



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan 49546-7140

NOTICE OF PUBLIC MEETING VIA VIDEO CONFERENCE

In accordance with Executive Order 2020-75, which declares that public bodies subject to the Open Meetings Act can use telephone and/or video conferencing technology to meet and conduct business during the ongoing COVID-19 pandemic, the Cascade Charter Township Planning Commission will conduct a regular meeting on Monday, September 21, 2020 at 7:00pm utilizing the Zoom video conferencing platform, for the purpose of conducting official business while complying with Executive Order 2020-77 and the Michigan Department of Health and Human Services recommendations designed to help prevent the spread of COVID-19. For up-to-date information regarding the ongoing public health crisis, please visit:

<http://www.Michigan.gov/coronavirus> or <http://www.CDC.gov/coronavirus>

INSTRUCTIONS FOR ACCESS AND PARTICIPATION

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/87841721559>

Or iPhone one-tap :

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Webinar ID: 878 4172 1559

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Members of the public with disabilities may utilize the Michigan Relay System (7-1-1) to participate in the meeting. If other aids or services are needed for individuals with disabilities please contact the Township Deputy Clerk, Padley Gallagher, at pgallagher@cascadetwp.com or 616-949-1500 at least 24 hours prior to the meeting

PUBLIC PARTICIPATION

Members of the public will be able to listen to and view all discussion by the Planning Commission, and all official materials for this meeting prepared for the Planning Commission

will be included in the meeting packet and available to the public on the Township website.

www.cascadetwp.com

Individuals will be permitted to speak during public comment periods in accordance with the Township Remote Public Meeting Procedure Policy.

If you would like to contact the Township about any matter, on the agenda or otherwise, please do so via email at the addresses below a minimum of 8 hours prior to the meeting. If you wish comments to be read into the public record during the public comment period, you must indicate so and draft communication that can be read in the allotted 3-minute timeframe.

Clerk Sue Slater: sslater@cascadetwp.com

Manager Ben Swayze: bswayze@cascadetwp.com

Community Dev. Director: speterson@cascadetwp.com

MINUTES
Cascade Charter Township
Planning Commission
Monday, September 14, 2020
7:00 P.M.

ARTICLE 1. Chairman Rissi called the meeting to order at 7:00 P.M.
Members Present: Slater, Rissi, Johnson, Katsma, Krieter, Deering, Rapin, Noordyke, Moxley
Members Absent: None
Others Present: Community Development Director, Steve Peterson and Planner, Brian Hilbrands

ARTICLE 2. Pledge of Allegiance.

ARTICLE 3. Approve the current Agenda.

Motion was made by Member Deering to approve the Agenda. Supported by Member Johnson. Motion carried 9 to 0.

ARTICLE 4. Approve the Minutes of the August 10, 2020 meeting.

Motion was made by Member Katsma to approve the revised minutes of August 10, 2020. Supported by Member Krieter. Motion carried 9 to 0.

ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.

No visitors came forward.

ARTICLE 6. Case 20-3595/Mayton
Public Hearing

Property Address: 1468 Buttrick Ave SE

Requested Action: The applicant is requesting a special use permit to construct an accessory building over 832 square feet.

Planner Brian Hilbrands stated that the proposed building is 26x41 ft with a 13x20 ft covered patio. This totals the building at 1,326 sq ft, with a height of 16 ft tall, which is measured to the midpoint of the roof. This height requires a setback of 40 feet, Mr. Hilbrands stated, and there is a setback shown of 40 ft 2 in on the west property line, and a setback of just over 100 ft to the north property line. Mr. Hilbrands stated that the property is under 3 acres, so this is the only accessory building permitted to be on the property. Mr. Hilbrands stated that the applicant plans to use the building as a garage, and as a kitchen/bath area for a pool that they are putting in. Mr. Hilbrands states that the building is normal in size and appearance for the area.

Mr. Hilbrands states that the building is shown to be located over an existing well, so prior to a building permit being issued, the applicant will have to obtain a well permit from the Health Department in order to move the well.

Mr. Hilbrands states that the applicant meets Township standards for an accessory building, he is recommending approval of the special use permit with the following three conditions:

1. The building is not used for living space or to run a business.
2. Any outdoor lighting meets Township regulations.
3. A permit is obtained from the Health Department to move the existing well.

Chairman Rissi invited the applicant to comment. The applicant did not comment.

Motion was made by Member Rapin to open public hearing. Supported by Member Deering. Motion carried 9 to 0.

No members of the public came forward to speak to this case.

Motion was made by Member Johnson to close public hearing. Supported by Member Slater. Motion carried 9 to 0.

Motion was made by Member Moxley to approve the accessory building special use permit under the conditions that it cannot be used for living space or to run a business out of, all lighting meet Township requirements, and that a permit is obtained from the Health Department to move the existing well. Supported by Member Krieter. Motion carried 9 to 0.

ARTICLE 7. Case #20-3600/Grzywacz

Public Hearing

Property Address: 8683 Cascade Road Se

Requested Action: The applicant is requesting a special use permit to construct an accessory building over 832 square feet.

Mr. Hilbrands stated that the proposed building is 30x40 with a 6x40 covered deck. This totals the building at 1,440 sq ft, with a height of 13 ft tall, which is measured to the midpoint of the roof. This height requires a setback of 10 ft. There is a setback shown of 10 feet to the west property line, and over 200 ft to the north property line. Mr. Hilbrands states that the property is between 3 and 6 acres, so they are permitted to have 2 accessory buildings on their property. Mr. Hilbrands stated that the applicant intends to use the building for storage, and that the building is normal in size and appearance for the area.

Mr. Hilbrands states that the applicant meets Township standards for an accessory building, he is recommending approval of the special use permit with the following two conditions:

1. The building is not used for living space or to run a business.
2. Any outdoor lighting meets Township regulations.

Chairman Rissi invited the applicant to comment.

Mr. Dan Grzywacz came forward to thank Staff and the Planning Commission for their service and consideration.

Motion was made by Member Slater to open public hearing. Supported by Member Rapin. Motion carried 9 to 0.

No members of the public came forward to speak to this case.

Motion was made by Member Krieter to close public hearing. Supported by Member Katsma. Motion carried 9 to 0.

Motion was made by Member Slater to approve the accessory building special use permit under the conditions that it cannot be used for living space or to run a business out of, and that all lighting meet Township requirements. Supported by Member Moxley. Motion carried 9 to 0.

ARTICE 8.

Case #20-3602/Robert Grooters development Co.

Property Address: 5400 International Pkwy/Kraft Ave

Requested Action: Site plan review for a new 112,188 sq ft distribution/warehouse facility building.

Director Peterson stated that this same site plan was approved just over a year ago, however action needs to be taken on the approval otherwise it expires in one year. No action was taken (building permit or construction), so the approval has expired. Director Peterson states that this approval is for the same site plan.

Director Peterson states that there is not a user yet, so this would be considered speculative use space at this time, and that it is located in the Meadowbrook Business Park so they do have to meet all Meadowbrook required uses. Director Peterson states that he does have all approvals from Meadowbrook Business Park, Kent County Road Commission, and the Township Engineer. Director Peterson stated one thing to note is that the Road Commission is requiring a slight modification to the median on International Pkwy to accommodate the driveway; this was also required when this site plan was approved the first time.

Director Peterson is recommending approval of the site plan with the following conditions:

1. A revised photometric site plan that shows outdoor lighting is provided.
2. Storm water maintenance needs to be recorded.

Member Moxley asks Director Peterson about the number of people that will be working at the facility as there are not many parking spaces. Director Peterson replies that it will likely be warehouse use which does not require a lot of parking; they do have reserve space available if needed.

Member Moxley asks for clarification as to what is near the south property line, Director Peterson states that it is a railroad bed.

Chairman Rissi asks Director Peterson if the stormwater runoff system accounts for the possible future hardscape of the reserve parking lot if needed. Director Peterson replies that yes, it is taken into account, and that Meadowbrook has the benefit of regional detention that was planned many years ago when Meadowbrook was forming.

Chairman Rissi invited the applicant to comment.

Mr. Justin Longstreth (from Moore and Bruggink) who represents Robert Grooters Development Co., stated that this is the same plan that was presented a year ago, and they are looking forward to moving forward with this project at this time.

Chairman Rissi invited the public to comment. No comment was made.

Motion was made by Member Rapin to approve the site plan review with staff conditions that a revised photometric site plan that shows outdoor lighting is provided and storm water maintenance is recorded. Supported by Member Johnson. Motion carried 9 to 0.

ARTICLE 9. Any other business

Director Peterson states that there will be a meeting held next week, 9/21/20.

Chairman Rissi stated that there is a portable speed limit sign on 45th Street, however there are no speed limit signs around. Director Peterson stated that the Sheriffs Office rotates those portable signs around, and that he will check with them to make sure there is no conflict in that area.

ARTICLE 10. Adjournment

Motion was made by Member Noordyke to adjourn. Supported by Member Slater. Motion carried 9 to 0. The meeting was adjourned at 7:23 p.m.

Respectfully submitted,
Brett Katsma, Secretary

AGENDA
Cascade Charter Township Planning Commission
Monday, September 21, 2020
7:00 pm
Virtual Zoom Meeting

- ARTICLE 1. Call the meeting to order
Record the attendance**
- ARTICLE 2. Pledge of Allegiance to the Flag**
- ARTICLE 3. Approve the current Agenda**
- ARTICLE 4. Approve the Minutes of the September 14, 2020 meeting**
- ARTICLE 5. Acknowledge visitors and those wishing to speak to non-agenda items.
(Comments are limited to five minutes per speaker.)**
- ARTICLE 6. Case #20-3598/Maslowski
Public Hearing
Property Address: 9585 60th St SE
Requested Action: The applicant is requesting a special use permit to construct an addition to an accessory building that would make it larger than 832 square feet.**
- ARTICLE 7. Case #20-3601/Poolman
Public Hearing
Property Address: 6667 60th St SE
Requested Action: The applicant is requesting a special use permit to construct an addition to an accessory building that would make it larger than 832 square feet.**
- ARTICLE 8. Case # 20-3599/Green Castle Properties
Property Address: 6095, 6115, and 6143 28th St SE
Requested Action: The applicant is requesting a basic plan review for an amendment to the PUD to accommodate a new car dealership.**
- ARTICLE 9. Case #20-3579/BDR Custom Homes
Property Address: 1370 Buttrick Ave
Requested Action: Develop into 19 detached single-family site condominium project.**
- ARTICLE 10. Any other business**
- ARTICLE 11. Adjournment**

Meeting format

1. **Staff Presentation** *Staff report and recommendation*
2. **Project presentation-** *Applicant presentation and explanation of project*
 - a. **PUBLIC HEARINGS**
 - i. *Open Public Hearing. Comments are limited to five minutes per speaker; exception may be granted by the chair for representative speakers and applicants*
 - ii. *Close public hearing*
3. **Commission discussion –** *May ask for clarification from applicant, staff or public*
4. **Commission decision - Options**
 - a. *Table the decision*
 - b. *Deny*
 - c. *Approve*
 - d. *Approve with conditions*
 - e. *Recommendation to Township Board*

STAFF REPORT

STAFF REPORT: Case #20-3598/Maslowski
REPORT DATE: September 14, 2020
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: September 21, 2020
PREPARED BY: Brian Hilbrands, Planner

APPLICANT:
Bradley Maslowski
9585 60th St SE
Alto, MI 49302

STATUS
OF APPLICANT: Property Owner

REQUESTED ACTION: The applicant is requesting a special use permit to construct an addition to an accessory building that would make it larger than 832 square feet.

