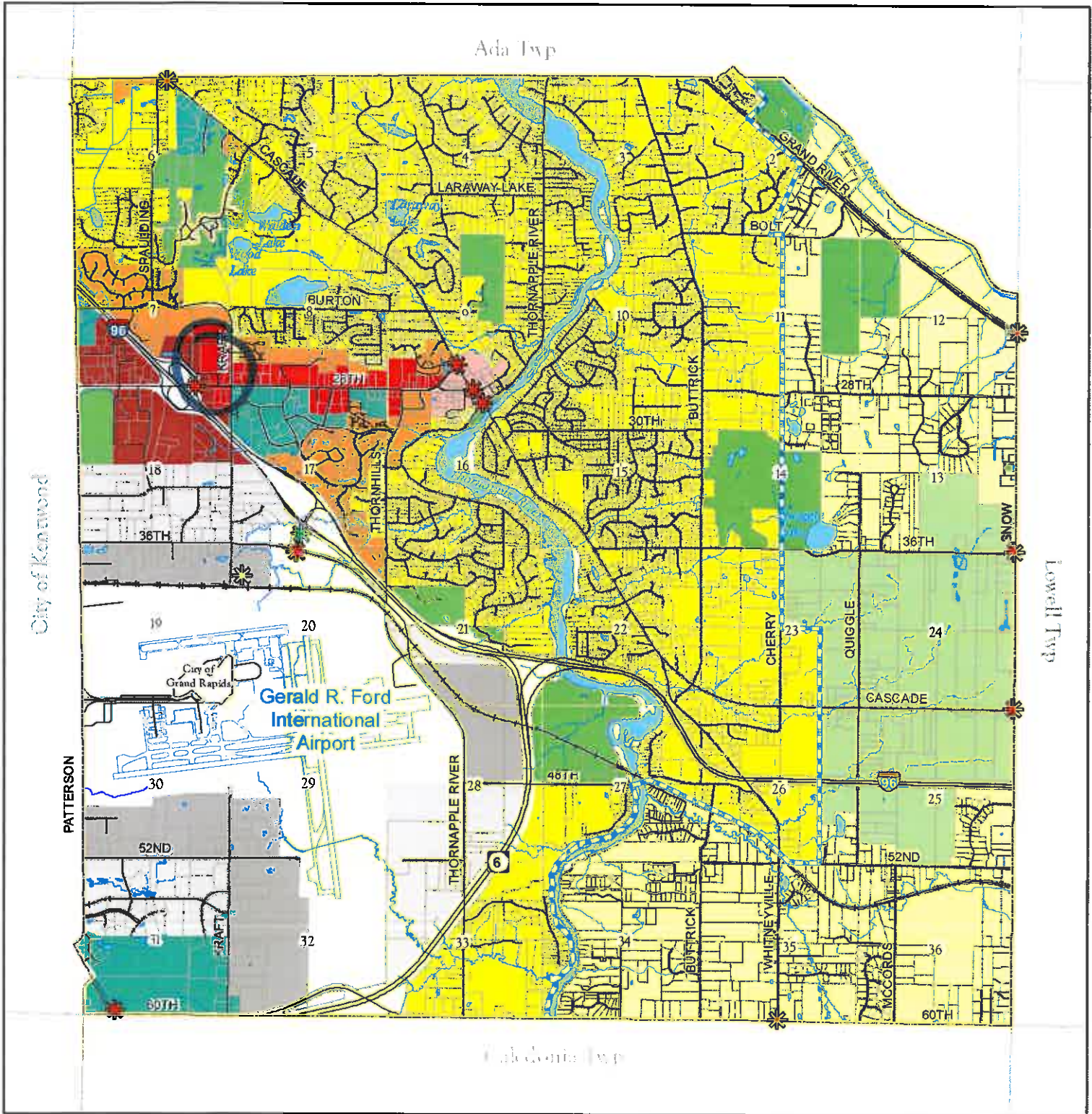
-  Gateway Feature
-  Park 'n' Ride
-  Rail Station
-  Utility Service Area
-  Farmland Preservation
-  Rural Residential
-  Suburban Residential
-  Community Residential
-  Village Commercial
-  General Commercial
-  Highway Commercial
-  Mixed Use
-  Heavy Industrial
-  Light Industrial
-  Community Facility / Golf Course



ARCIS
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 This map is a digital representation of the future land use plan for Cascade Charter Township, Michigan. It is not intended to be used for any other purpose. The information shown on this map is for informational purposes only and does not constitute a contract or any other legal instrument. The information shown on this map is subject to change without notice. The information shown on this map is not intended to be used for any other purpose. The information shown on this map is not intended to be used for any other purpose.

Williams & Works
 414.251.1800 phone • 414.251.1811 fax
 549 Ottawa Avenue NW • Grand Rapids, MI 49503

April 22, 2009



The village commercial area is intended to be a walkable commercial district, where architectural style is paramount, but not rigid. Low shrubbery, picket fences and other features should be in place along the roadway to delineate the use and create interest for pedestrians.

Location: The village commercial land use category is located at the heart of Cascade Charter Township where Cascade Road, 28th Street and the Thornapple River converge. It is not the intent of this land use category to expand beyond the current commercially-zoned properties along Cascade Road.

Desired Uses and Densities: Desired uses include retail commercial, personal service establishments, eating and drinking establishments, financial institutions, and convenience stores with or without fuel stations. Residential uses are also planned, including above retail or office uses. Townhome, retirement centers, assisted living, and other elderly care facilities are also recommended. Other uses should be phased out and encouraged to locate to a more automobile-oriented commercial corridor. Residential densities would be 6-8 dwelling units to the acre. Pedestrian/bicycle circulation plans should be prepared for new development that includes access from sidewalks and non-motorized paths to any building entry. Bicycle racks are encouraged. Traffic calming, crosswalk demarcations, countdown walk signs, plantings and signage are encouraged at 28th Street and Cascade Road at the Village to create a sense of place for shopping, strolling, biking, and walking. Water and sewer must be available for development in this land use category. Additionally, any natural features should be preserved and protected in projects located in the village commercial land use area. The Township hopes that the village commercial area is served by mass transit in the future.



GENERAL COMMERCIAL

Description: This land use designation is intended to provide goods and services to meet the needs of the immediate neighborhood and the larger region. Facilities will be developed in harmony with the area's natural features and in a scale and form to encourage pedestrian access and to minimize auto-pedestrian conflicts. Cross-access easements and access roads will be encouraged to reduce the proliferation of curb-cuts. In addition, landscape standards and signage limitations will be utilized to promote attractive and functional developments. The current three acre minimum lot area requirement may be reduced for projects that incorporate certain green/eco-friendly building technologies, or provide a specific amount of green space, such as 35%.

Location: The general commercial land use designation includes properties fronting 28th street from Cascade Village west to the Township boundary.

Desired Uses: Uses include retail, office, personal services, professional services, automobile repair, convenience stores with or without fuel pumps, drive-through establishments, eating and drinking establishments, fitness centers, financial institutions, automobile sales, and other similar uses. Water and sewer must be available for development in this land use category. Additionally, any natural features should be preserved and protected in projects located in the general commercial land use area. The Township hopes that the general commercial area is served by mass transit in the future.

HIGHWAY COMMERCIAL

Description: The highway commercial land use category calls for more intense land uses in terms of traffic generation and building height. This use would include hotels, eating and drinking establishments, and convenience shopping capturing consumers from the region. Multi-story development, up to 5-stories, may be permitted based on locational factors. Additional height in excess of 5-stories may be considered in areas with elevation differences along the highway, while less height may be appropriate in areas where the highway commercial land use abuts residential uses. Maximum floor area may also be restricted to encourage taller buildings.

Careful planning and design should occur with any new mixed use or large-scale commercial projects to ensure that traffic safety and on-site traffic flow is considered, appropriate access management techniques have been incorporated into site planning and building height would not interfere with Federal Aviation Administration requirements or other height requirements of the Gerald R. Ford International Airport. Minimum lot area requirements could be reduced for projects that incorporate certain green/eco-friendly building technologies at the time of site plan review, or provide a minimum amount of green space, such as 35%. Architectural standards are appropriate to ensure buildings over 3 stories incorporate step-backs, vertical and horizontal design elements, and varied building materials to minimize bulk and massing.

Location: This use is located west and east of the I-96 interchange along 28th street.

Desired Uses: Desired uses include hotels, eating and drinking establishments, convenience shopping, fitness centers, and offices. Water and sewer must be available for development in this land use



Christian Brothers

A U T O M O T I V E

From: Christian Brothers Automotive Corporation
17725 Katy Freeway, Suite 200
Houston, TX 77094

To: Cascade Township

RE: Letter of Intent - Christian Brothers Automotive

Following your review, it is our hope we will be granted permission to continue the development process. Thank you for your time and consideration.

Architecture:

All plans, specifications, and uses will be in compliance with local code, ordinances and are in keeping with the neighboring developments or higher in standard. Variances will be addressed on case by case basis with City Staff and Reviewing Agencies.

The artist's rendering below is an exact representation of our standard prototype.



Nice difference.®



Christian Brothers

AUTOMOTIVE

This finished store is 100% representative of our standard prototype.



Hours of Operation and Standard Procedures

Unlike most other light automotive service facilities, Christian Brothers keep a more conservative schedule. We open at 7 am and close no later than 7 pm, Monday through Friday. Saturday for the first 180 days of operation. Most vehicles left overnight are stored within our secure bays for customer peace of mind and insurance parameters. We do not do tire recapping or body repair. These two activities are major noise and storage generators and are not a component of our scope of work.

Additionally, repairs designated as Heavy Vehicle Services are not a major component of our scope of work, comprising less than 1% of all tasks performed. Typically this level of service is only offered if a vehicle is brought to us in an unsafe or otherwise terminal condition. In the majority of cases, the customer will be referred to a specialist engine / transmission repair / replacement facility.

Nice difference.®



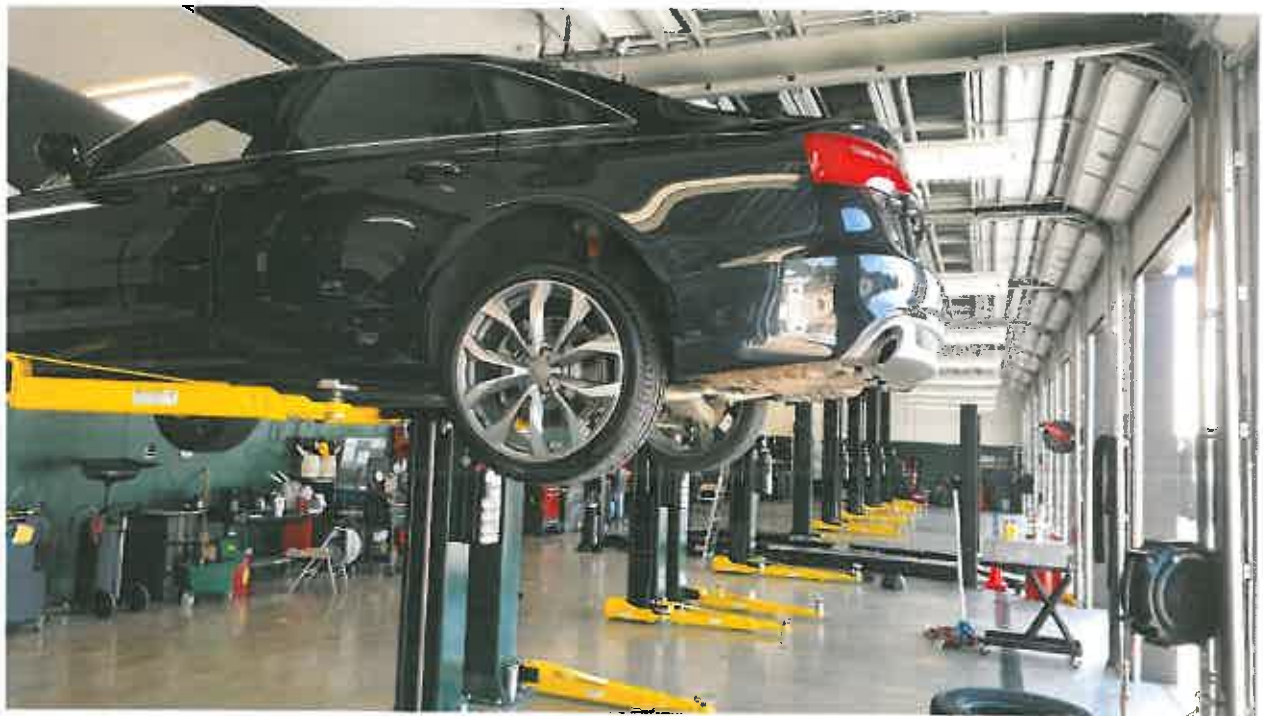
Christian Brothers

AUTOMOTIVE

The business is manned by 3 to 4 employees and the owner / franchisee.