EXISTING ZONING OF
SUBJECT PARCEL(S): ARC, Residential

GENERAL LOCATION: Corner of 60th St and Snow Ave

PARCEL SIZE: Approximately 2 acres

EXISTING LAND USE
ON THE PROPERTY: Residential

ADJACENT AREA
LAND USES: All Residential

ZONING ON
ADJOINING PARCELS: N – ARC
S – Caledonia Township
E – Lowell Township
W – ARC

STAFF COMMENTS:

1. The applicant is requesting permission to construct an addition to accessory building on the property. It would be a 24' x 30' addition to the current 24' x 24' building (1,296 sq ft).

2. The building will be 12'4.5" feet tall as measured to the midpoint of the roof.
3. This requires a minimum of a 35-foot setback from the road right-of-way and a 10-foot setback from the side property line. The applicant shows a setback of 63' from the right-of-way and a setback of 169' to the side property line. The building will also need to be a minimum of 10 feet away from the house.
4. A variance was needed for the addition since the accessory building is in the front yard. The variance was approved at the September 8, 2020 Zoning Board of Appeals meeting. The one condition of the variance was that any access to the building comes off 60th Street.
5. With less than 3 acres this is the only accessory building permitted.
6. The applicant has indicated that the building will be used for storage.
7. The size of the building is "normal" for the area.
8. The building is planned to have shingled roofing and vinyl siding. This is normal for the area.
9. Any outdoor lighting will have to meet our standards, requiring it to be shielded and downcast or at a level that is exempted.
10. It should be noted that accessory buildings cannot be used for living space or to run a business.

Conditions for Special Use Permit Approval

Upon review of a Type 1 Special Use Permit for an accessory building, Section 17.03(1)(a) of the Zoning Ordinance requires the Planning Commission to consider several factors. I have listed those items for your consideration followed by my comments for each.

Factors	Comment
The intended use of the building.	The applicant has indicated that the building will be used for storage.
The proposed location, type and kind of construction and general architectural character of the building.	The building is planned to have vinyl siding and shingled roofing.
The size of the building in relation to the house, lot and zoning district.	The property is about 2 acres and the home has about 1,887 sq. ft. of finished living space.
The type and kind of principal and accessory buildings and structures located on properties which are adjoining and in the general area.	There are other detached buildings in the immediate area.
The topography and vegetation in the area.	Wooded/flat

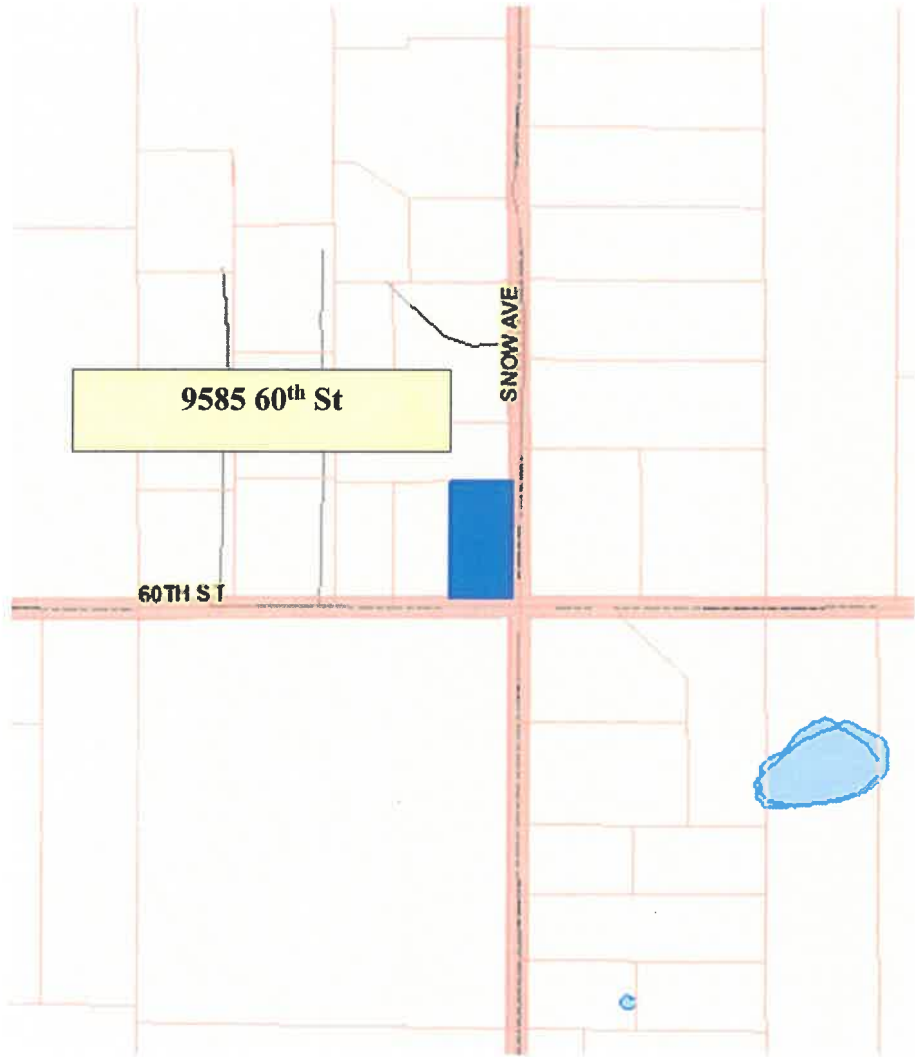
Whether the proposed building will affect the light and air circulation of any adjoining properties.	No impact.
Whether the proposed building will adversely affect the view of any adjoining property owner or occupant.	The location of the building would not have an adverse effect on adjoining property views.
Points of access to the proposed building and their relationship to adjoining properties and the view from the adjacent streets.	No new access to the street will be created.

STAFF RECOMMENDATION:

I recommend that you approve the special use permit as requested with the following conditions:

1. The building is not used for living space or to run a business.
2. Any outdoor lighting meets our regulations.
3. Any access to the building comes off of 60th Street.

Attachments: application package, accessory building inventory



9585 60th St

SNOW AVE

60TH ST



SITE PLAN REVIEW PROCESS



Planning & Zoning Application

APPLICANT: Name: BRADLEY MASLOWSKI
Address: 9585 60TH STSE ALTO MI 49302
Telephone: 616-318-1572 BMASLOWSKI@TOYMOTORS.COM
Facsimile: _____

OWNER:* Name: _____
Address: _____
Telephone: _____
Facsimile: _____

(*If different from the Applicant)

NATURE OF THE REQUEST (Please check the appropriate box or boxes)	
<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Administrative Site Plan Review
<input type="checkbox"/> Deferred Parking	<input type="checkbox"/> P.U.D. - Rezoning **
<input type="checkbox"/> P.U.D. - Site Condominium **	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Site Plan Review **	<input type="checkbox"/> Sign Variance
<input checked="" type="checkbox"/> Special Use Permit	<input type="checkbox"/> Subdivision Plat Review **
<input checked="" type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____ **

(**Requires an initial submission of 5 copies of the completed site plan)

BRIEFLY DESCRIBE YOUR REQUEST:***

24'x30' ADDITION TO CURRENT ACCESSORY BUILDING (24'x24')

(***Use Attachments if Necessary)

SITE PLAN REVIEW PROCESS



LEGAL DESCRIPTION OF PROPERTY*:**

S 435.60 FT OF E 1/2 E 1/2 SE 1/4 EX W 400.0 FT
SEC 36 T6N R10W 2.60 A

(***Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19- 36-400-021

ADDRESS OF PROPERTY: 9585 60TH ST SE

PRESENT USE OF THE PROPERTY: 401 RESIDENTIAL

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

BRADLEY MASLOWSKI

Owner - Print or Type Name

(*If different from Applicant)

* [Signature]
Owner's Signature & Date

(*If different from Applicant)

8.10.2020

BRADLEY MASLOWSKI

Applicant - Print or Type Name

* [Signature]
Applicant's Signature & Date

8.10.2020

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET - THANK YOU!