Cascade Township will find we operate our stores to the highest possible standards. Our shop floors are cleaned with a Zamboni style machine and no pollutants are ever released into the environment. All automotive fluids are contained in federal EPA and state compliant, double hulled, above ground containment vessels.

Working Interior Photos



Nice difference.®

17725 KATY FREEWAY, SUITE 200, HOUSTON, TX 77094 • 281.675.6100 • CHRISTIANBROTHERSAUTO.COM



Christian Brothers

AUTOMOTIVE

Office Interior



Summary:

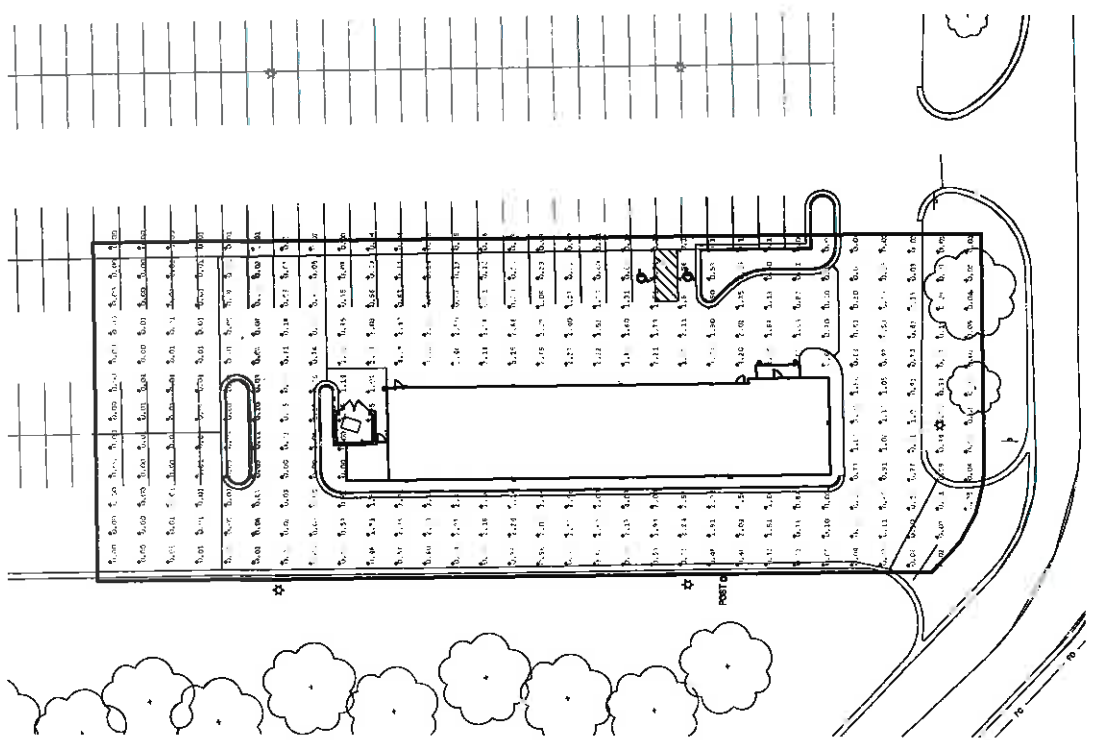
Based on architecture alone, we are essentially a small cottage with a nine car garage. Our footprint is very non-intrusive and fits well with any neighboring residential community. We truly believe our development brings a unique experience to the automotive repair arena and enhances quality of life. Since our lobby and reception more closely resemble something you would find in a doctor's office, the maintenance and repair process becomes less threatening to people of all walks of life.

It is our hope Cascade Township can truly appreciate our presence and will find us to be a valued member of the community.

Thank you,

Jonathan Wakefield
CBAC Director, New Store Development

Nice difference.®



SITE LIGHTING PLAN
 NORTH



Christian Brothers

AUTOMOTIVE

Scope of Work: Maintenance and Repair

Automotive Computer Diagnostics

If you can't determine what ails your vehicle, bring it to Christian Brothers Automotive. We'll find and repair all car problems. We use the same diagnostic equipment you can find from manufacturers, making us your one-stop location for all your automotive needs.

Our ASE-Certified technicians will provide you with a detailed inspection and computer analysis of your vehicle. From the output, we'll get you back on the road quickly.

Check Engine Light

Without the right equipment, you likely don't know what your Check Engine Light means. A list of different things can make this light come on. Our tools can decipher what is happening with your car and tell you what work is needed. Don't let your Check Engine Light freak you out; visit Christian Brothers Automotive for peace of mind.

Vehicle Repairs

After we've determined the issues hampering your vehicle, an ASE-Certified technician will describe them in detail, or even allow you to see them for yourself. Additionally, they will give you a cost estimate for repairs. You make the ultimate decision before we commence repairs.

At Christian Brothers Automotive, we never settle for anything less than long-lasting repairs completed by experienced technicians. Our service includes repairs and maintenance on cooling systems, power steering, exhaust systems, engines, and tires.

Brakes

At Christian Brothers Automotive, we take pride in our integrity. We will never sell you only brake pads but we will also recommend the right components recommended by your auto manufacturer. Each vehicle varies whereas the alloys used in brake pads and rotors are often very specific. Incorrect brake pads can mean significant damage to rotors and other vital parts. The expert technicians at Christian Brothers Automotive will check to make sure your vehicle only receives the brake pads and components that are specifically engineered for it.

Every brake job means resurfacing the rotors. The brake pads are just half of the relationship – without properly serviced rotors, your car will not stop as quickly as it should. Every rotor is resurfaced according to manufacturer specifications and lubricated properly to make sure the brake pads get the maximum durability.

Fluid is an often overlooked component of the brake system. Brake fluid is checked for quantity, but not usually checked for quality. Your brake fluid can become dirty and create problems when it is supposed to be flowing to the calipers to stop your car. Clean, new brake fluid can help extend the life of your entire brake system and save you money on costly brake repairs in the future.

Electrical System

Most mechanical functions are now dependent on electrical components. Your car is controlled by a complex arrangement of wires, sensors and computers working together. If communication along those wires is interrupted, it could have major consequences for several components of your vehicle.

Electrical systems are now more complicated, but more reliable and easier to diagnose and remedy with the proper equipment. At Christian Brothers Automotive, we have a full line of manufacturer certified diagnostic tools. The tools, scanners and equipment are the same or better than those used in dealership service departments.

Our ASE certified technicians know your car's electrical components and can quickly and effectively diagnose the problem. At Christian Brothers Automotive, we take a serious, targeted approach to pinpoint the problem and minimize the cost of your repair to one of the electrical components. Sometimes what seems like a major repair could merely be a software issue. Computers control your car. Starters, alternators, air conditioning systems and many other components are now computer controlled. Our ASE certified technicians will make sure you do not waste money on diagnostics and parts.

Your battery could also be the culprit of an electrical system problem. A loose battery cable, a faulty wire or a dirty connection could appear to be a bigger problem than reality. If your battery is not receiving a charge, the alternator may need replacement. You will receive a full system check, not just a recommendation for parts you may not need. We check the basics before recommending a major repair. We care about your car and we respect your budget.

AC Services

At Christian Brothers Automotive, we do things differently. Our ASE-certified technicians do more than your ordinary air conditioning system check. Your car is a complex machine and it demands a full diagnostic treatment and service. A full air conditioning service at Christian Brothers Automotive means a full inspection to make sure we get to the root of the problem and not simply treat the symptoms.

There is not a definitive way to predict a failure for your air conditioning system. However, when your car's AC system needs service or repair, the right equipment and experience are important.

Christian Brothers Automotive only uses expert, ASE-certified technicians and the latest tools and equipment for air conditioning service and repair. You cannot determine the source of a leak or diagnose a problem with the AC system without a thorough examination.

Drivetrain & Suspension

The drive train, also referred to as the power train, refers to the parts and systems that create power and deliver it to the road. It is a holistic system that makes your car travel safely down the road. The main parts of the drive train includes: the wheels, suspension, drive shaft, engine and transmission. A properly maintained power train means that the energy produced by your engine is being used in the most efficient way possible. Thus, you will have a more fuel efficient car and more miles per gallon. At Christian Brothers Automotive, we strive to make sure your suspension system is working at its optimal performance.

Suspension Systems

The suspension system is the bridge between the engine and the power it generates to the wheels and the impact the road has on the vehicle. Movement and inertia create incredible forces on your car's frame. Your suspension system balances the vehicle. An improperly maintained suspension system can create an unsafe vehicle and unsafe driving conditions for you, your family and other drivers.

The engine and transmission (along with the drive shaft and differential) move the car forward, but to make the vehicle manageable and driver-friendly, the suspension system absorbs the energy. A worn steering and suspension system can create excess noise, premature tire wear, vibrations and alignment damage. At Christian Brothers Automotive, we make sure your suspension system is fully operational and up to your vehicle's manufacturer standards.

Like all repairs and services at Christian Brothers Automotive, suspension, drive train, transmission and engine repair, services and maintenance are covered by our 24 month/ 24,000 mile warranty. Christian Brothers Automotive's suspension service can repair or replace virtually all suspension components, including: bushings, sway arms, center links, ball joints, idler arms, pitman arms, tie rod sleeves, tie rod ends, struts, shock absorbers, coil springs, CV joints, CV boots, CV axle half shafts, universal joints and springs and any other manufacturer specific components your vehicle may need.



May 4, 2017
Project No. G080322

Mr. Steve Peterson
Cascade Charter Township
2865 Thornhills Avenue, SE
Grand Rapids, MI 49546-7192

Re: Christian Brothers Automotive
Site Plan Review

Dear Steve:

We have reviewed the site plan for Christian Brothers Automotive, located at 5411 28th Street in the Meijer outlet. The site plan was prepared by Progressive AE and is dated April 19, 2017. The proposed project is an automotive service center with nine service bays. The site is located in the Plaster Creek watershed, sub-drainage district Cascade West.

Stormwater and Drainage

Flood Control

The proposed project is a new development, so all improvements shall comply with the requirements of the Cascade Charter Township (Township) Stormwater Ordinance (SWO). The site is located in Stormwater Management Zone B, which requires detention of the 25-year storm event. The SWO also requires the first 0.5 inch of stormwater runoff be detained and released over a 24-hour period.

The proposed automotive service center is located at the west end of the existing Meijer parking lot. The site is currently paved and the proposed project will result in a 2,000 square-foot reduction in impervious area.

Stormwater runoff from the site drains to the Kent County Drain Commissioner (KCDC) Patterson Drain and regional detention pond, located on the north side of I-96. The site ties directly into the 42-inch Patterson Drain storm sewer located onsite. The storm sewer connection will need to be permitted by the KCDC. The applicant has submitted the site plan to the KCDC for review. Onsite stormwater detention is not required because the site drains to the regional detention pond.

Water Quality Control

The SWO requires the first 0.5 inch of stormwater runoff be detained and infiltrated where conditions permit, or released over a 24-hour period. Typically, if a site drains to a County regional detention basin, the Township would still require water quality control improvements. However, in this case, since there is an overall decrease in impervious area, this requirement has been waived.

Stormwater Runoff

The site will not see an increase in stormwater runoff from the site due to the reduction in impervious area. All stormwater runoff will discharge to the Patterson Drain regional detention pond.



Drainage Plan

The applicant has submitted drawings, calculations, and additional documentation as required in the SWO Section 2.03, Drainage Plan. Please refer to the included checklist for items and comments on each item. Please note, a maintenance agreement is required before construction begins. The agreement should be submitted to the Township for review. The maintenance agreement and plan should include at a minimum cleaning of catch basin sumps.

Utilities

A 6-inch sanitary sewer service and 1-1/2-inch water service are proposed for the site. No new public utility mains are required for the project. City permits will be required for the water and sanitary sewer connections prior to construction taking place.

Soil Erosion and Sedimentation Control

Soil Erosion and Sedimentation Control (SESC) measures are provided on the plan drawings. SESC falls under the review and approval of the Kent County Road Commission and a permit is required before construction can begin. The SESC measures indicated on the drawings appear appropriate given the expected work.

Summary

The proposed stormwater design meets the Township SWO requirements for new developments. The applicant will need to apply for and obtain a number of permits (SESC, water, and sanitary sewer from the City) prior to beginning construction. We recommend approval of the site plan from an engineering standpoint.

If you have any questions or require additional information, please contact me at 616.464.3786 or nrtorrey@ftch.com.

Sincerely,

FISHBECK, THOMPSON, CARR & HUBER, INC.

A handwritten signature in black ink, appearing to read "N. Torrey", is positioned above the printed name.