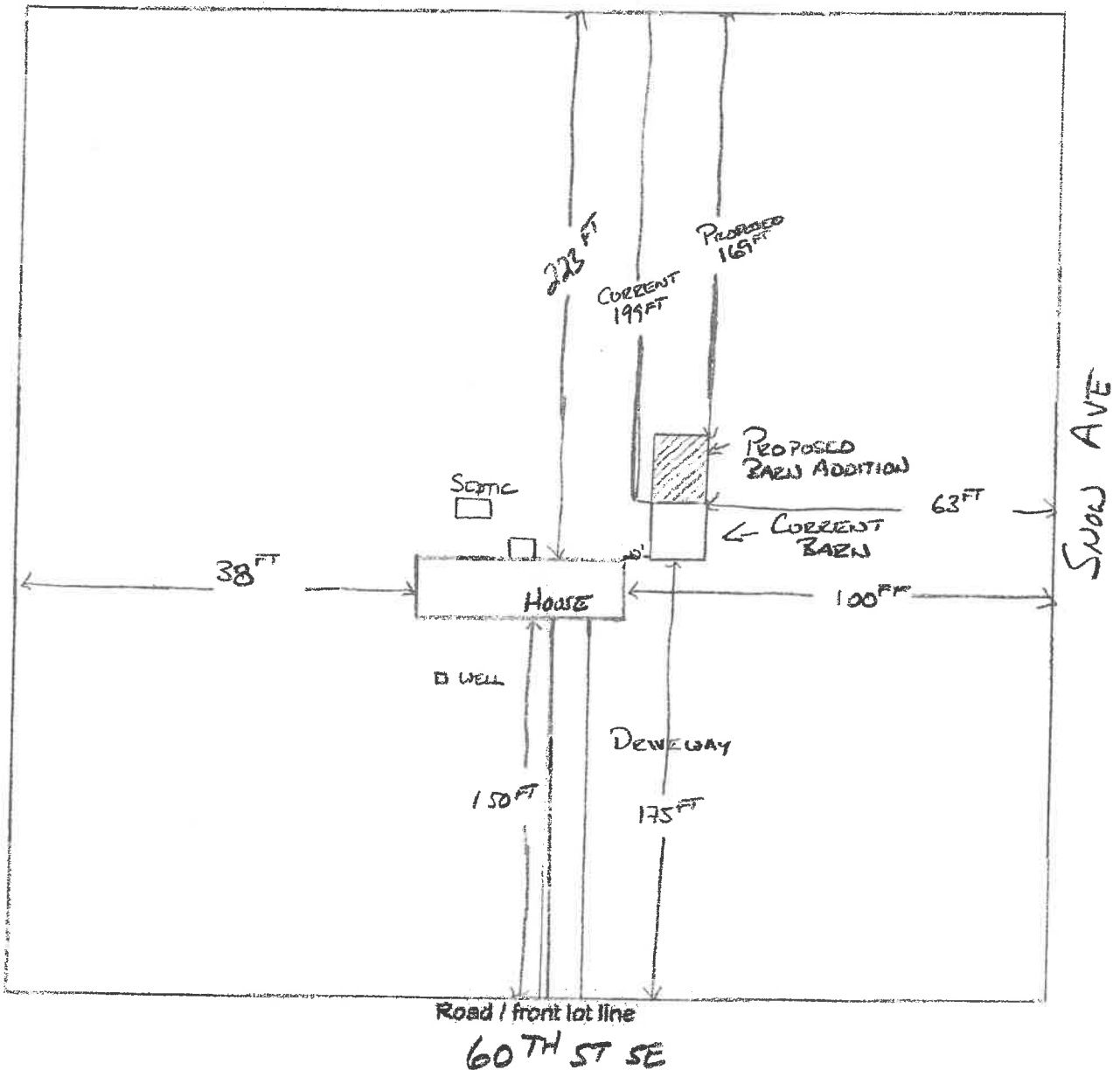


- Site Plan Review
- PUD
- Rezoning
- Signs
- Special Land Use
- More

Site Plan

Address: 9505 60TH ST SE

Contact name/number: BRAD MASLOWSKI 616-318-1572



**Please note existing building locations and distances from lot lines for any additions or decks.

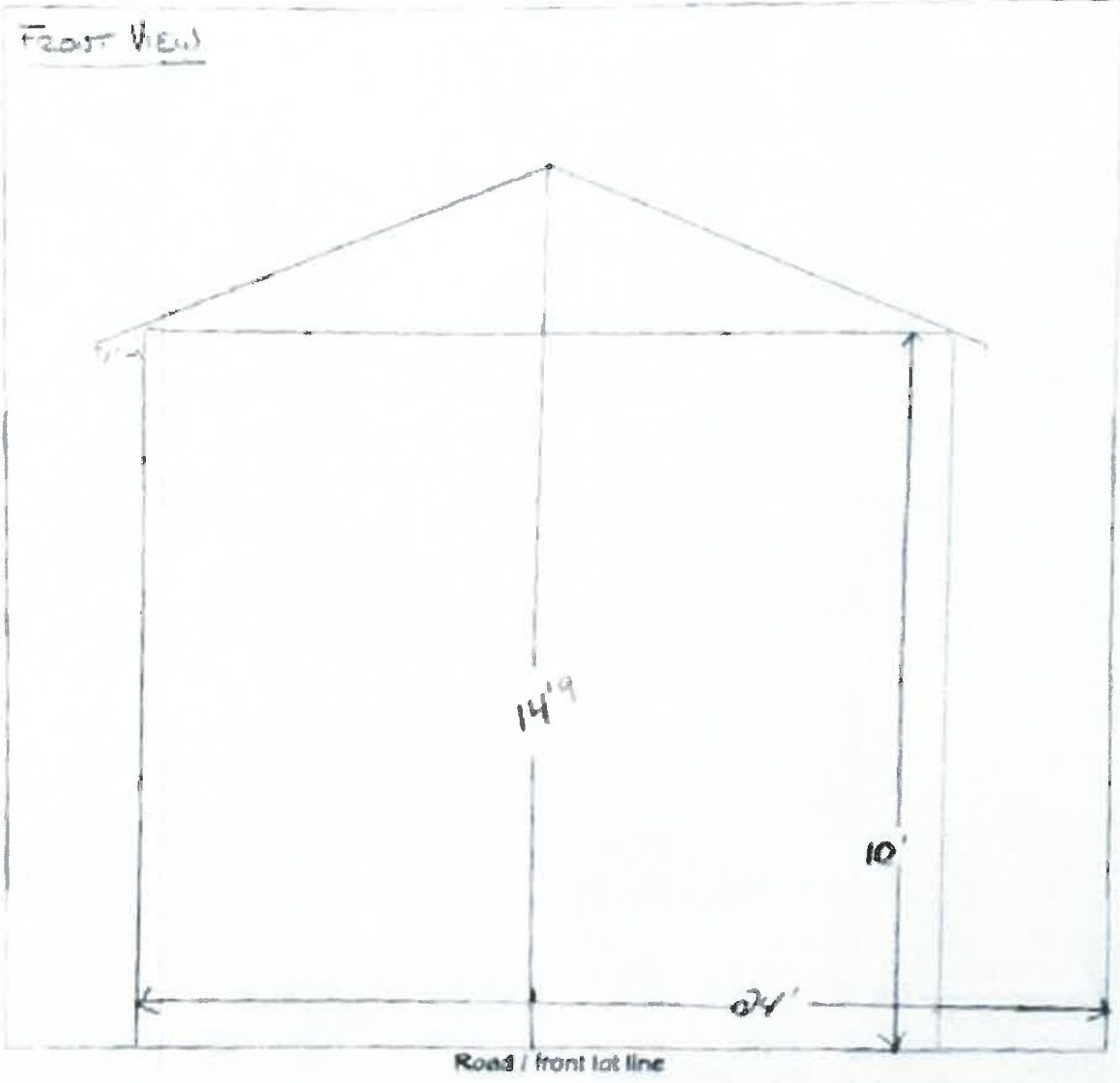
**For swimming pools - include the required barrier location

Site Plan

V2.0

Address: 9585 60TH ST SE

Contact name/number: 616.312.1572



**Please note existing building locations and distances from lot lines for any additions or decks.

**For swimming pools - include the required barrier location

Accessory Building Inventory 2010-2020 (8/11/20)

Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
11-3029	Korhorn	3480 Buttrick Ave	ARC	900	2.5	1,800
11-3052	Buckius	4900 Streamside Point	ARC	2,304	4.5	3,500
10 2999	Downing	1400 Windy Ridge	ARC	1,728	5.6	2,600
10 3010	Pepin	5640 McCords	ARC	2,400	10	3,000
10 3017	Halfmann	4590 Quiggle Ave	ARC	1,020	3.6	3,000
12-3070	Thornapple Pointe GC	7211 48th St	ARC			
12-3073	Burd	5630 Buttrick Ave	ARC	1,200	4.9	2,700
12-3077	Morris	5225 Buttrick Ave	ARC	2,432	5	2,000
12-3101	Hilbrands	6482 52nd St	ARC	1,536	80	1,500
13-3145	harold Cornelisse	8773 Running Deer Lane	ARC	1,440	10	2,200
14-3216	Gary Jehnke	5766 Buttrick Ave	ARC	1,920	7.6	1,800
15-3239	Chad Weldy	9575 52nd St	ARC	1,728	2.3	2,400
15-3256	Robert Harmon	4150 Cherry Lane	ARC	1,536	7.8	3,100
15-3260	Jay Nehls	3100 Foxfire Lane	ARC	1,575	5	4,000
15-3267	Paul Kucharczyk	9150 52nd St	ARC	1,728	2.9	1,500
16-3315	Roelofs	9554 52nd St	ARC	4,864	4.4	3,700
17-3379	Shaffer	8665 28th st	ARC	1,066	2.5	2,500
17-3404	Teppo	3777 Cherry Lane	ARC	2,720	8.3	3,000
17-3411	Ruby	8358 28th St	ARC	2,192	1.9	2,500
18-3439	McConnell	5470 McCords	ARC	15,120	160	1,600
18-3448	Van note	8233 28th St	ARC	1,800	4.3	2,500
18-3482	Seeley	9404 28th St	ARC	1,680	17	2,800
18-3483	Hillman	8790 52nd St	ARC	2,688	4	2,800
18-3486	DeMeester	9478 Grand River Dr	ARC	3,136	12	3,300
18-3496	Eisen	7233 60th	ARC	1,728	4.4	2,300
19-3511	Doering	5500 McCords Ave	ARC	1,200	160	1,600
19-3524	Tolan	8505 60th St	ARC	1,600	11	2,100
19-3529	Hulst	3717 Cherry Lane	ARC	1,600	8	3,300
19-3530	Howard	8125 45th St	ARC	1,200	2.9	2,900
19-3546	Swift	8730 52nd St	ARC	1,344	2.5	2,600
20-3589	Dykhouse	2645 Meadow Crossing	ARC	1,634	13	7,900
12-3076	Lash	8951 Cascade Rd	FP	1,680	2.4	1,800
15-3265	Randy Gaskin	3505 Snow Ave	FP	1,536	2	1,400
18-3443	Carpenter	8650 36th St	FP	1,560	15	3,400
19-3531	Beatson	9100 Cascade Rd	FP	3,200	15	2,600
13-3161	Epique Homes	1415 Ballybunion Dr	PUD	4,500	6	6,600

Accessory Building Inventory 2010-2020 (8/11/20)

16-3314	Reynolds	5701 Buttrick Ave	PUD 52	1,256	2.2	2,500
18-3494	Stibitz	3494 Bloomington Hills	PUD 66	1,500	1.39	2,200
10 3008	Koetje/Proos	8091 Ashwood Dr	PUD 89	1,120	2.5	4,520
10 3001	Ike	4390 Whitneyville	R1	1,200	3.8	1,000
10 3014	Borisch	5333/5200 Dayenu	R1	2,304	44	6,000
12-3082	DeVos	2020 Devonwood Lane	R1	8,500	35	17,000
14-3184	Jon DeGraff	6960 Thornview	R1	1,520	4.6	3,500
14-3185	James Hacket	1547 Briarcliff Dr	R1	1,400	2.2	7,500
14-3190	Aaron Schaap	1910 Laraway Lake Dr	R1	2,604	13	8,200
14-3197	John Shipley	7373 Biscyane Way	R1	1,000	2.6	3,200
15-3241	John Borisch	5200 Dayenu Dr	R1	3,000	9	6,000
15-3253	Derek Benedict	1961 Steketee Woods Lane	R1	1,936	2.9	6,900
15-3257	Jeff Shull	7500 Buttrick Park Dr	R1	1,440	3.03	3,600
15-3290	Hockstra	1350 Briarcliff	R1	1,232	1	4,000
16-3301	Keeler	8100 45th st	R1	1,504	1.2	2,500
16-3311	Borisch	5292 Dayenu	R1	5,000	3.8	5,000
16-3337	Romence	5752 Hall St	R1	1,200	1.7	2,200
16-3352	Rise	8200 48th st	R1	1,600	1.05	3,000
17-3383	Popp	1360 Briarcliff	R1	1,200	1.16	4,800
17-3417	Salmon	6350 Cascade Rd	R1	1,440	4.6	1,300
18-3452	Kortman	4555 Little Harbor Dr	R1	1,296	0.95	3,000
18-3474	Rowland	4250 Whitneyville Ave	R1	1,300	5	2,800
18-3480	Stachowiak	7871 Shadybrook	R1	1,800	2	2,200
18-3481	Doezema	5625 Alaska Ave	R1	1,944	5	2,000
11-3028	Slauer	3824 Goodwood Dr	R2	900	0.88	3,500
Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
	Avg			2,215	12.93	3,504
	Avg ARC			2,301	18.9	2,750
	Avg FP			1,994	8.6	2,300
	Avg PUD			2,094	3.0225	3,955
	Avg R1			2,115	7.0281	4,557

STAFF REPORT

STAFF REPORT: Case #20-3601/Poolman
REPORT DATE: September 14, 2020
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: September 21, 2020
PREPARED BY: Brian Hilbrands, Planner

APPLICANT:

Doug and Candace Poolman
6667 60th St SE
Grand Rapids, MI 49512

STATUS

OF APPLICANT: Property Owner

REQUESTED ACTION: The applicant is requesting a special use permit to construct an addition to an accessory building that is larger than 832 square feet.