Nathan R. Torrey, PE

jc2
Attachment
By email



Cascade Charter Township

Storm Water Ordinance, Ordinance 7 of 2002, as amended by Ordinance No. 2 of 2008, 5/14/2008

Reviewing Engineer Comments are Italicized

OK – Received and Acceptable

NA – Not Applicable

NR – Not Received, Needs Follow-up, See Comments

Christian Brothers Automotive

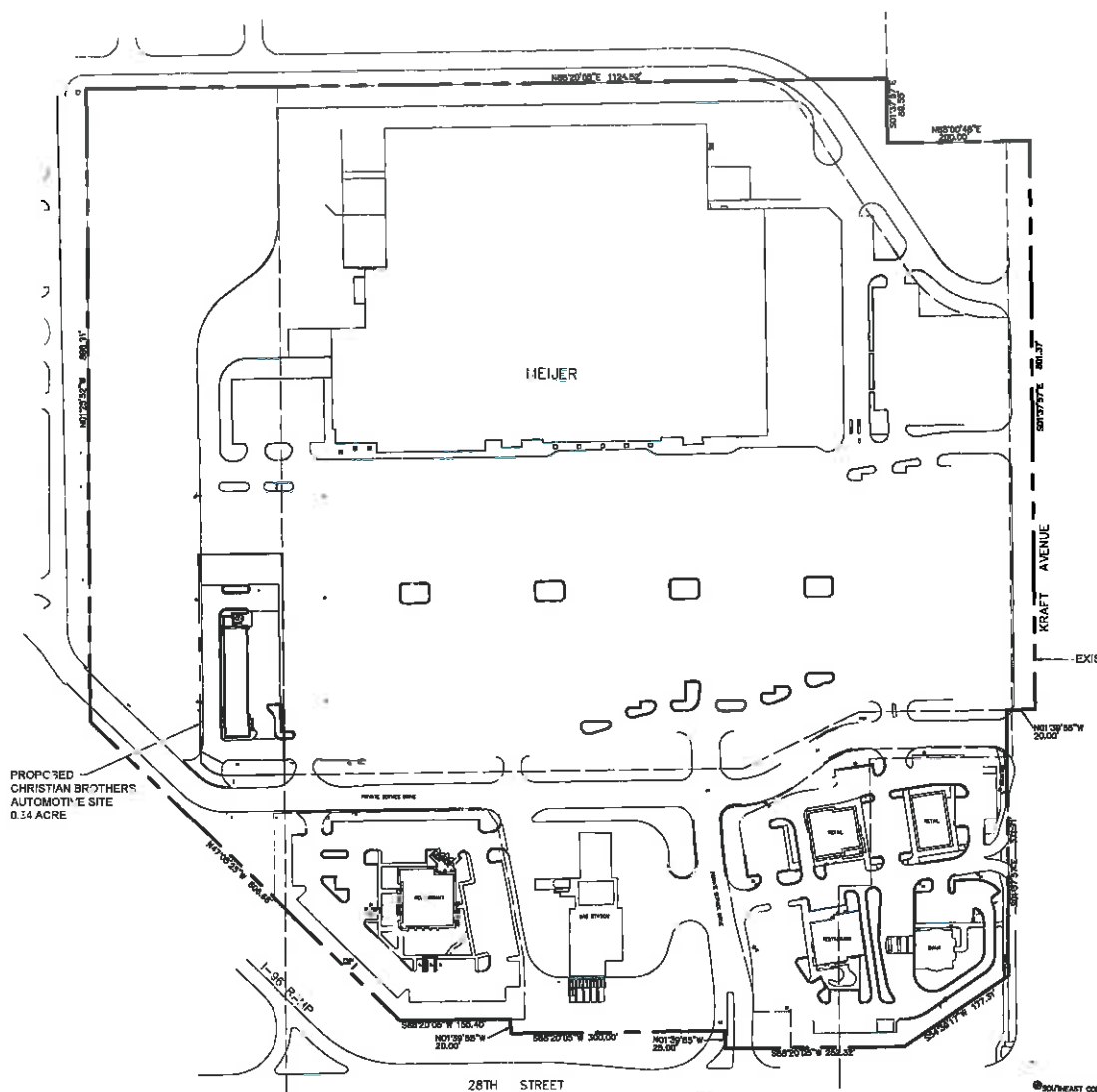
Drainage Plan Checklist

- OK (1) Location of the development site and water bodies that will receive storm water runoff
All stormwater runoff from the site discharges to the Kent County Drain Commissioner (KCDC) storm sewer (Patterson Drain) and regional detention pond.
- OK (2) Existing and proposed topography of the development site, including the alignment and boundary of the natural drainage courses, with contours having a maximum interval of one foot (using USGS datum). The information shall be superimposed on the pertinent Kent County soil map
Existing and proposed contours have been provided. Soil map information is not required for this project.
- OK (3) Development tributary area to each point of discharge from the development
A drainage plan showing tributary areas was provided.
- OK (4) Calculations for the final peak discharge rates
- OK (5) Calculations for any facility or structure size and configuration
- OK (6) Drawing showing all proposed storm water runoff facilities with existing and final grades
The applicant provided design details for construction of the onsite storm sewer system.
- OK (7) The sizes and locations of upstream and downstream culverts serving the major drainage routes flowing into and out of the development site. Any significant off-site and on-site drainage outlet restrictions other than culverts should be noted on the drainage map
Significant offsite flows were not identified by the applicant.
- OK (8) An implementation plan for construction and inspection of all storm water runoff facilities necessary to the overall drainage plan, including a schedule of the estimated dates of completing construction of the storm water runoff facilities shown on the plan and an identification of the proposed inspection procedures to ensure that the storm water runoff facilities are constructed in accordance with the approved drainage plan
A construction schedule was included on the plans.
- OK (9) Plan to ensure the effective control of construction site storm water runoff and sediment track-out onto roadways
The SESC measures shown on the plan appear appropriate given the expected work. SESC falls under the review and approval of the KCRC and a permit is needed before construction can begin.



- OK (10) Drawings, profiles, and specifications for the construction of the storm water runoff facilities reasonably necessary to ensure that storm water runoff will be drained, stored, or otherwise controlled in accordance with this ordinance
The applicant provided design details for construction of the onsite storm sewer system.
- NR (11) Maintenance agreement, in form and substance acceptable to the Township, for ensuring maintenance of any privately owned storm water runoff facilities. The maintenance agreement shall include the developer's written commitment to provide routine, emergency, and long-term maintenance of the facilities and, in the event that the facilities are not maintained in accordance with the approved drainage plan, the agreement shall authorize the Township to maintain any on-site storm water runoff facility as reasonably necessary, at the developer's expense
Maintenance agreement was not provided and is required.
- OK (12) Name of the engineering firm and the registered professional engineer that designed the drainage plan and that will inspect final construction of the storm water runoff facilities
- NA (13) All design information must be compatible for conversion to Grand Valley Regional Geographic Information System (REGIS)
This is a privately owned system and will not be uploaded to REGIS.
- OK (14) Other information necessary for the Township to verify that the drainage plan complies with the Township's design and performance standards for drains and storm water management systems

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. DATE OF DECLASSIFICATION IS INDEFINITE.



PROPOSED
 CHRISTIAN BROTHERS
 AUTOMOTIVE SITE
 0.34 ACRE

OVERALL PUD SITE PLAN
 NORTH
 1" = 60'



TOTAL PUD AREA = 27.512 ACRES

Legal Description of Proposed Unit Development Project
 A parcel of land located in the 1/4 (north quarter) of Section 7, T11N, R10E, Range 107 West, Township of Cassopolis, West County, Michigan, further described as:
 Commencing at the Southeast corner of Section 7, T11N, R10E, Range 107 West, thence the south line of said Section 7, South 88° 50' 00" West, 187.72 feet, thence North 81° 50' 55" West, 56.55 feet to the northerly right of way line of 28th Street (15.11 feet) and the point of beginning, thence along said northerly right of way line, South 88° 50' 00" West, 25.25 feet to the northerly right of way line of Highway 16, thence along said northerly right of way line, North 81° 50' 55" West, 25.25 feet, thence along said northerly right of way line, North 81° 50' 55" West, 25.25 feet, thence along said northerly right of way line, North 81° 50' 55" West, 150.00 feet, thence along said northerly right of way line, North 81° 50' 55" West, 150.00 feet, thence along the west line of the East 1/2 of the Southeast 1/4 of said Section 7, North 81° 50' 55" West, 187.72 feet, thence North 88° 50' 00" West, 187.72 feet, to the point of beginning. Containing 27.512 acres, more or less.

PARKING SUMMARY
 EXISTING PARKING SPACES WITHIN MEIJER PARKING LOT = 1215 SPACES
 PARKING SPACES REQUIRED FOR CHRISTIAN BROTHERS AUTOMOTIVE BUILDING = 46 SPACES
 PROPOSED PARKING SPACES WITHIN MEIJER AND CHRISTIAN BROTHERS AUTOMOTIVE SITE (1,215 - 46) = 1,169 TOTAL SPACES PROVIDED
PARKING SPACES REQUIRED
 MEIJER = 1,410 SPACES
 11,000 SFT SUPERMARKET AT 64,000 SFT = 1,000 SPACES
 6,000 SFT REPAIR GARAGE AT 64,000 SFT = 42 SPACES
 CHRISTIAN BROTHERS AUTOMOTIVE 4,781 SFT AUTO REPAIR AT 1,400 SFT = 1,380 SPACES
TOTAL REQUIRED = 1,162 SPACES

DRAWING INDEX
 000 - OVERALL PUD SITE PLAN
 010 - TOPOGRAPHIC SURVEY AND DEMONSTRATION PLAN
 020 - SITE LAYOUT & LANDSCAPE PLAN
 030 - SITE CIVIL AND MECHANICAL
 040 - SITE UTILITIES PLAN
 050 - DETAIL SHEET
 060 - SPECIFICATIONS

PROPOSED SERVICE CENTER
CHRISTIAN BROTHERS
 2815 1/2 STREET
 CASSOPOLIS TOWNSHIP, WEST COUNTY, MI

ISSUANCES
 1. JC PLAN REVIEW
 02/24/2017
 2. JC PLAN REVIEW
 04/12/2017
 3. APPROVAL SHEET
 07/11/2017
 4. ZONING BOARD
 05/15/2017
 5. SITE PLAN REVIEW
 05/15/2017

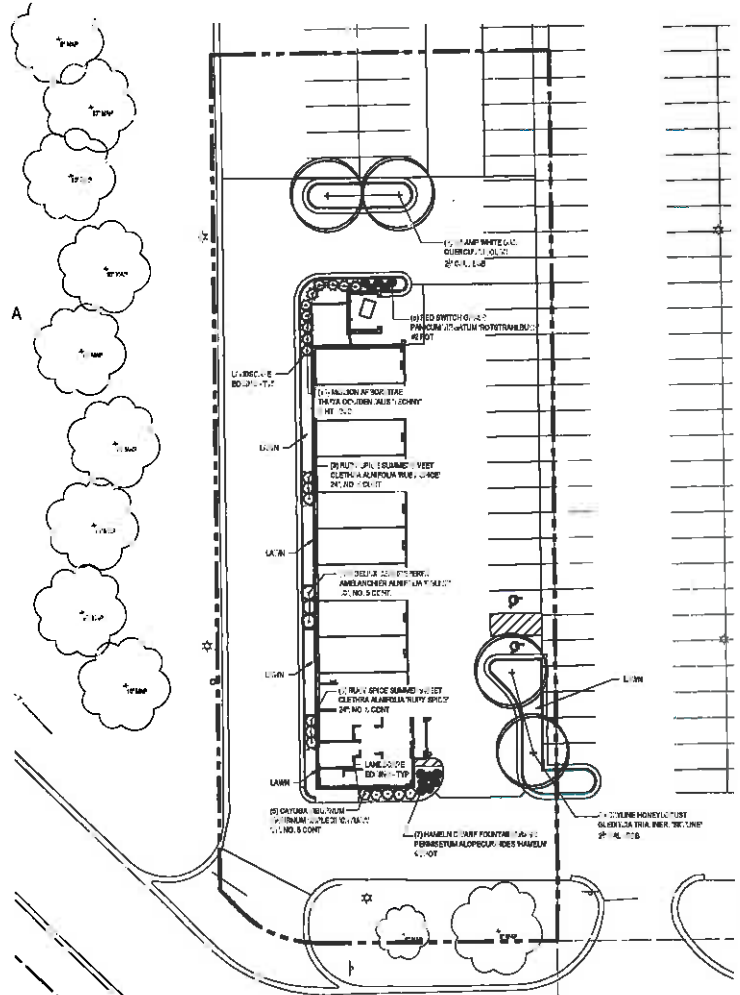
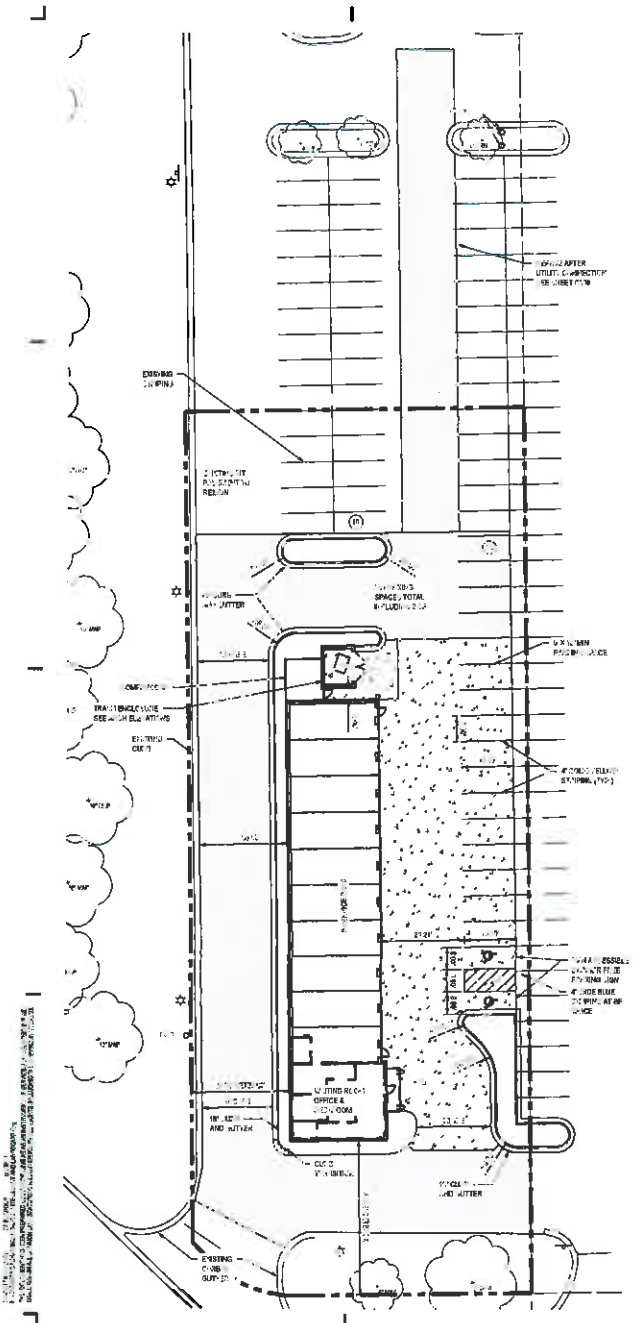
REVISIONS
 NO. DATE DESCRIPTION
 1. NOT FOR CONSTRUCTION