EXISTING ZONING OF SUBJECT PARCEL(S): ARC, Residential

GENERAL LOCATION: Near the intersection of 60th St and Thornapple River Dr

PARCEL SIZE: Approximately 4.5 acres

EXISTING LAND USE ON THE PROPERTY: Residential

ADJACENT AREA LAND USES: All Residential

ZONING ON ADJOINING PARCELS: N,E,W – ARC
S – Caledonia Township

STAFF COMMENTS:

1. The applicant is requesting permission to construct an addition to accessory building on the property. It would be a 42' x 64' addition to the current 30' x 50' building (4,288 sq ft).
2. The building will be 14' feet tall as measured to the midpoint of the roof.

3. This requires a minimum of a 10-foot setback from the side property line and a 25-foot setback to the rear property line. The applicant shows a setback of 12' from the existing building to the side property line and a setback of 22' from the proposed addition to the side property line. A 237' setback is shown to the rear property line. The building will also need to be a minimum of 10 feet away from the house.
4. With between 3-6 acres the applicant is permitted to have two accessory buildings on the property.
5. The applicant has indicated that the building will be used for the keeping of 2-5 horses, chickens and storage of related hay and feed. This is a permitted use in the ARC zoning district if the property owner owns all the animals themselves. In order to house animals for other people a separate special use permit is needed for a public stable.
6. The size of the building is larger than average for the area. The average size of an accessory building in the ARC zoning district is 2,407 square feet.
7. The building is planned to have shingled roofing and steel barn siding. This is normal for the area.
8. Any outdoor lighting will have to meet our standards, requiring it to be shielded and downcast or at a level that is exempted.
9. It should be noted that accessory buildings cannot be used for living space or to run a business.

Conditions for Special Use Permit Approval

Upon review of a Type 1 Special Use Permit for an accessory building, Section 17.03(1)(a) of the Zoning Ordinance requires the Planning Commission to consider several factors. I have listed those items for your consideration followed by my comments for each.

Factors	Comment
The intended use of the building.	The applicant has indicated that the building will be used to keep farm animals including horses and chickens.
The proposed location, type and kind of construction and general architectural character of the building.	The building is planned to have steel barn siding and shingled roofing.
The size of the building in relation to the house, lot and zoning district.	The property is about 4.5 acres and the home has about 3,767 sq. ft. of finished living space.
The type and kind of principal and accessory buildings and structures located on properties which are adjoining and in the general area.	There are other detached buildings in the immediate area.
The topography and vegetation in the area.	Open/flat

Whether the proposed building will affect the light and air circulation of any adjoining properties.	No impact.
Whether the proposed building will adversely affect the view of any adjoining property owner or occupant.	The location of the building would not have an adverse effect on adjoining property views.
Points of access to the proposed building and their relationship to adjoining properties and the view from the adjacent streets.	No new access to the street will be created.

STAFF RECOMMENDATION:

I recommend that you approve the special use permit as requested with the following conditions:

1. The building is not used for living space or to run a business, which includes a public stable.
2. Any outdoor lighting meets our regulations.

Attachments: application package, accessory building inventory





CASCADÉ CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan
49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: DOUG POOLMAN & CANDACE POOLMAN
 Address: 6667 60th St. SE
 City & Zip Code: GRAND RAPIDS MI 49512
 Telephone: (616) 325-6283
 Email Address: dppoolman@cascadetwp.com

OWNER: * (If different from Applicant)

Name: _____
 Address: _____
 City & Zip Code: _____
 Telephone: _____
 Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. – Rezoning * |
| <input type="checkbox"/> P.U.D. – Site Condominium * | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Subdivision Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

REQUEST TO BUILD a 42' x 64' ADDITION TO CURRENT POLE BARN FOR KEEPING OF ANIMALS - AG USAGE (SEE ATTACHED LETTER)

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

E 330 FT OF W 630 FT OF E 1/2 SW 1/4 EX N 1984 FT
* SEC 33 T6N R10W 4.96A.

SEE ATTACHED TWP PROPERTY INFO SHEET.

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19-33-300-013

ADDRESS OF PROPERTY: 6667 60th St. SE GRAND RAPIDS 49512

PRESENT USE OF THE PROPERTY: SINGLE FAMILY RESIDENTIAL

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR
EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

CANDACE POOLMAN

6667 60th St. SE GRAND RAPIDS 49512

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

DOUGLAS P. POOLMAN
Owner – Print or Type Name
(*If different from Applicant)

Applicant – Print or Type Name

* 
Owner's Signature & Date
(*If different from Applicant)

Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

To: Cascade Charter Township Planning

From Doug Poolman

re: Type 1 Special Use Permit

Date: August 18, 2020

To whom it may concern. I am requesting to build an addition to my current pole barn for the use of keeping of animals including 2-5 horses, chickens, and storage of related hay and feed. The property is zoned ARC. The property is 4.96 acres and all the buildings on the property are at least 250' back off the road. (See attached site drawings.)

The current pole barn is 32' x 50' with a mean height of 14' (Center of Truss). The proposed addition would be of the same pole barn construction with the same height. It will have steel barn siding and a shingle roof to match the existing pole barn. The enclosed part of building will keep the 32' width but add a 10' lean-to along the back side for storing tractor implements. The length of the addition would be 64'.

The addition will be off-set to the existing building 16' West along the 32' width of the existing building. (Please see attached building sketches). The off-set of the building will help move the addition further away from the lot line, as well as provide for a residential type overhead door to access directly into the addition from the existing concrete pad.

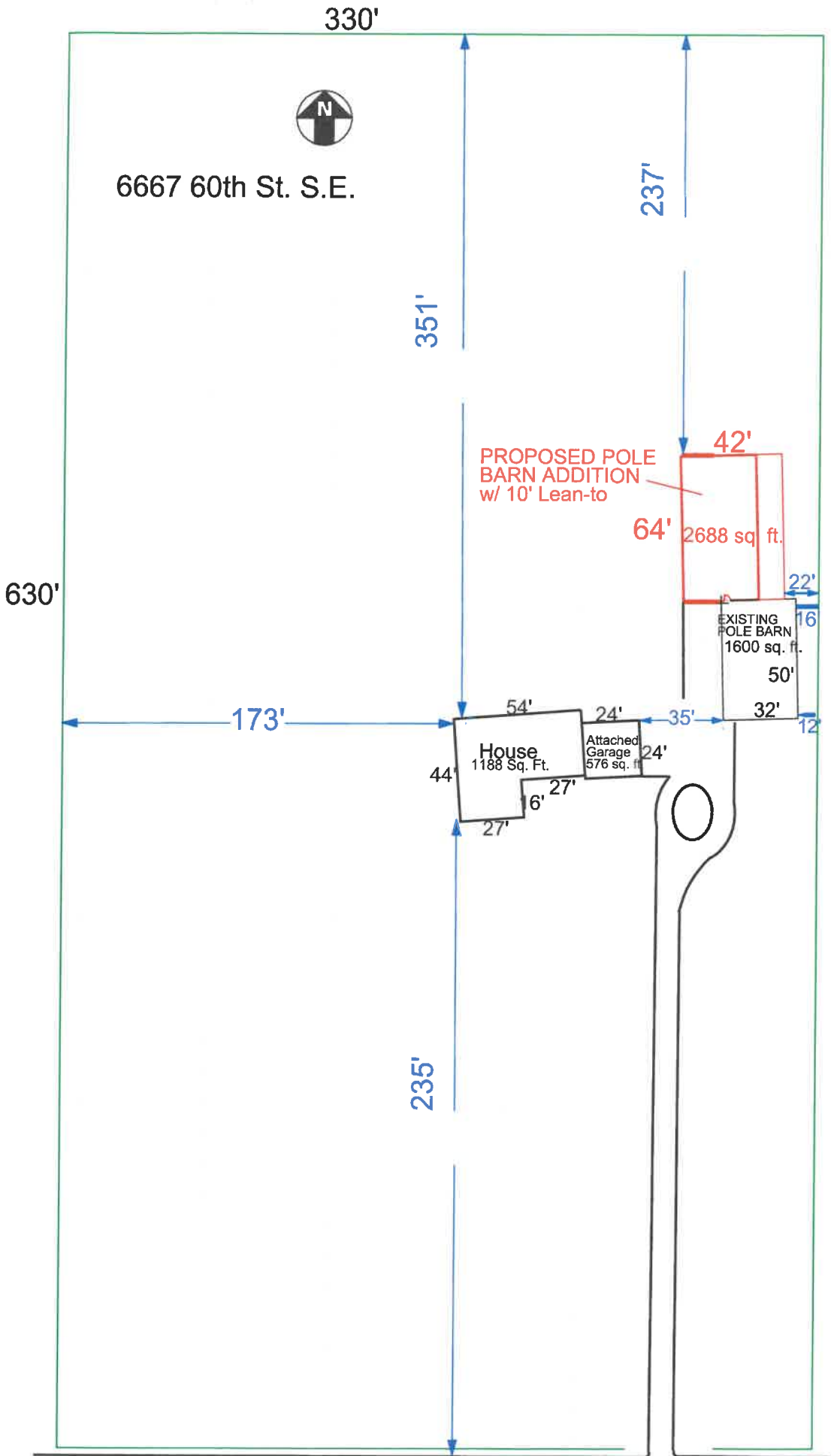
I don't believe the usage should provide any significant nuisance, other than some odor related to animals. We keep our property and buildings clean and compost any and all waste. The property to the East also has farm animals, and the property to the West previously had, but none currently. I have spoken with the property owners on either side of ours as well as the property owner that backs up to ours on Thornapple River Dr. None of the other property owners expressed any concern over these plans.

Thank you for thoughtfully considering this request. Please do not hesitate to contact me with any questions or concerns.