DRAWING INDEX
 000 - OVERALL PUD SITE PLAN
 010 - TOPOGRAPHIC SURVEY AND DEMONSTRATION PLAN
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 030 - SITE CIVIL AND MECHANICAL
 040 - SITE UTILITIES PLAN
 050 - DETAIL SHEET
 060 - SPECIFICATIONS

PREPARED BY: JLM/MS
 CHECKED BY: JLM/MS
 DRAWN BY: JLM/MS
 PROJECT NO: 1604

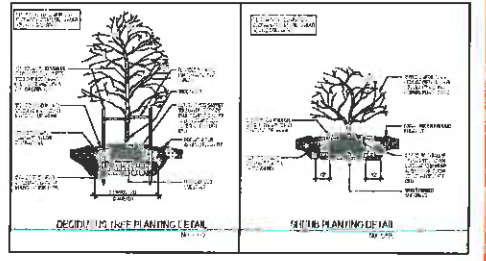
OVERALL PUD SITE PLAN
C000





- ### GENERAL SITE LAYOUT NOTES
1. ALL DIMENSIONS AND MATERIALS SHALL ACCORD TO THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 2. CONCRETE SHALL BE PLACED AT A MINIMUM THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING CURB, DRIVE, SIDEWALK, AND WALKWAYS.
 3. FINISH GRADE SHALL BE SET AFTER UNILATERAL TO THE EXISTING FINISH GRADE.
 4. CURB SHALL BE SET ON A 12" DEEP CURB CURB. NOTES: USE NOTED (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100) (101) (102) (103) (104) (105) (106) (107) (108) (109) (110) (111) (112) (113) (114) (115) (116) (117) (118) (119) (120) (121) (122) (123) (124) (125) (126) (127) (128) (129) (130) (131) (132) (133) (134) (135) (136) (137) (138) (139) (140) (141) (142) (143) (144) (145) (146) (147) (148) (149) (150) (151) (152) (153) (154) (155) (156) (157) (158) (159) (160) (161) (162) (163) (164) (165) (166) (167) (168) (169) (170) (171) (172) (173) (174) (175) (176) (177) (178) (179) (180) (181) (182) 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- ### GENERAL LANDSCAPE NOTES
1. COVERED TREES SHALL BE PLANTED WITHIN THE EXISTING PLANTING AREAS AND NEW PLANTING AREAS. NOTIFY LANDSCAPE CONTRACTOR OF ANY PLANTING AREAS.
 2. PLANTING SHALL BE PLACED IN THE FIELD PER RECOMMENDATIONS OF ARCHITECT AND LANDSCAPE CONTRACTOR. ALL PLANTING SHALL BE PLACED IN THE FIELD PER RECOMMENDATIONS OF ARCHITECT AND LANDSCAPE CONTRACTOR. ALL PLANTING SHALL BE PLACED IN THE FIELD PER RECOMMENDATIONS OF ARCHITECT AND LANDSCAPE CONTRACTOR.
 3. ALL TREES DESTROYED DURING CONSTRUCTION SHALL BE REPLACED WITH TREES OF EQUAL OR GREATER SIZE AND SPECIES.
 4. CONTRACTOR TO CONTACT LOCAL AGENCIES FOR PERMITS AND REGULATIONS PRIOR TO CONSTRUCTION TO CONFIRM LOCAL REGULATIONS AND REQUIREMENTS.
 5. NOTIFY LANDSCAPE CONTRACTOR OF ANY PLANTING AREAS AND REGULATIONS PRIOR TO CONSTRUCTION TO CONFIRM LOCAL REGULATIONS AND REQUIREMENTS.
 6. ALL PLANTING SHALL BE PLACED IN THE FIELD PER RECOMMENDATIONS OF ARCHITECT AND LANDSCAPE CONTRACTOR.
 7. PLANTING MATERIAL FOR PERMITS SHALL BE SIX INCH DEPTH AND FIVE INCH DIA. TO ONE PART OF SPANISH GARDEN PLANTING.
 8. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY PLANTING AREAS AND REGULATIONS PRIOR TO CONSTRUCTION TO CONFIRM LOCAL REGULATIONS AND REQUIREMENTS.
 9. NOTIFY LANDSCAPE CONTRACTOR OF ANY PLANTING AREAS AND REGULATIONS PRIOR TO CONSTRUCTION TO CONFIRM LOCAL REGULATIONS AND REQUIREMENTS.



PAVEMENT LEGEND

	6" (MIN) 4" (MAX) CONCRETE AT 18" OC EW
	8" (MIN) 4" (MAX) CONCRETE AT 18" OC EW
	4" (MIN) 4" (MAX) ASPHALT AT 18" OC EW
	4" (MIN) 4" (MAX) ASPHALT AT 18" OC EW
	4" (MIN) 4" (MAX) ASPHALT AT 18" OC EW

LEGEND

	PLANTING EDGE (SCHEDULE)
	PERENNIALS/GROUND COVERS
	EVERGREEN SHRUBS
	DECIDUOUS SHRUBS
	ORNAMENTAL GRASSES
	CANOPY/ORNAMENTAL TREE

ZONING AND LAND USE NOTES

ZONED PERMITS (ADDITIONAL TO PERMITS)

PERMITS REQUIRED FOR ALL PERMITS

PERMITS REQUIRED FOR ALL PERMITS

PERMITS REQUIRED FOR ALL PERMITS

PERMITS REQUIRED FOR ALL PERMITS

progressive ae

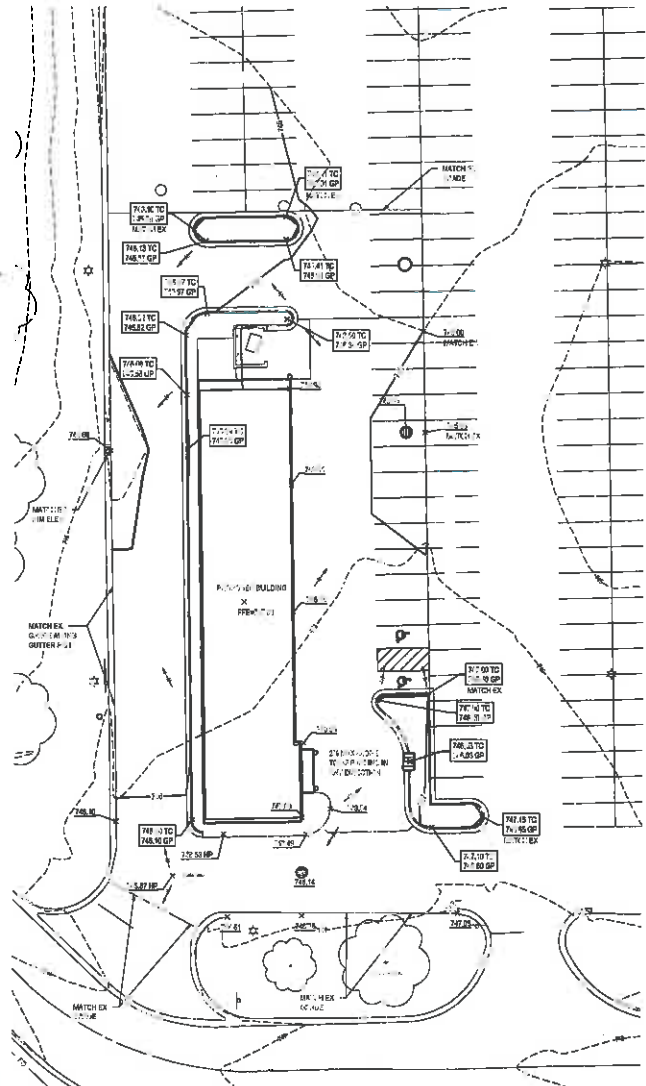
PROPOSED SERVICE CENTER
CHRISTIAN BROTHERS
 28711 STREET
 28711 STREET

REVISIONS
 DATE DESCRIPTION

FILE NO. 76-1-006
 DRAWING NO. DC11302
 LAYOUT BY CHORD BY
 PLOT NO. 124

NOT FOR CONSTRUCTION

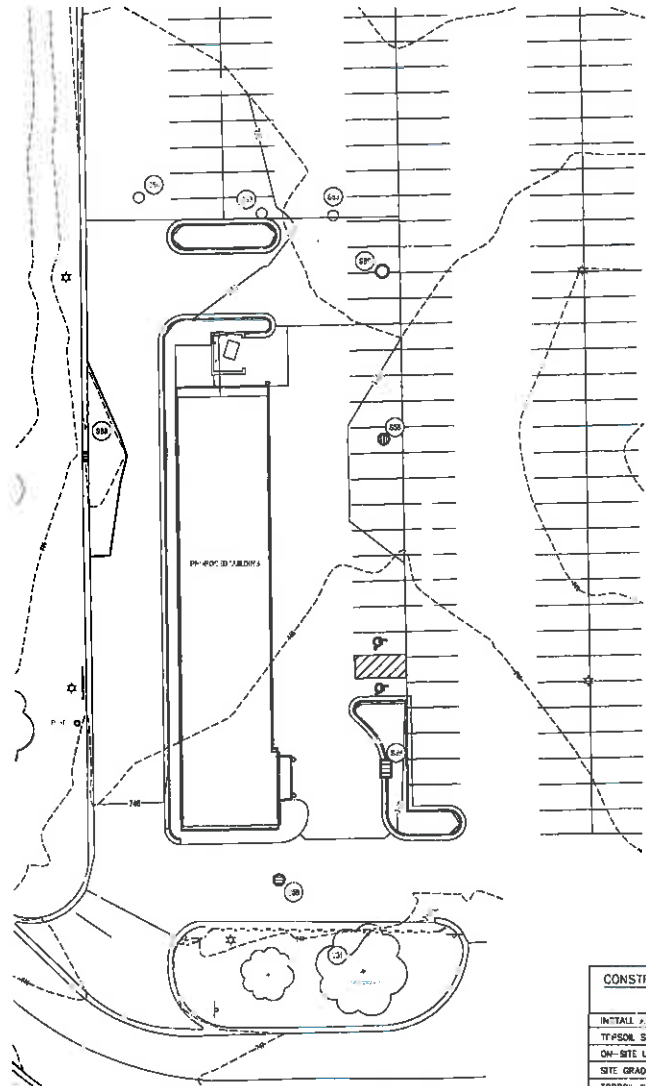
SITE LAYOUT AND LANDSCAPE PLAN
C200



SITE GRADING PLAN
 NORTH
 1"=20'

SPOT ELEVATION LEGEND

47.70	TOP OF CURB
47.71	GUTTER
47.72	FINISHED PAVER SET GRADE



SITE SESC PLAN
 NORTH
 1"=20'

EARTHWORK & GRADING NOTES

- EXISTING GRADE AND PAVEMENT TO BE REMOVED. ALL EXISTING PAVEMENT TO BE REMOVED TO THE SUBGRADE. ALL EXISTING GRADE TO BE REGRADED TO THE FINISHED GRADE. ALL EXISTING GRADE TO BE REGRADED TO THE FINISHED GRADE.
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- EXISTING GRADE TO BE REGRADED TO THE FINISHED GRADE. ALL EXISTING GRADE TO BE REGRADED TO THE FINISHED GRADE.

EROSION CONTROL NOTES

- INSTALL EROSION CONTROL MEASURES AT THE LIMITS OF EARTHWORK TO THE EXTENT OF ANY EARTHWORK OPERATIONS. ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CONSTRUCTION EROSION CONTROL PLAN AND SHALL BE INSTALLED IN ACCORDANCE WITH THE PLAN AND SPECIFICATIONS.
- MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED TO MAINTAIN EFFECTIVE OPERATION OF EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
- KEEP ALL EROSION CONTROL MEASURES CLEAR OF ACCUMULATED SEDIMENT. SEDIMENT SHALL BE REMOVED IMMEDIATELY UPON EXCESSIVE ACCUMULATION AND SHALL BE RELOCATED TO THE NEAREST POINT OF COLLECTION SHALL NOT BE PLACED TO THE DOWN-SLOPE FROM THE AREA WITHIN.
- KEEP ALL EROSION CONTROL MEASURES CLEAR OF ACCUMULATED SEDIMENT. SEDIMENT SHALL BE REMOVED IMMEDIATELY UPON EXCESSIVE ACCUMULATION AND SHALL BE RELOCATED TO THE NEAREST POINT OF COLLECTION SHALL NOT BE PLACED TO THE DOWN-SLOPE FROM THE AREA WITHIN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED TO MAINTAIN EFFECTIVE OPERATION OF EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
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- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED TO MAINTAIN EFFECTIVE OPERATION OF EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.

S-E-S-C KEYING SYSTEM

KEY	DESCRIPTION	SYMBOL	NOTES
551	SILT FENCE	[Symbol]	Use adjacent to curb to prevent sediment from entering parking lot.
552	SILT FENCE WITH SEDIMENT BASIN	[Symbol]	Use at stormwater inlet, especially at construction sites.

CONSTRUCTION SCHEDULE & SEQUENCE

ACTIVITY	SEPT 17	OCT	NOV	DEC	JAN 18	FEB	MAR	APR	MAY	JUN	JULY 18
INITIAL PAVING MAINTAIN TEMPORARY EROSION CONTROLS											
TOPSOIL STRIPPING & STOCKPILING											
ON-SITE UTILITIES											
SITE GRADING & EARTHWORK											
TOPSOIL SPREADING											
PERMANENT SEEDING											
FINISH PAVING LOT BASE & PAVING											

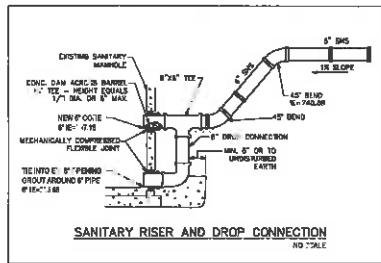
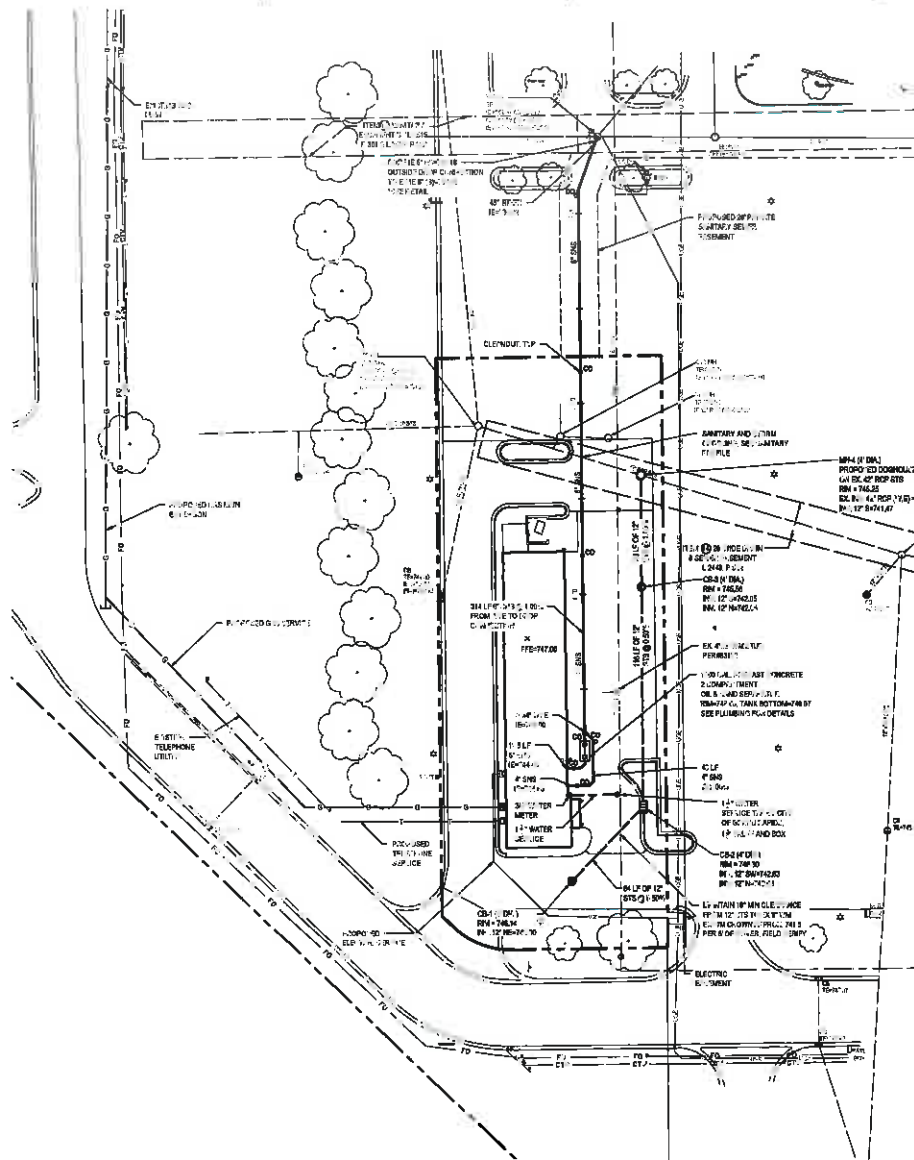
THIS CONSTRUCTION SCHEDULE IS PROVIDED TO INDICATE ANTICIPATED START DATES FOR SITE DISTURBANCE AND ANTICIPATED COMPLETION DATES FOR SITE STABILIZATION AS REQUIRED BY KENT COUNTY FOR SOIL EROSION AND SEDIMENTATION CONTROL. EXACT START AND COMPLETION DATES FOR EACH ACTIVITY SHOULD BE COORDINATED WITH THE CONSTRUCTION MANAGER.

PROPOSED SERVICE CENTER
CHRISTIAN BROTHERS
 2005 STREET
 COVINGTON, MISSISSIPPI 39426
 PHONE: 601.261.1111
 FAX: 601.261.1112
 WWW.PROGRESSIVEAE.COM

ISSUANCES
 DATE: 08/14/18
 BY: JRM
 CHECKED: JRM
 DATE: 08/14/18
 BY: JRM
 PROJECT MGR: JRM

REVISIONS
 NO. DATE DESCRIPTION
 1 08/14/18 FOR CONSTRUCTION

SITE GRADING AND SESC PLAN
C300

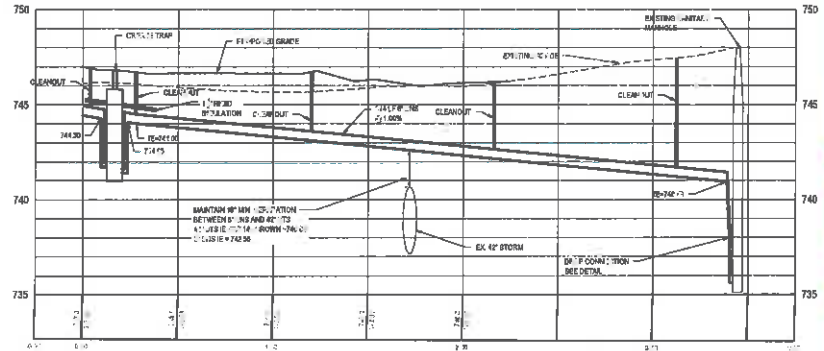


- SANITARY SEWER NOTES**
1. CONTRACTOR SHALL OBTAIN PERMIT TO CONNECT TO SANITARY SYSTEM FROM CITY OF COLUMBIANA, OH.
 2. SANITARY SEWER SERVICE TO COMPLY WITH CITY OF COLUMBIANA SANITARY SEWER REGULATIONS.
 3. CLEANOUT TO BE PROVIDED WHEREEVER THE MAINLINE EXTERIOR WALL OR ALL LATERALS WITHIN THE MAINLINE.
 4. ALL VERTICAL SEWER LATERALS WITHIN THE MAINLINE SHALL BE INSTALLED WITH 1/2" DIA. TEE - HEIGHT EQUALS 1/2" DIA. OR 8" MAX.
 5. TOP OF ALL FOUNDATION DRAINS AND OTHER CLEANOUT LATERAL CONNECTIONS TO BE AT LEAST 1" ABOVE FINISHED GRADE.
 6. REFER TO PLAN AND PLUMPS FOR SCHEDULE OF SERVICE TRAPS AND TRAP CLEANOUTS.
 7. SANITARY SEWER CLEAN OUT TO BE 18" DIA. MIN. DIA.
 8. INSTALL 1/2" DIA. INSULATION BOARD OVER ALL SANITARY SEWER SERVICE TRAPS AND DEEP.

- STORM SEWER NOTES**
1. STORM SEWER PIPE 12" DIA. TO LAP ABOVE ALL OTHER UTILITIES REINFORCED CONCRETE PIPE 48" MIN. PIPE BY 48" PER ALL CITY AND A LATERAL.
 2. POLYETHYLENE GLASS FIBER REINFORCED PLASTIC PIPE NOTED OTHERWISE.
 3. RISE OF DRAIN TO DISCHARGE TO ON GRADE.
 4. RAIN DRAINAGE TO BE INSTALLED AT ALL CATCH BASINS PER ALL CITY ON ALL UTILITIES.

- WATERMAIN NOTES**
1. INSTALL ELASTIC JOINTS WITH MINIMUM 8" OF COVER TO TOP OF PIPE.
 2. PROVIDE A MINIMUM 1' VERTICAL SEPARATION AND 18" OF HORIZONTAL SEPARATION BETWEEN WATERMAIN AND ALL OTHER UTILITIES. TOP OF WATERMAIN TO BE AT LEAST 1" ABOVE FINISHED GRADE. TOP OF OTHER UTILITIES TO BE AT LEAST 1" ABOVE FINISHED GRADE. STANDARD DETAIL TO BE USED.
 3. WATER SERVICE MATERIAL AND INSTALLATION SHALL BE PERFORMED TO CITY OF COLUMBIANA, OH. SPECIFICATIONS.
 4. 2" AND SMALLER WATER MAINS SHALL BE TYPE K COPPER PIPE.
 5. CLOSURE WATER MAIN TAPS WITH CITY OF COLUMBIANA, OH. SPECIFICATIONS.

- GENERAL NOTES**
1. EXISTING UTILITY TO BE SPLIT FOR PROPOSED SITE UTILITY.



CALL B11 NOTE:
CONTRACTOR TO CONTACT B11 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION TO CONFIRM LOCATION OF EXISTING UTILITIES. DIA. B11.

progressive

PROGRESSIVE ENGINEERING & ARCHITECTURE
1000 W. MAIN ST., SUITE 100
COLUMBIANA, OH 43084
TEL: 614.885.1234
WWW.PROGRESSIVE-PA.COM

CHRISTIAN BROTHERS

PROPOSED SERVICE CENTER
2070 W. MAIN ST., SUITE 100
COLUMBIANA, OH 43084

ISSUANCES

BY DATE
C-300-017
08/13/2017
AGENCY REVIEW
08/13/2017
SPECIAL REVIEW
08/13/2017

REVISIONS

NO. DATE DESCRIPTION

NOT FOR CONSTRUCTION

FILE NO: 1600000
DRAWN BY: DURING
CHECKED BY: JLS
PROJECT MGR: JPA

SITE UTILITIES PLAN

C400

STAFF REPORT: Case # 17-3386
REPORT DATE: June 12, 2017
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: June 19, 2017
PREPARED BY: Steve Peterson, Community Development Director

APPLICANT:
Grooters Land Development
4460 44th St Suite C200
Grand Rapids MI 49512

STATUS
OF APPLICANT: owner

REQUESTED ACTION: Site plan approval for 227,500 sq ft warehouse addition.