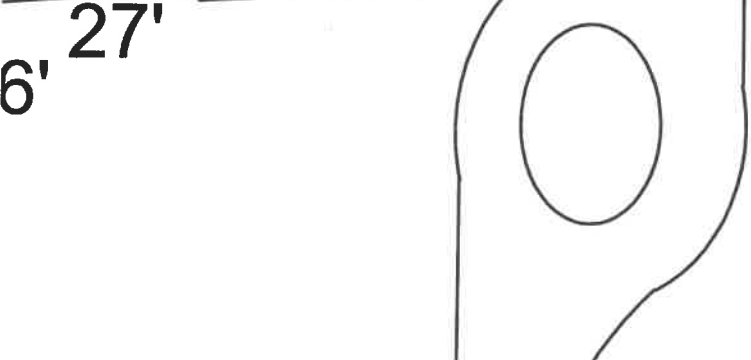
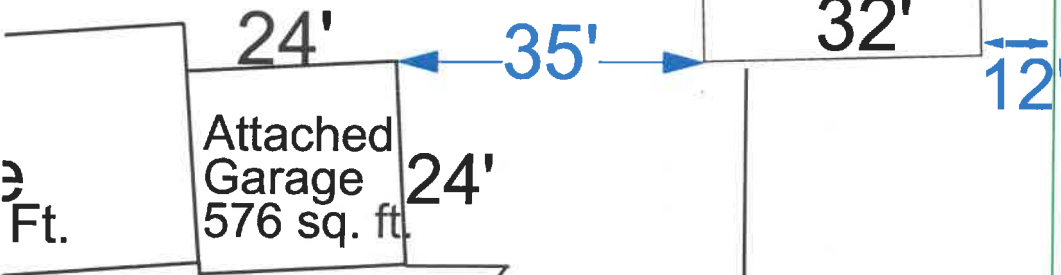
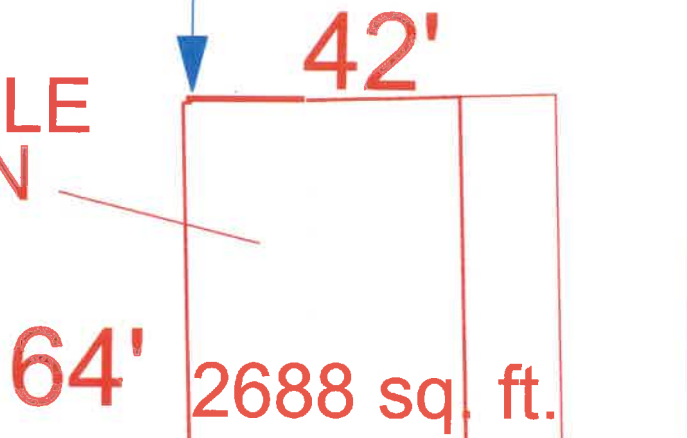
Respectfully submitted,

A handwritten signature in black ink, appearing to read "Doug Poolman", written in a cursive style.

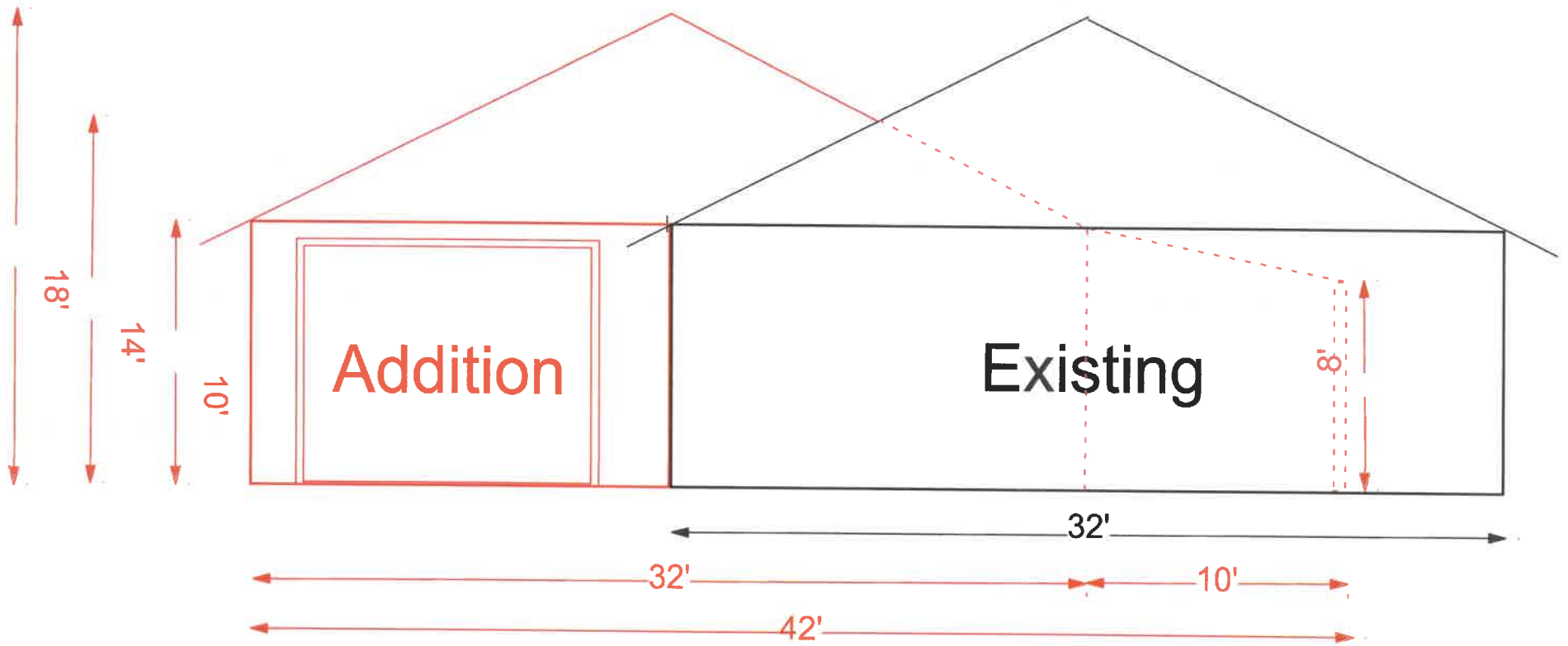
Douglas P. Poolman



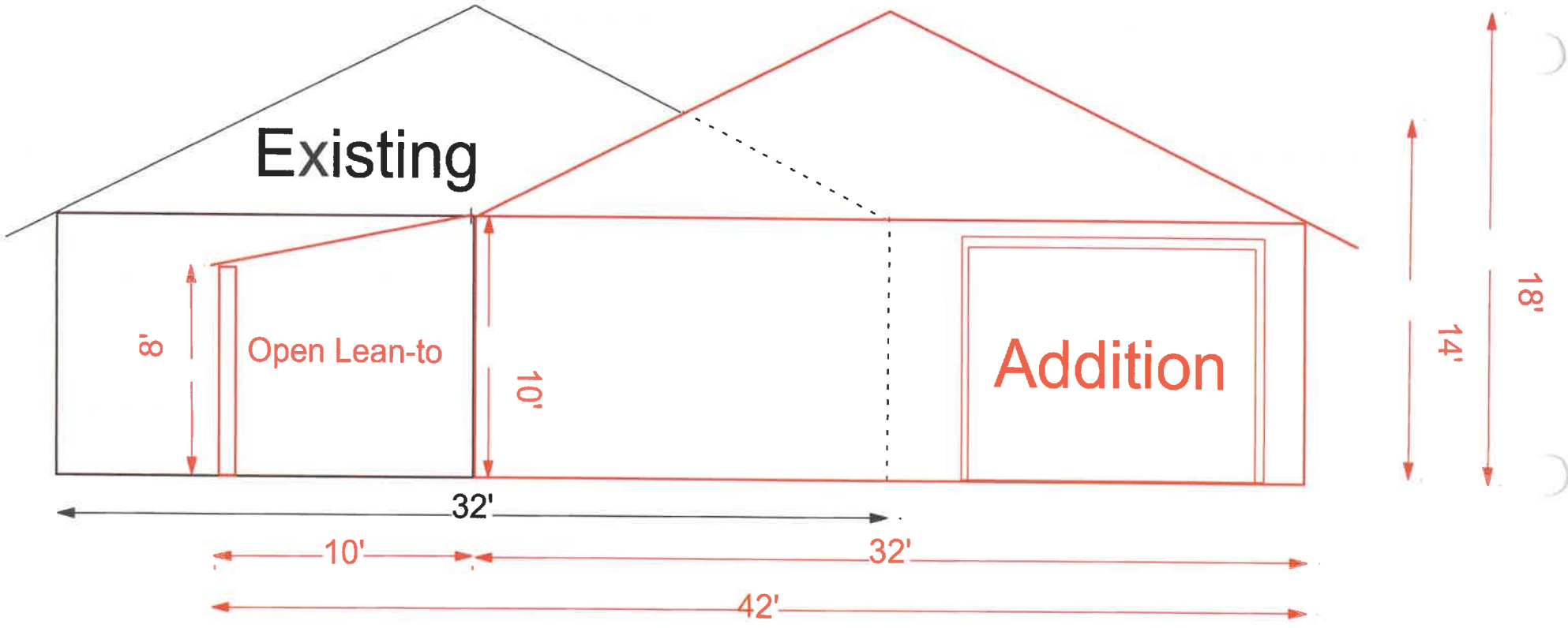
PROPOSED POLE
BARN ADDITION
Lean-to



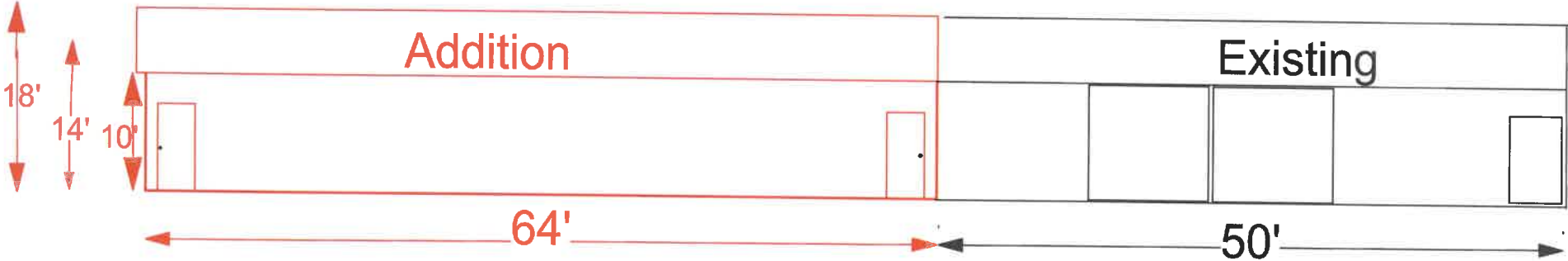
South Elevation



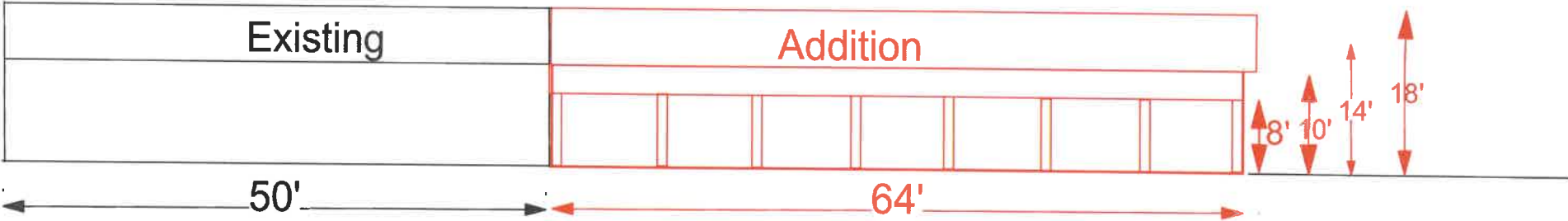
North Elevation



West Elevation



East Elevation



TITLE



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Accessory Building Inventory 2010-2020 (8/11/20)

Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
11-3029	Korhorn	3480 Buttrick Ave	ARC	900	2.5	1,800
11-3052	Buckius	4900 Streamside Point	ARC	2,304	4.5	3,500
10 2999	Downing	1400 Windy Ridge	ARC	1,728	5.6	2,600
10 3010	Pepin	5640 McCords	ARC	2,400	10	3,000
10 3017	Halfmann	4590 Quiggle Ave	ARC	1,020	3.6	3,000
12-3070	Thornapple Pointe GC	7211 48th St	ARC			
12-3073	Burd	5630 Buttrick Ave	ARC	1,200	4.9	2,700
12-3077	Morris	5225 Buttrick Ave	ARC	2,432	5	2,000
12-3101	Hilbrands	6482 52nd St	ARC	1,536	80	1,500
13-3145	harold Cornelisse	8773 Running Deer Lane	ARC	1,440	10	2,200
14-3216	Gary Jehnke	5766 Buttrick Ave	ARC	1,920	7.6	1,800
15-3239	Chad Weldy	9575 52nd St	ARC	1,728	2.3	2,400
15-3256	Robert Harmon	4150 Cherry Lane	ARC	1,536	7.8	3,100
15-3260	Jay Nehls	3100 Foxfire Lane	ARC	1,575	5	4,000
15-3267	Paul Kucharczyk	9150 52nd St	ARC	1,728	2.9	1,500
16-3315	Roelofs	9554 52nd St	ARC	4,864	4.4	3,700
17-3379	Shaffer	8665 28th st	ARC	1,066	2.5	2,500
17-3404	Teppo	3777 Cherry Lane	ARC	2,720	8.3	3,000
17-3411	Ruby	8358 28th St	ARC	2,192	1.9	2,500
18-3439	McConnell	5470 McCords	ARC	15,120	160	1,600
18-3448	Van note	8233 28th St	ARC	1,800	4.3	2,500
18-3482	Seeley	9404 28th St	ARC	1,680	17	2,800
18-3483	Hillman	8790 52nd St	ARC	2,688	4	2,800
18-3486	DeMeester	9478 Grand River Dr	ARC	3,136	12	3,300
18-3496	Eisen	7233 60th	ARC	1,728	4.4	2,300
19-3511	Doering	5500 McCords Ave	ARC	1,200	160	1,600
19-3524	Tolan	8505 60th St	ARC	1,600	11	2,100
19-3529	Hulst	3717 Cherry Lane	ARC	1,600	8	3,300
19-3530	Howard	8125 45th St	ARC	1,200	2.9	2,900
19-3546	Swift	8730 52nd St	ARC	1,344	2.5	2,600
20-3589	Dykhouse	2645 Meadow Crossing	ARC	1,634	13	7,900
12-3076	Lash	8951 Cascade Rd	FP	1,680	2.4	1,800
15-3265	Randy Gaskin	3505 Snow Ave	FP	1,536	2	1,400
18-3443	Carpenter	8650 36th St	FP	1,560	15	3,400
19-3531	Beatson	9100 Cascade Rd	FP	3,200	15	2,600
13-3161	Epique Homes	1415 Ballybunion Dr	PUD	4,500	6	6,600

Accessory Building Inventory 2010-2020 (8/11/20)

16-3314	Reynolds	5701 Buttrick Ave	PUD 52	1,256	2.2	2,500
18-3494	Stibitz	3494 Bloomington Hills	PUD 66	1,500	1.39	2,200
10 3008	Koetje/Proos	8091 Ashwood Dr	PUD 89	1,120	2.5	4,520
10 3001	Ike	4390 Whitneyville	R1	1,200	3.8	1,000
10 3014	Borisch	5333/5200 Dayenu	R1	2,304	44	6,000
12-3082	DeVos	2020 Devonwood Lane	R1	8,500	35	17,000
14-3184	Jon DeGraff	6960 Thornview	R1	1,520	4.6	3,500
14-3185	James Hacket	1547 Briarcliff Dr	R1	1,400	2.2	7,500
14-3190	Aaron Schaap	1910 Laraway Lake Dr	R1	2,604	13	8,200
14-3197	John Shipley	7373 Biscyane Way	R1	1,000	2.6	3,200
15-3241	John Borisch	5200 Dayenu Dr	R1	3,000	9	6,000
15-3253	Derek Benedict	1961 Steketee Woods Lane	R1	1,936	2.9	6,900
15-3257	Jeff Shull	7500 Buttrick Park Dr	R1	1,440	3.03	3,600
15-3290	Hockstra	1350 Briarcliff	R1	1,232	1	4,000
16-3301	Keeler	8100 45th st	R1	1,504	1.2	2,500
16-3311	Borisch	5292 Dayenu	R1	5,000	3.8	5,000
16-3337	Romence	5752 Hall St	R1	1,200	1.7	2,200
16-3352	Rise	8200 48th st	R1	1,600	1.05	3,000
17-3383	Popp	1360 Briarcliff	R1	1,200	1.16	4,800
17-3417	Salmon	6350 Cascade Rd	R1	1,440	4.6	1,300
18-3452	Kortman	4555 Little Harbor Dr	R1	1,296	0.95	3,000
18-3474	Rowland	4250 Whitneyville Ave	R1	1,300	5	2,800
18-3480	Stachowiak	7871 Shadybrook	R1	1,800	2	2,200
18-3481	Doezema	5625 Alaska Ave	R1	1,944	5	2,000
11-3028	Slauer	3824 Goodwood Dr	R2	900	0.88	3,500
Case	Name	address	Zoning	accessory building sq.ft	acres	home (FLS)
Avg				2,215	12.93	3,504
Avg ARC				2,301	18.9	2,750
Avg FP				1,994	8.6	2,300
Avg PUD				2,094	3.0225	3,955
Avg R1				2,115	7.0281	4,557

STAFF REPORT

STAFF REPORT: Case #20-3599/Green Castle Properties
REPORT DATE: September 14, 2020
PREPARED FOR: Cascade Charter Township Planning Commission
MEETING DATE: September 21, 2020
PREPARED BY: Brian Hilbrands, Planner

APPLICANT:

Green Castle Properties, LLC
200 Ottawa Ave NW, Ste 800
Grand Rapids, MI 49503

STATUS
OF APPLICANT:

Owner

REQUESTED ACTION:

Basic Plan Review for an amendment to the PUD to accommodate a new car dealership.

EXISTING ZONING OF
SUBJECT PARCEL(S):

B-2

GENERAL LOCATION:

North side of 28th St, across from Lucerne Dr.

PARCEL SIZE:

Approximately 5.9 acres

EXISTING LAND USE
ON THE PROPERTY:

Commercial – Cascade Business Center

ADJACENT AREA
LAND USES:

N – Commercial
S – Commercial
E – Commercial – Cascade Business Center
W – Commercial – Fox Subaru

ZONING ON
ADJOINING PARCELS:

N – PUD 58
S – B-2, PUD 88
E – PUD 33
W – PUD 67

STAFF COMMENTS:

1. The applicant is requesting Basic Plan Review to amend the existing Planned Unit Development to allow for the development of a new 36,512 sq ft car dealership.

2. The site was rezoned to PUD in 2001 and amended to the current PUD in 2004 to permit new and used car sales and service.
3. The site is currently the location of three buildings of the Cascade Business Center.
4. The developer is proposing an approximately 36,500 sq ft building for a car dealership, with 433 parking spaces. They have not indicated what the total height of the building will be. The height, along with plans showing the building elevations and floor plans will need to be included before the next approval.
5. The proposed plan allows for cross-access to all the neighboring parcels.
6. A lighting photometric plan is required.
7. The applicant will need to indicate the building setbacks on the site plan.
8. There are currently two stormwater system options being presented. The township engineer will review these once soil boring and infiltration data have been received. The stormwater system will need to be finalized before proceeding to the preliminary development plan review.
9. The landscape plan includes 22 ginkgo biloba trees, which are included on our undesirable (uncredited) species list. This means that they are permitted, but they cannot be credited in required landscape areas.
10. The applicant has submitted this package as required by Section 16.05 (2) of the Zoning Ordinance for Basic Plan Review.
11. If you find that all the procedural information has been provided, this application should proceed to a public hearing and consideration of a Preliminary Development Plan. It will be at that stage of the review process that the *merits* of the request will be considered, and the detailed site plans will be required and reviewed.

Before proceeding to the Preliminary Development Plan review (Public Hearing), I would recommend that the applicant submit the following information:

1. The different parcels should be combined into one parcel
2. Setbacks for the proposed building
3. Provisions in the general notes for screening of the dumpster
4. Dimensions and height of the proposed building
5. Additional plan pages with building floor plans and elevations
6. Replace the ginkgo biloba trees with ones that can be credited
7. Additional landscape islands in the parking lot within the front yard area
8. Indicate the number of parking spaces reserved for customer parking
9. The location and type of any signs being proposed
10. Photometric plan

11. KCRC review and approval of the curb cut
12. Approval from the township engineer and the Kent County Drain Commissioner's office of all proposed stormwater drainage facilities

ATTACHMENTS:

Application

Site Plan

Current PUD Ordinance East Imports #1 of 2004



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan
49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: Green Castle Properties, LLC

Address: 200 Ottawa Avenue, NW; Ste 800

City & Zip Code Grand Rapids, MI 49503

Telephone: 616-774-4044

Email Address: cschiefler@dpfox.com

OWNER: * (If different from Applicant)

Name: _____

Address: _____

City & Zip Code: _____

Telephone: _____

Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)			
<input type="checkbox"/>	Administrative Appeal	<input type="checkbox"/>	Administrative Site Plan Review
<input type="checkbox"/>	Deferred Parking	<input checked="" type="checkbox"/>	P.U.D. – Rezoning *
<input type="checkbox"/>	P.U.D. – Site Condominium *	<input type="checkbox"/>	Rezoning
<input checked="" type="checkbox"/>	Site Plan Review *	<input type="checkbox"/>	Sign Variance
<input type="checkbox"/>	Special Use Permit	<input type="checkbox"/>	Subdivision Plat Review *
<input type="checkbox"/>	Zoning Variance	<input type="checkbox"/>	Other: _____ *

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

Demolition of existing buildings and construction of new car dealership and supporting customer parking and inventory parking.