EXISTING ZONING OF
SUBJECT PARCEL: I, Industrial

GENERAL LOCATION: North Side of 52nd St west of Kraft Ave.

PARCEL SIZE: approximately 11 acres

EXISTING LAND USE
ON THE PARCEL: Vacant

ADJACENT AREA
LAND USES: Industrial
Gerald R Ford Airport

ZONING ON ADJOINING
PARCELS: Industrial
Airport Commerce Subzone 1

STAFF COMMENTS:

1. The applicant is requesting site plan approval in order to construct a 227,500 sq ft building.
2. We have recently awarded approval for a large building just to the north of this, that is under construction.
3. The building conforms to the setback, building height and parking regulations of the Industrial zoning district. They are deferring the construction of 92 parking spaces. The building is required to have 176 spaces. They plan to construct 85 spaces now.
4. The property has no frontage on Kraft Ave or 52nd St. They are obtaining access by easements through the properties to the east and south. The property to the south has an existing easement and the property to the east has created a new easement for access. If you remember the easement did require that they notify the neighbor of the project. We should ensure that this has occurred.
5. The project also requires a lot split to create a new lot for the building. The new parcel will be approximately 11 acres. This meets the minimum lot size of 2 acres for the industrial zoning district.
6. The site has been designed to meet our storm water ordinance and has been reviewed and approved by the township engineer. A maintenance agreement will be required.
7. The Township Fire Department has reviewed and approved the plans.
8. The Gerald R Ford Airport staff has been made aware of the project and has indicated only the need for construction permits.
9. The applicant will need to obtain a SESC permit from the KCRC prior to grading.

10. Section 21.07: Criteria For Site Plan Approval:

The Planning Commission shall use the following criteria in evaluating a site plan submittal:

1. Whether the required information has been furnished in sufficiently complete and understandable form to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.
2. Whether there are ways in which the configuration of uses and structures can be changed which would improve the impact of the development on adjoining and nearby properties, persons, and activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and proposed use and structures.

3. The extent to which natural features and characteristics of the large trees, natural groves, watercourses, and similar will be preserved; the regard given to existing natural features that would add attractiveness to the property and environs if they were preserved; the preservation of natural drainage systems the dedication and/or provision, where appropriate, of scenic easements, natural buffering, and other techniques for preservation and enhancement of the physical environment.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission Approve the site plan with the condition

1. Compliance with the Township engineer report
2. Confirmation that they have informed the neighbor of the project.
3. Record the new deeds within the next 30 days to activate the lot split.

Attachments: Application
 Site Plan
 Twp Engineer Letter



June 13, 2017
Project No. G080322

Mr. Steve Peterson
Cascade Charter Township
2865 Thornhills Avenue, SE
Grand Rapids, MI 49546-7192

Re: Robert Grooters Development Co.
5361 - 52nd Street
Site Plan Review

Dear Steve:

We have reviewed the site plan for Robert Grooters Development Co., located at 5361 - 52nd Street, prepared by Moore & Bruggink, Inc. The current site plan and the basis of this review is dated June 7, 2017. The proposed project is a 227,500 square-foot distribution warehouse and associated parking lot, driveways, and utilities.

Stormwater and Drainage

Flood Control

The proposed project is a new development, so all improvements shall comply with the requirements of the Cascade Charter Township (Township) Stormwater Ordinance (SWO). The site is located in Stormwater Management Zone B, which requires detention of the 25-year storm event. The SWO also requires the first 0.5-inch of stormwater runoff be detained and released over a 24-hour period.

The proposed stormwater management design includes an onsite stormwater detention basin located along the west side of the proposed warehouse and east side of the access drive. The proposed detention basin is connected to an existing detention basin located on the west side of the access drive by an 18-inch culvert beneath the drive. The design 25-year storage volume is provided for in both detention basins. The existing detention basin on the west side of the drive was constructed as part of a previous Robert Grooters Development project (5357 – 52nd Street) and was oversized at the time of construction. The 25-year design storage volume for the 5361 – 52nd Street site is 1.7 acre-feet. 1.0 acre-feet will be stored in the onsite detention basin and the remaining 0.7 acre-feet will be stored in the existing detention basin west of the access drive. Both properties are owned by Robert Grooters Development.

The existing outlet control structure located at the west detention basin will limit the discharge from both detention basins. The outlet control structure discharges at a maximum rate of 0.13 cfs/acre to an existing Michigan Department of Environmental Quality conservation easement.

Summarized in the January 12, 2017 review letter for 5357 - 52nd Street, the proposed development is located at the boundary of two sub-drainage districts, the Kendrick and Gerald R. Ford International Airport (GRFIA) Southwest. The two sub-drainage districts drain to the west and enter the Heintzelman County Drain just upstream of Broadmoor Avenue in the City of Kentwood. The stormwater management design will divert stormwater runoff from the GRFIA Southwest sub-drainage district and discharge it to the Kendrick sub-drainage district. The applicant provided stormwater calculations showing the proposed detained 25-year discharge from the site will be less than the existing 25-year discharge to the Kendrick drainageway, thus not negatively impacting the existing drainageway.

Z:\2008\080322\WORK\CORR\LT_PETERSON_GROOTERS_5361_52ND_2017_0613.DOCX



Water Quality Control

The SWO requires the first 0.5-inch of stormwater runoff be detained and released over a 24-hour period. The stormwater detention basin outlet structure is designed to meet this requirement. The applicant provided calculations and design details for the detention basin and outlet structure and they were found to be in accordance with the SWO.

Stormwater Runoff

The applicant provided stormwater calculations to size the onsite detention basin. All stormwater runoff from the impervious areas of the site will discharge to this basin. Therefore, the site will not see an increase in rate of stormwater leaving the site.

Drainage Plan

The applicant has submitted drawings, calculations, and additional documentation as required in the SWO Section 2.03, Drainage Plan. Please refer to the included checklist for items and comments on each item. Please note a maintenance agreement is required before construction begins. The agreement should be submitted to the Township for review. The maintenance agreement and plan should include at a minimum, cleaning of catch basin sumps, sediment and debris removal from the detention basin, and landscape maintenance of the detention basin to maintain the design volume and ensure the system is operating as it was designed.

Utilities

New public water and sanitary sewer utilities are not proposed with this site plan. They were included with the Robert Grooters Development 5357 – 52nd Street site plan. The 5357 – 52nd Street site plan included new public water and sanitary sewer main extending from 52nd Street north along the access drive and then east in between the 5357 and 5361 – 52nd Street warehouses. New water and sanitary sewer services and laterals are proposed for the 5361 – 52nd Street site. City permits will be required for the water and sanitary sewer connections prior to construction taking place.

Soil Erosion and Sedimentation Control

Soil Erosion and Sedimentation Control (SESC) measures are provided on the plan drawings. The applicant has included silt fence along the limits of clearing and grading, silt sacks in catch basins, and seeding with mulch at all disturbed areas of the site. SESC falls under the review and approval of the Kent County Road Commission and a permit is required before construction can begin. The SESC measures indicated on the drawings appear appropriate given the expected work.

Mr. Steve Peterson
Page 3
June 13, 2017



Summary

The proposed stormwater design meets the Township SWO requirements for new developments. The applicant will need to apply for and obtain a number of permits (SESC, water and sanitary sewer from the City) prior to beginning construction. We recommend approval of the site plan from an engineering standpoint.

If you have any questions or require additional information, please contact me at 616.464.3786 or nrtorrey@ftch.com.

Sincerely,

FISHBECK, THOMPSON, CARR & HUBER, INC.

A handwritten signature in black ink, appearing to read "N. Torrey", is positioned above the printed name.

Nathan R. Torrey, PE

jlk

Attachment

By email

cc: Michael L. Berrevoets, PE – FTCH



Cascade Charter Township

Storm Water Ordinance, Ordinance 7 of 2002, as amended by Ordinance No. 2 of 2008, 5/14/2008

Reviewing Engineer Comments are Italicized

OK – Received and Acceptable

NA – Not Applicable

NR – Not Received, Needs Follow-up, See Comments

Robert Grooters Development Co.

5361 52nd Street

Drainage Plan Checklist

- OK (1) Location of the development site and water bodies that will receive storm water runoff
All stormwater runoff from the site is collected in an onsite detention basin and discharges to an existing MDEQ conservation easement west of the site.
- OK (2) Existing and proposed topography of the development site, including the alignment and boundary of the natural drainage courses, with contours having a maximum interval of one foot (using USGS datum). The information shall be superimposed on the pertinent Kent County soil map
Existing and proposed contours have been provided.
- OK (3) Development tributary area to each point of discharge from the development
Stormwater calculations and tributary areas were provided by the applicant.
- OK (4) Calculations for the final peak discharge rates
Applicant provided calculations in design of the detention basin and outlet control structure.
- OK (5) Calculations for any facility or structure size and configuration
Stormwater runoff calculations were provided by the applicant.
- OK (6) Drawing showing all proposed storm water runoff facilities with existing and final grades
The applicant provided a utility plan showing all proposed stormwater runoff facilities.
- OK (7) The sizes and locations of upstream and downstream culverts serving the major drainage routes flowing into and out of the development site. Any significant off-site and on-site drainage outlet restrictions other than culverts should be noted on the drainage map
An existing 18-inch culvert is located beneath the access drive. The proposed detention basin will discharge through this culvert into an adjacent detention basin, west of the access drive, also owned by Grooters. The applicant did not indicate any significant offsite drainage patterns into the site.
- OK (8) An implementation plan for construction and inspection of all storm water runoff facilities necessary to the overall drainage plan, including a schedule of the estimated dates of completing construction of the storm water runoff facilities shown on the plan and an identification of the proposed inspection procedures to ensure that the storm water runoff facilities are constructed in accordance with the approved drainage plan
A construction schedule was included on the plans.



- OK (9) Plan to ensure the effective control of construction site storm water runoff and sediment track-out onto roadways
SESC falls under the review and approval of the KCRC and a permit is needed before construction can begin. The SESC measures indicated on the drawings appear appropriate given the expected work.
- OK (10) Drawings, profiles, and specifications for the construction of the storm water runoff facilities reasonably necessary to ensure that storm water runoff will be drained, stored, or otherwise controlled in accordance with this ordinance
The applicant provided calculations and design details for construction of the onsite storm sewer system.
- NR (11) Maintenance agreement, in form and substance acceptable to the Township, for ensuring maintenance of any privately owned storm water runoff facilities. The maintenance agreement shall include the developer's written commitment to provide routine, emergency, and long-term maintenance of the facilities and, in the event that the facilities are not maintained in accordance with the approved drainage plan, the agreement shall authorize the Township to maintain any on-site storm water runoff facility as reasonably necessary, at the developer's expense
Maintenance agreement was not provided and is required.
- OK (12) Name of the engineering firm and the registered professional engineer that designed the drainage plan and that will inspect final construction of the storm water runoff facilities
- NA (13) All design information must be compatible for conversion to Grand Valley Regional Geographic Information System (REGIS)
This is a privately owned system and will not be uploaded to REGIS.
- OK (14) Other information necessary for the Township to verify that the drainage plan complies with the Township's design and performance standards for drains and storm water management systems



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan
49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: 5361 52nd St., LC
Address: 4460 44th Street SE, Suite C-200
City & Zip Code Grand Rapids, MI 49512
Telephone: 616-776-0033
Email Address: janetm@rgdc.com

OWNER: * (If different from Applicant)

Name: _____
Address: _____
City & Zip Code: _____
Telephone: _____
Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. – Rezoning * |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Subdivision Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

Construct 227,500 sft. warehouse

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY**:

See Attached

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 pending

ADDRESS OF PROPERTY: 5361 52nd Street

PRESENT USE OF THE PROPERTY: Vacant

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
N/A	

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Robert Grooters
Owner – Print or Type Name
(*If different from Applicant)

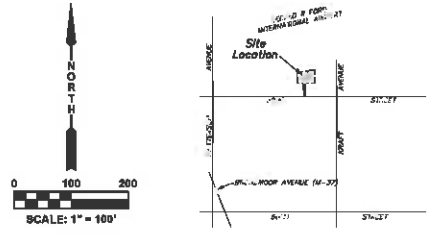
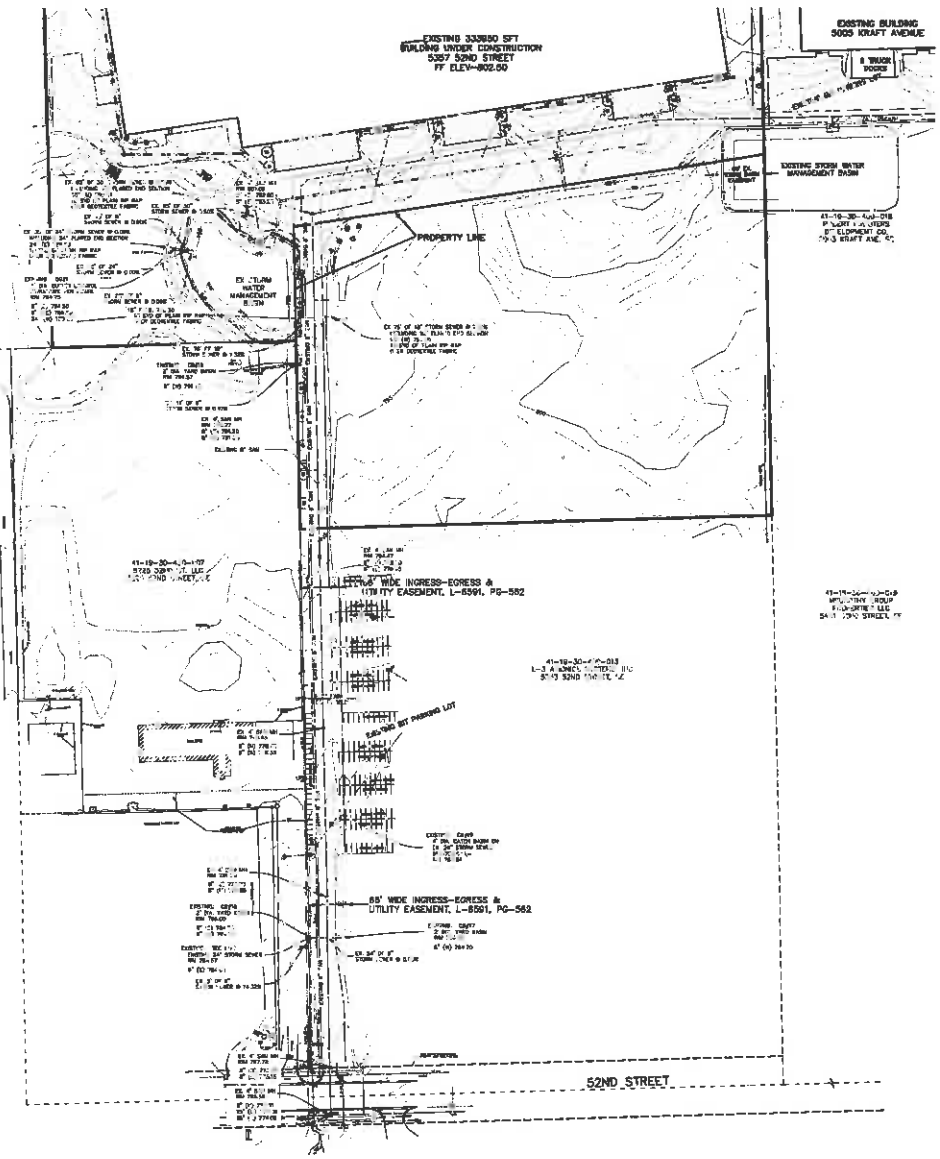
5361 52nd St., LC
Applicant – Print or Type Name

Owner's Signature & Date
(*If different from Applicant)
Robert Grooters 5-24-17

Applicant's Signature & Date
Robert Grooters

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

41-19-30-4-117
 52ND STREET, L-5
 6000 HENRIKSE ST, E



PROPERTY DESCRIPTION
 5361 52ND STREET

That part of the Southeast one-quarter of Section 30, Twp 8 North, Range 10 West, Cassopolis Township, Kent County, Michigan, described as COMMENCED at the South one-quarter corner of said Section 30, thence North 07°27'21" East 1032.00 feet along the North-South one-quarter line of said section; thence North 88°27'21" East 1000.00 feet along the North line of the Southeast one-quarter of the Southeast one-quarter of said section to the PLACE OF BEGINNING; thence North 07°27'21" East 200.00 feet parallel with said North-South one-quarter line of said section; thence North 87°27'21" East 534.11 feet; thence South 07°19'13" East 632.80 feet along the East line of the Southeast one-quarter of the Southeast one-quarter of said section; thence South 87°27'21" East 822.25 feet parallel with the South line of said section; thence North 07°27'21" West 327.87 feet to the place of beginning.

11,0187 acres

TOGETHER WITH an easement for ingress, egress and public utilities (including, without limitation, the right to traverse, maintain, repair, improve and install a driveway and utility easements) over and over the following described property: the West 86.00 feet of the South 1000.00 feet of the East 534.11 feet of the West one-quarter of the Southeast one-quarter of Section 30, Twp 8 North, Range 10 West, Cassopolis Township, Kent County, Michigan.

SUBJECT TO an easement for ingress, egress and public utilities located in part of the Southeast one-quarter of Section 30, Twp 8 North, Range 10 West, Cassopolis Township, Kent County, Michigan, described as COMMENCED at the South one-quarter corner of said section 30, thence North 87°27'21" East 1000.00 feet along the South line of said section; thence North 07°27'21" East 1000.00 feet parallel with said North-South one-quarter line of said section to the PLACE OF BEGINNING; thence North 07°27'21" East 384.67 feet; thence North 87°27'21" East 66.73 feet; thence South 07°27'21" East 328.30 feet parallel with the North-South one-quarter line of said section; thence South 87°27'21" East 86.00 feet parallel with the South line of said section to the place of beginning.

SUBJECT TO easements, restrictions and rights of any of record.

- SHEET SCHEDULE**
- 1 TOPOGRAPHIC SURVEY
 - 2 SITE PLAN
 - 3 GRADING & SOIL EROSION CONTROL
 - 4 UTILITY PLAN
 - 5 LANDSCAPE PLAN
 - 6 CONSTRUCTION DETAILS
- PREPARED FOR:
 MOORE & BRUGGINK, INC.
 4000 AFRY STREET, SE SUITE C-209
 GRAND RAPIDS, MI 49508
 TEL: (616) 776-4000
 FAX: (616) 776-4000
 WWW.MBCI.COM

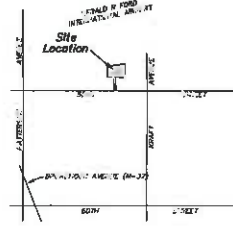
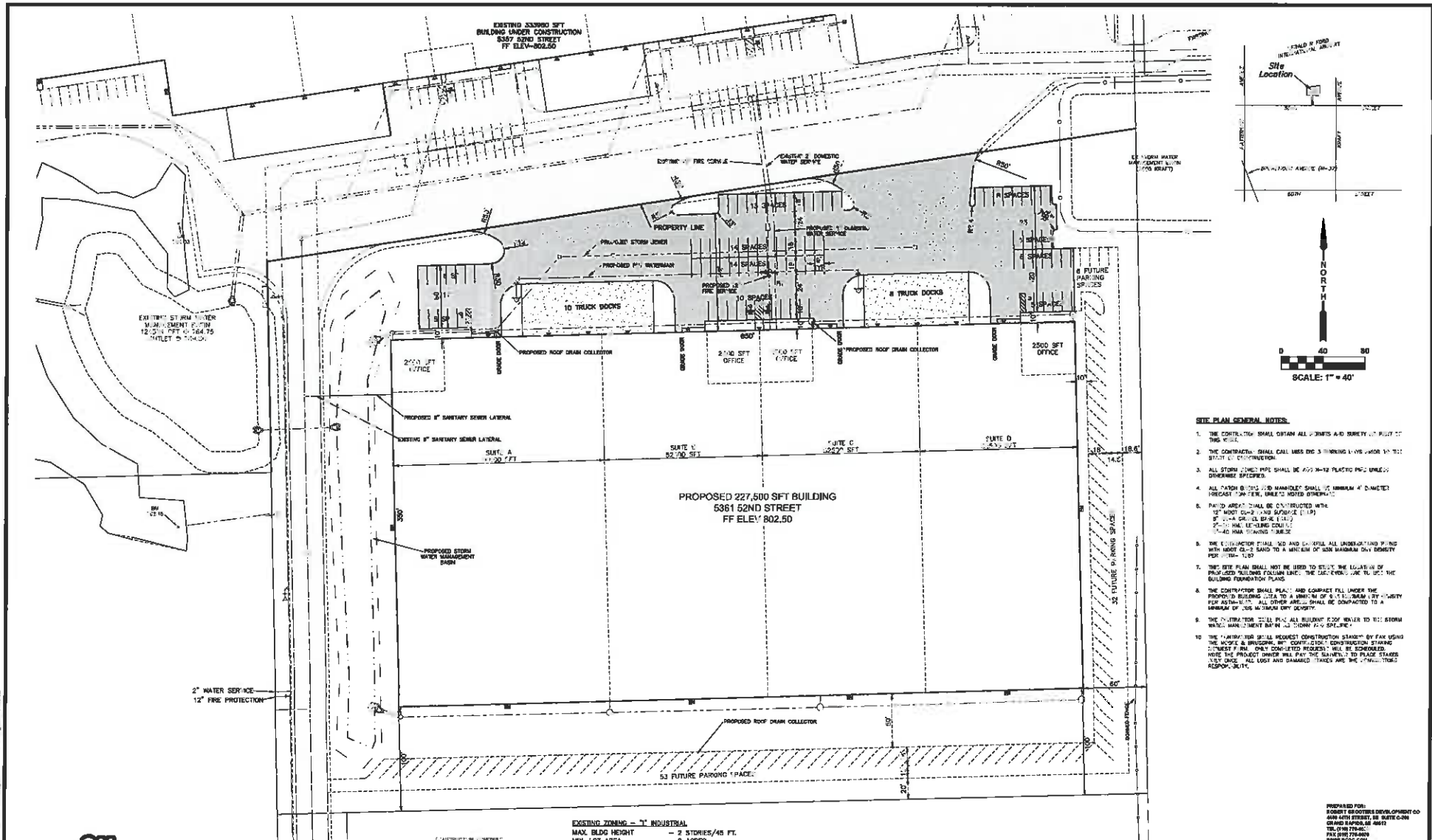
PLAN REVISIONS	BOUNDARY & TOPOGRAPHIC SURVEY FOR 5361 52ND STREET CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN MOORE & BRUGGINK, INC. Consulting Engineers 2020 Monroe Avenue N.W. Grand Rapids, Michigan 49505-6298 Phone: (616) 363-0901 Web: www.mbrace.com	FIELD SURVEY (ENR): MAY 2017 DESIGNED BY: MBC CHECKED BY: TJR PLAN DATE: JUNE 15, 2017 PROJECT NO.: 10200102 SHEET NUMBER 1 OF 6
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Know what's below,
 Call before you dig.

UBR: Easements are approximate only.
 Please contact "811" first, then marking
 easements prior to the start of construction
 for utility locations. (1-800-485-7171)

41-19-30-4-117 52ND STREET, L-5 6000 HENRIKSE ST, E



- SITE PLAN GENERAL NOTES:**
1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURVEY AS PART OF THIS PROJECT.
 2. THE CONTRACTOR SHALL CALL LINES AND MARKING LINES PRIOR TO THE START OF CONSTRUCTION.
 3. ALL STORM DRAIN PIPE SHALL BE 30" DIA. PLASTIC PIPE UNLESS OTHERWISE SPECIFIED.
 4. ALL PATCH BLENDS AND MANHOLES SHALL BE UNIFORM IN DIMENSION. FORECAST PATCHES UNLESS NOTED OTHERWISE.
 5. PATCH AREAS SHALL BE CONSTRUCTED WITH:
 - 3" MIN. GRAVEL SAND SURFACE (1.5")
 - 3" MIN. DRILL BIT BASE (1.5")
 - 3" MIN. H.A.S. FILLING (1.5")
 - 1" MIN. H.A.S. FINISH (1.5")
 6. THE CONTRACTOR SHALL SO AND EXPOSE ALL UNDERGROUND PIPING WITHIN 6" OF GRADE TO A MINIMUM OF 30" MINIMUM DRAIN DENSITY PER 100' x 100'.
 7. THIS SITE PLAN SHALL NOT BE USED TO DETERMINE THE LOCATION OF PROPOSED BUILDING FOUNDATION LINE. THE CONTRACTOR SHALL USE THE BUILDING FOUNDATION PLANS.
 8. THE CONTRACTOR SHALL FILL AND COMPACT FILL UNDER THE PROPOSED BUILDING TO A MINIMUM OF 4" FILL DRAIN DENSITY PER 100' x 100'. ALL OTHER AREAS SHALL BE COMPACTED TO A MINIMUM OF 3" FILL DRAIN DENSITY.
 9. THE CONTRACTOR SHALL FILL ALL BUILDING FOOTPRINTS TO THE STORM WATER MANAGEMENT SYSTEM WITH 12" SP. FILL.
 10. THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAGES BY FAX USING THE WORKS & MATERIALS BY CONSTRUCTION STAGES. THESE STAGES SHALL BE ONLY COMPLETED PROJECTS. WILL BE SCHEDULED. WHEN THE PROJECT OWNER WILL PAY THE SAME TO THE PLAZA STAGES. ALL LOST AND DAMAGED TAKEN ARE THE CONTRACTOR'S RESPONSIBILITY.