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

See Attachment

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 08-451-054, -031, -032, -052

ADDRESS OF PROPERTY: 6095, 6115, 6143 28th Street, SE & 6120 Charlevoix Woods Court SE

PRESENT USE OF THE PROPERTY: Miscellaneous Retail & Business

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

_____	_____
_____	_____

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

Owner – Print or Type Name
(*If different from Applicant)

Green Castle Properties, LLC

Applicant – Print or Type Name

* _____
Owner’s Signature & Date
(*If different from Applicant)

Colin Schiefler 08/05/2020

Applicant’s Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU



August 17, 2020

Mr. Steve Peterson, Director
Community Development
Cascade Township
2865 Thornhills Avenue SE
Grand Rapids, Michigan 49546

RE: Fox Subaru; PUD Amendment Submittal
Cascade Township, Kent County, MI

Dear Mr. Peterson:

Enclosed, along with this cover letter, are the following items being submitted for Cascade Township PUD Amendment for the Fox Subaru project located at 6095, 6115, 6143 28th Street and 6120 Charlevoix Woods Court SE in Cascade Township, Kent County, MI;

- Five (5) copies of the Site Plan
- Planning Zoning Application
- PUD Amendment Escrow Fee (\$500.00)
- Legal Descriptions of the Parcels
- Purchase Agreement
- Stormwater Calculations

We request review of the abovementioned items with subsequent placement of the project on the agenda of the September 14, 2020 Planning Commission meeting.

If you have any questions or require additional information, please contact me at (616) 575-5190 or via email at bsimon@nederveld.com.

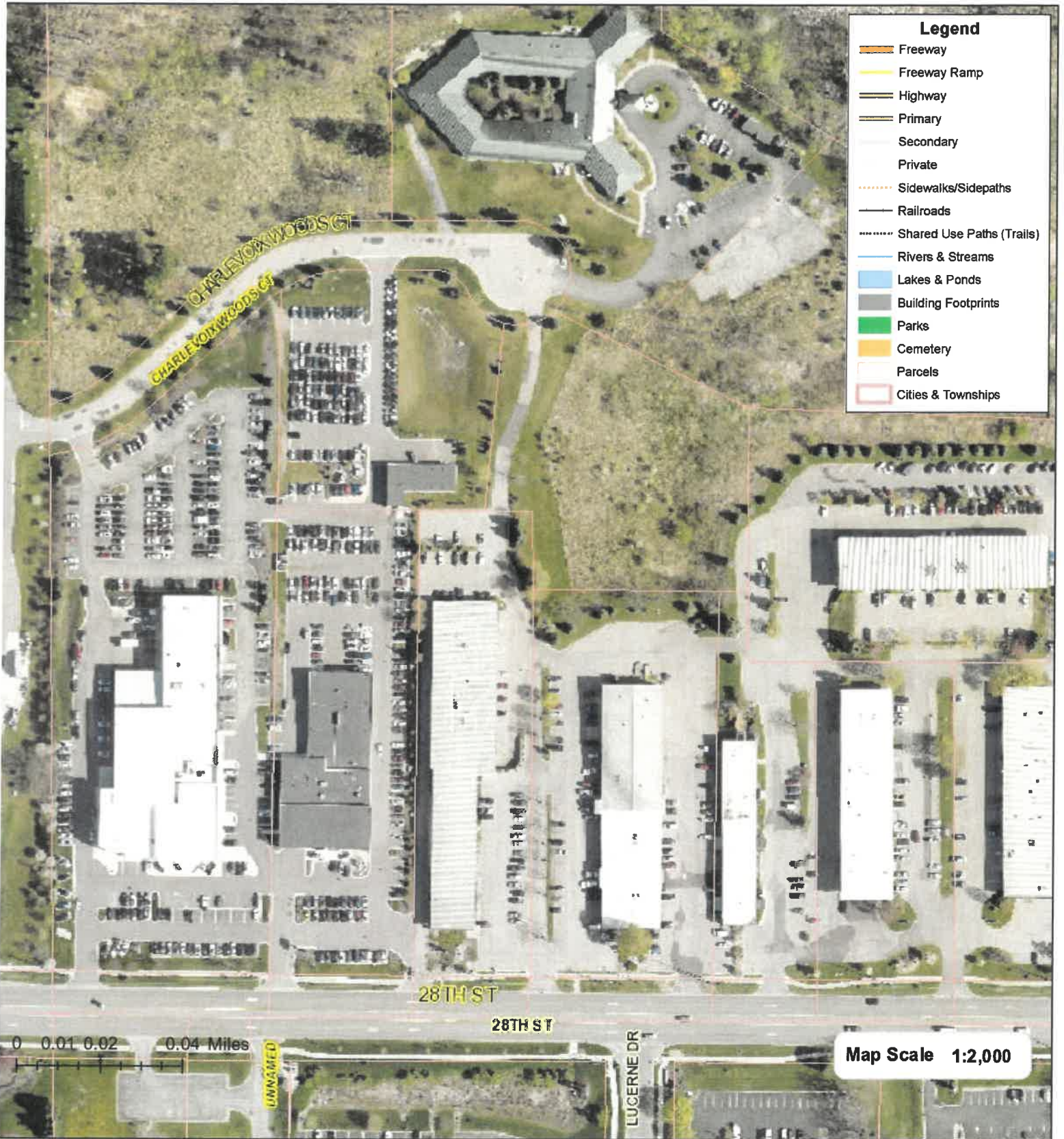
Sincerely,

A handwritten signature in blue ink, appearing to read "BSimon", is written over a faint, larger version of the same signature.

Brandon Simon, PE
Project Engineer

Enclosures

TITLE

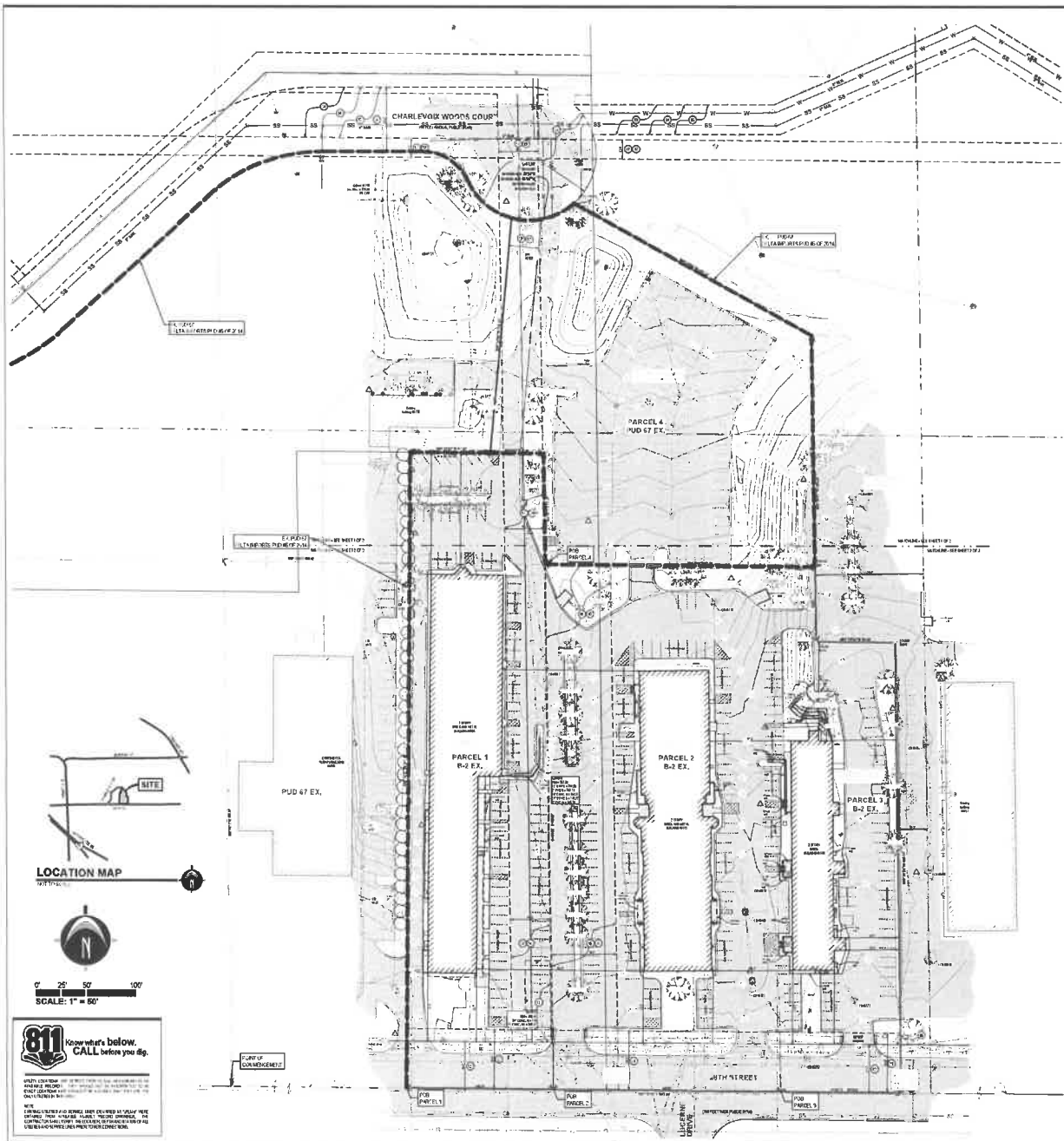


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STRUCTURE INFORMATION

Table with columns for structure ID, name, and dimensions. Includes structures like C-0800A, C-0800B, etc.

LEGEND

- List of symbols and their corresponding descriptions: Air Contactor, Oak Hammock, Oak Hammock Spine, etc.

TITLE DESCRIPTION

The land referred to in the Commission is described as follows: Located in the Township of Cassopolis, County of East, State of Michigan, PARCELS: Parcel 1 of the Southeast 1/4 of Section 8, Town 6 North, Range 18 West, Cassopolis Township, Kent County, Michigan, described as: Commencing 45.25 feet East along the South Section line from the South 1/4 corner, thence East along the South Section line, 148.75 feet, thence South 87°41'11\"/>

SCHEDULE B - SECTION II NOTES

- Notes 11 through 37 detailing easements, encumbrances, and other legal descriptions. Note 11: Easements and the terms, conditions and provisions thereof which are recited in the Highway Easement... Note 12: Easements and the terms, conditions and provisions thereof which are recited in the Release of Right of Way... Note 13: Easements and the terms, conditions and provisions thereof which are recited in the Drainage Easement... Note 14: Easements and the terms, conditions and provisions thereof which are recited in the General Easement and Right of Way... Note 15: Easement granted to Michigan Bell Telephone Company... Note 16: Terms, conditions and provisions which are recited in the Easement Agreement Grant of Easement... Note 17: Easements and the terms, conditions and provisions thereof which are recited in the Declaration of Utility Easement... Note 18: Easements and the terms, conditions and provisions thereof which are recited in the Declaration of Utility Easement... Note 19: Emergency Access Easement as disclosed by the Warranty Deed recorded in Liber 4383, Page 195... Note 20: Easement for drainage purposes recited in Kent County Drain Commissioner by instrument recorded in Liber 276, Page 191... Note 21: Easements and the terms, conditions and provisions thereof which are recited in the Sidewalk Easement... Note 22: Easements and the terms, conditions and provisions thereof which are recited in the Sidewalk Easement... Note 23: Easements and the terms, conditions and provisions thereof which are recited in the Shared Driveway Easement... Note 24: Easements and the terms, conditions and provisions which are recited in an Easement Agreement recorded in Liber 2766, Page 586... Note 25: Terms, conditions and provisions which are recited in First Amendment to General Easement and Right of Way... Note 26: Easements for Emergency Access in the instrument recorded in Liber 4383, Page 425... Note 27: Easement for public utility purposes vested in City of Grand Rapids by instrument recorded in Liber 4687, Page 231... Note 28: Easement for public utility purposes vested in City of Grand Rapids by instrument recorded in Liber 4452, Page 587... Note 29: Easement for sewer and sanitation purposes vested in City of Grand Rapids by instrument recorded in Liber 4438, Page 688... Note 30: Terms, conditions and provisions which are recited in Declaration of Utility Easement recorded in Liber 3601, Page 511... Note 31: Easements and the terms, conditions and provisions thereof which are recited in Declaration of Utility Easement recorded in Liber 3601, Page 512... Note 32: Easements for Emergency Access in the instrument recorded in Liber 4383, Page 425... Note 33: Easement for public utility purposes vested in City of Grand Rapids by instrument recorded in Liber 4687, Page 231... Note 34: Easement for public utility purposes vested in City of Grand Rapids by instrument recorded in Liber 4452, Page 587... Note 35: Easement for sewer and sanitation purposes vested in City of Grand Rapids by instrument recorded in Liber 4438, Page 688... Note 36: Terms, conditions and provisions which are recited in Declaration of Utility Easement recorded in Liber 3601, Page 511... Note 37: Terms, conditions and provisions which are recited in Declaration of Utility Easement recorded in Liber 3601, Page 512.