EXISTING ZONING - "I" INDUSTRIAL

MAX. BUILD HEIGHT - 2 STORIES/45 FT.
 MIN. LOT AREA - 2 ACRES
 MIN. LOT WIDTH - 200 FT.
 MIN. FRONT YARD SETBACK - 100 FT.
 MIN. SIDE YARD SETBACK - 25 FT.
 MIN. REAR YARD SETBACK - 50 FT.

PARKING REQUIREMENTS:

OVERALL BUILDING = 227,500 SFT
 OFFICE SPACE = 10,000 SFT - 3 SPACES PER EVERY 1000 SFT.
 WAREHOUSE SPACE = 217,500 SFT - 57 SPACES PER EVERY 1000 SFT.
 = 146 SPACES REQUIRED

176 TOTAL SPACES REQUIRED
 177 TOTAL SPACES PROVIDED
 (86 PROPOSED, 92 FUTURE)

CONSTRUCTION SCHEDULE

ITEM	START	END	STATUS
1. SITE PREP	01/15/11	02/15/11	COMPLETE
2. EXISTING BUILDING DEMO	02/15/11	03/15/11	COMPLETE
3. FOUNDATION	03/15/11	04/15/11	COMPLETE
4. ROOF	04/15/11	05/15/11	COMPLETE
5. WALLS	05/15/11	06/15/11	COMPLETE
6. INTERIORS	06/15/11	07/15/11	COMPLETE
7. EXTERIORS	07/15/11	08/15/11	COMPLETE
8. UTILITIES	08/15/11	09/15/11	COMPLETE
9. LANDSCAPE	09/15/11	10/15/11	COMPLETE
10. FINISH	10/15/11	11/15/11	COMPLETE

PLAN REVISIONS

NO.	DATE	DESCRIPTION

SITE PLAN FOR 5361 52ND STREET

CLASADO TO WYNSHP, KENT COUNTY, MICHIGAN

MOORE & BRUGGINK, INC.
 Consulting Engineers
 2028 Moore Avenue N.W.
 Grand Rapids, Michigan 49505-4298
 Phone: (616) 363-9601 Web: www.mbc.com

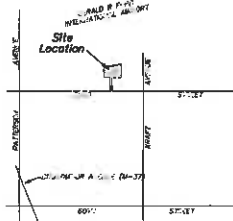
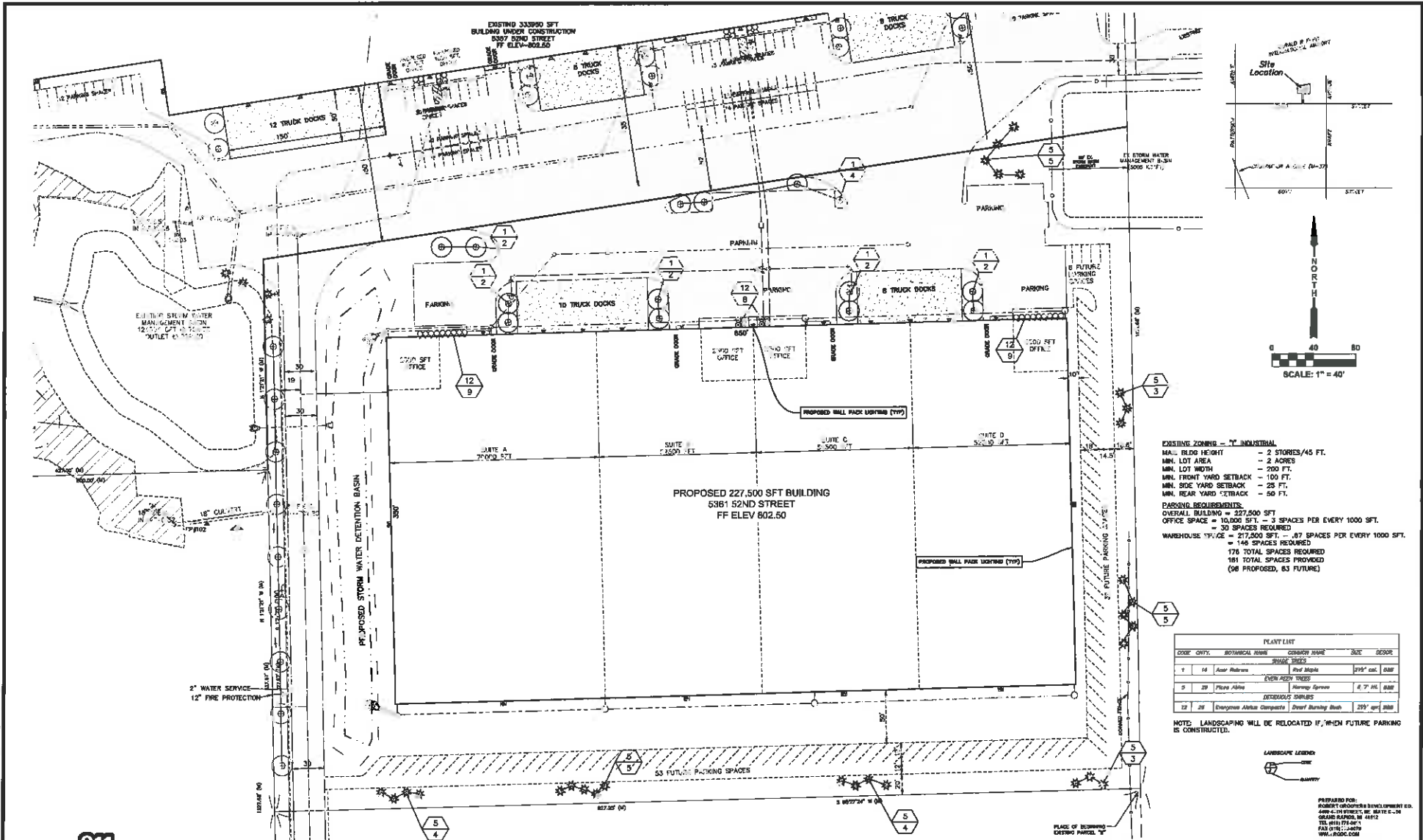
PREPARED FOR: ROBERT SCOTT'S DEVELOPMENT CO
 4000 ANDERSON BL. SUITE 200
 GRAND RAPIDS, MI 49507
 TEL: (616) 778-4000
 FAX: (616) 778-4000
 WWW: RSCDC.COM

FIELD DRAWN BY: JMK
 DESIGNED BY: JMK
 CHECKED BY: JMK
 PLAN DATE: JUNE 21, 2011
 PROJECT: 13070000

SHEET NUMBER: 2 OF 6

811
 Know what's below.
 Call before you dig.

Utility locations are approximate and should not be used as a substitute for a utility map. Call before you dig. For more information, call 1-800-327-7111.



EXISTING ZONING - "I" INDUSTRIAL

- MAX. BLDG HEIGHT - 2 STORES/45 FT.
- MIN. LOT AREA - 2 ACRES
- MIN. LOT WIDTH - 200 FT.
- MIN. FRONT YARD SETBACK - 100 FT.
- MIN. SIDE YARD SETBACK - 25 FT.
- MIN. REAR YARD SETBACK - 50 FT.

PARKING REQUIREMENTS:

- OVERALL BUILDING = 227,500 SFT
- OFFICE SPACE = 10,000 SFT = 3 SPACES PER EVERY 1000 SFT.
- = 30 SPACES REQUIRED
- WAREHOUSE SPACE = 217,500 SFT. = 87 SPACES PER EVERY 1000 SFT.
- = 146 SPACES REQUIRED
- 176 TOTAL SPACES REQUIRED
- 181 TOTAL SPACES PROVIDED
- (56 PROPOSED, 63 FUTURE)

PLANT LIST					
CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	DESCR.
1	16	<i>Asar Rubra</i>	Red Maple	2 1/2" dia.	DBR
EVEN NEEDY TREES:					
2	28	<i>Platanus</i>	Honey Sycamore	4" 7" dia.	DBR
DECIDUOUS SHRUBS:					
3	28	<i>Euonymus Alata Compacta</i>	Shrub Burning Bush	2 1/2" dia.	DBR

NOTE: LANDSCAPING WILL BE RELOCATED IF, WHEN FUTURE PARKING IS CONSTRUCTED.



PREPARED FOR:
ROBERT GORONIA & DEVELOPMENT CO.
4884 W. FRENCH RD. SUITE C-24
GRAND RAPIDS, MI 49512
735.616.7740
FAX 735.616.7400
WWW.RGBDC.COM



Know what's below.
Call before you dig.

Utility locations are approximate only. Please contact "Map-It" before digging and prior to the start of construction for exact locations. (1-800-487-7111)

- SHEET SCHEDULE**
- 1 TOPOGRAPHIC SURVEY
 - 2 SITE PLAN
 - 3 GRADING & SOIL EROSION CONTROL
 - 4 UTILITY PLAN
 - 5 LANDSCAPE PLAN
 - 6 CONSTRUCTION DETAILS

PLAN REVISIONS _____ _____ _____ _____ _____	LANDSCAPE PLAN FOR 5361 52ND STREET CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN MOORE & BRUGGINK, INC. Consulting Engineers 2000 Niagara Avenue, N.W. Grand Rapids, Michigan 49503-4038 Phone: (616) 363-9800 Web: www.mbrinc.com	PREPARED BY: [Signature] DATE: 06/11/09 DESIGNED BY: [Signature] CHECKED BY: [Signature] PLOTTED BY: [Signature] DATE: JUNE 11, 2009 PROJECT NO: 090109-01 SHEET NUMBER: 5 OF 6
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MEMORANDUM

To: John Weiss, GVMC Executive Director
From: Terry Schweitzer, City of Kentwood
Mark Sisson, Gaines Township
Lynee Wells, Caledonia Township
Steve Peterson, Cascade Township
Date: June 5, 2017
Subject: Four Corners study group

John, at the start of the year you convened a variety of agency and local government representatives to start discussing the issues in and around the "four corners" area (the collective four mile areas of each community common to the intersection of Patterson Avenue and 60th Street). You asked the question of whether or not the Four Corners group should be reinstated. This memo is our response that question.

This effort, in part, was to identify critical development issues and to determine if there is a need to reinstate the four corners group. For perspective, it is important to point out that the Four Corners group that previously existed was folded into the sub-regional planning effort of the GVMC. When GVMC eliminated its land use planning function the sub regional planning effort to support groups like Four Corners was lost.

After careful review and consideration by the planners representing the respective four communities, a series of issues have been identified that merit further study, along with perspective on who might best carry this out.

1. Utilities. It would be desirable to initiate an assessment of the capacity of both public and private utilities to service the area. This includes sanitary sewer, public water, electric, cable, internet, gas, fiber-optics, etc. The goal would be to identify any pinch points in the systems that may need to be corrected or planned for, so that important economic development will not be unnecessarily slowed or impeded.
2. Transportation. It would be desirable to initiate a proactive process to assess the maintenance and capacity of the existing road system in the area while anticipating the buildout of the area. This study would not only take on the regional traffic needs of the road network system but would take into account context sensitive design parameters as determined by local perspective and vision. This transportation plan would include at least the following:
 - i. MDOT plan for M-37 including access control policies.

- ii. KCRC plan for surface streets in the area.
 - iii. Non-motorized transportation plan, i.e. sidewalk, bike path, bike lanes, within the public rights-of-way.
 - iv. Passenger and freight rail service including support of the coast to coast passenger trail as well as preservation of the rail spur off the CSX line.
 - v. The prospect of transit service extensions into this area.
3. Public Safety. It would be desirable to initiate a study to evaluate the current provision of these fire and police services and to determine the most efficient and effective solutions to address the challenges in this growing multi-jurisdictional area.

During our review of these issues, it seemed apparent that the GVMC would be the best agency to undertake the lead in this effort. While participation from local governments and other agencies will be imperative, a regional perspective and approach to these issues would offer the most efficient use of time and resources.

Just as the outcomes of the above studies are unknown at this time, the question of whether there is a need to formally reinstate the Four Corners group also remains largely unanswered. After the study of these issues is completed we will be in a much better position to answer the question of whether or not some form of Four Corners 2.0 is appropriate.