NEDERVELD logo and contact information: 800.222.1888, GRAND RAPIDS, MI 49503, ANN ARBOR, MI 48106.

PREPARED FOR:

Green Castle Properties, LLC, Colin Scheller, 200 Osborne Avenue NW, Suite 403, Grand Rapids, MI 49503

REVISIONS:

Table with columns for Date, Description, and Author. Includes revision 1: 11/11/2011, Description: Add notes, Author: J. Scheller.

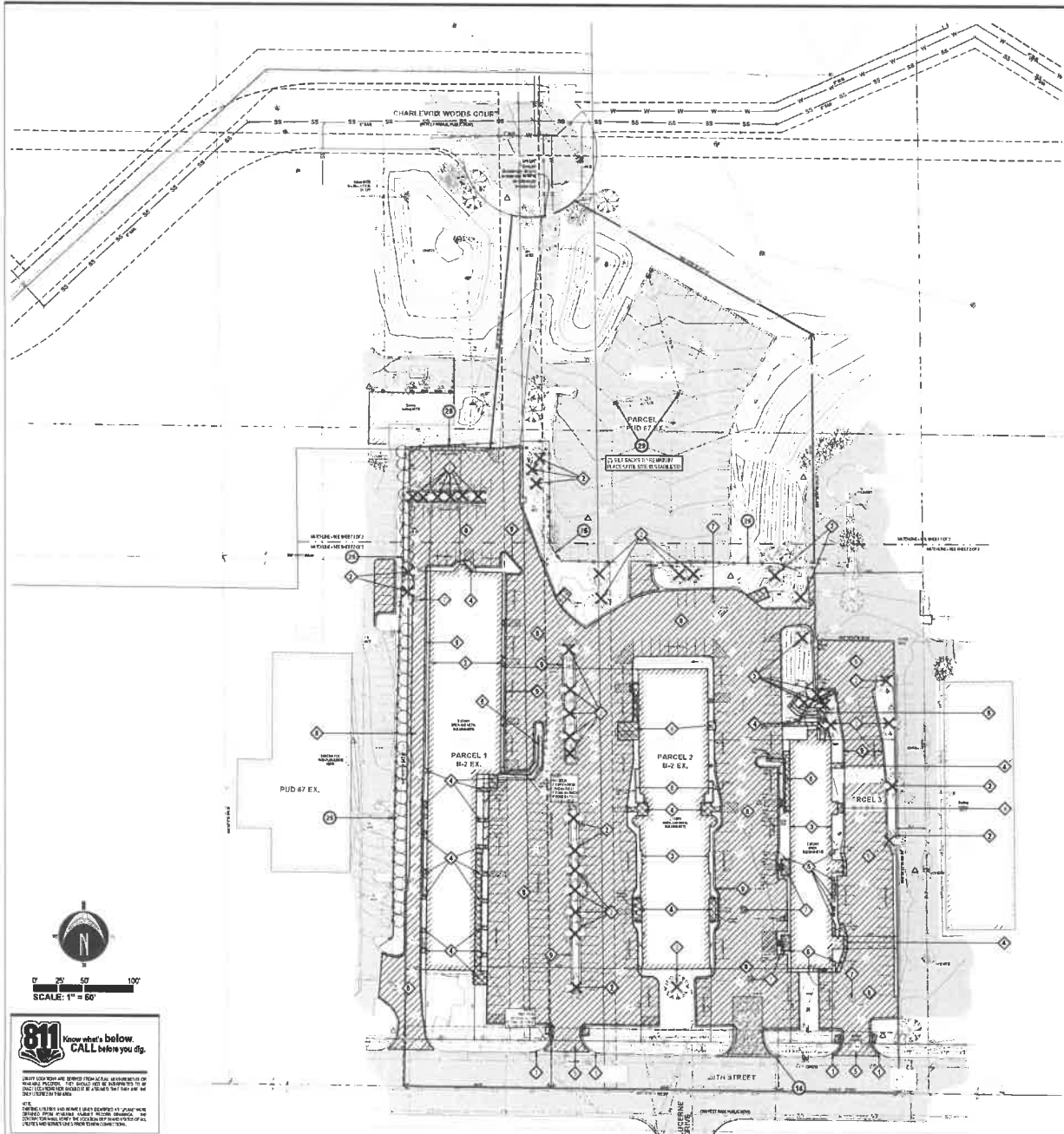
28TH STREET PARCELS Existing Site Conditions Plan, 2005, 4115 and 6141 28th Street and 6120 Cherokee Wood Court SE, PART OF THE SOUTHEAST 1/4 OF SECTION 8, T6N, 18W, CASSOPOLIS TOWNSHIP, KENT COUNTY, MICHIGAN

STAMP:

PROJECT NO: 19408962

SHEET NO: C-201

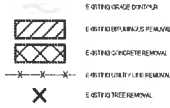
811 Know what's below. CALL before you dig. Logo and text for utility locating service.



REMOVAL / DEMOLITION NOTES

1. THE CONTRACTOR SHALL FILL IN THE VOID SPACES WITH LEAST THREE INCHES OF TOP SOIL TO BE REFINISHED TO THE ORIGINAL GRADE. ALL EXISTING UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL MAINTAIN THESE AREAS WITH DRAINAGE CANALS.
2. ALL UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL MAINTAIN THESE AREAS WITH DRAINAGE CANALS.
3. BEFORE ANY WORK IS STARTED ON THE PROJECT, THE CONTRACTOR SHALL OBTAIN ACCEPTANCE FROM THE CITY AND BY THE OWNER. THE CONTRACTOR SHALL OBTAIN ACCEPTANCE FROM THE CITY AND BY THE OWNER. THE CONTRACTOR SHALL OBTAIN ACCEPTANCE FROM THE CITY AND BY THE OWNER.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY AND BY THE OWNER.
5. ALL UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL MAINTAIN THESE AREAS WITH DRAINAGE CANALS.
6. THE CONTRACTOR SHALL OBTAIN ACCEPTANCE FROM THE CITY AND BY THE OWNER.
7. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND NOT STOCK PILED ON SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR THE PROJECT ENGINEER.

LEGEND



REMOVAL / DEMOLITION NOTES

- REMOVE EXISTING CONCRETE FLOOR SLAB
- REMOVE EXISTING CONCRETE WALLS
- REMOVE EXISTING STEEL BEAMS
- REMOVE EXISTING STEEL COLUMNS
- REMOVE EXISTING CONCRETE FOUNDATION
- REMOVE EXISTING CONCRETE DRIVEWAY
- REMOVE EXISTING RETAINING WALL
- REMOVE EXISTING EXTERIOR FINISHES
- REMOVE EXISTING EXTERIOR FINISHES
- REMOVE EXISTING EXTERIOR FINISHES

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. CONTRACTOR SHALL EXCEED THE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS TO THE MAXIMUM EXTENT POSSIBLE.
2. CONTRACTOR SHALL EXCEED THE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS TO THE MAXIMUM EXTENT POSSIBLE.
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7. CONTRACTOR SHALL EXCEED THE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS TO THE MAXIMUM EXTENT POSSIBLE.



811 Know what's below. CALL before you dig.

When you dig, you may hit an underground utility. If you do, you could be injured or killed. Call 811 before you dig. It's free and it's fast. Call 811 before you dig. It's free and it's fast. Call 811 before you dig. It's free and it's fast.

NEDERVELD

www.nederveld.com
800.222.1868
GRAND RAPIDS
210 Ottawa Avenue NW
Suite 403
Grand Rapids, MI 49503

PREPARED FOR:
Green Castle Properties, LLC
Colin Schaefer
200 Ottawa Avenue NW
Suite 403
Grand Rapids, MI 49503

REVISIONS:

Rev	Description	Checked By	Date
01	ISSUE FOR PERMIT		04/11/2023
02	REVISED PER CITY COMMENTS		04/11/2023
03	REVISED PER CITY COMMENTS		04/11/2023

28TH STREET PARCELS

Demolition & SESC Plan

6005 S. 28TH ST. SE, SECTION 16, T14N, R10W, CADDAKE TOWNSHIP, ISENT COUNTY, MICHIGAN

STAMP:

PROJECT NO:
19400962

SHEET NO:
C-203

811 *Know what's below*
CALL before you dig.

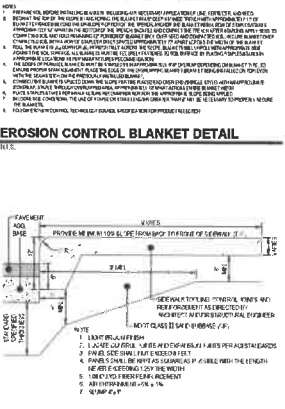
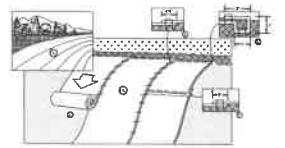
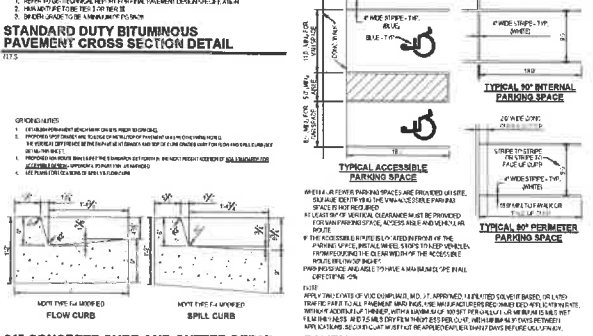
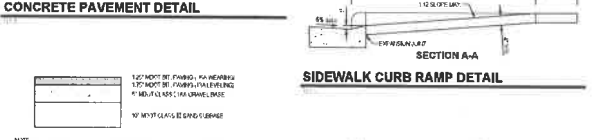
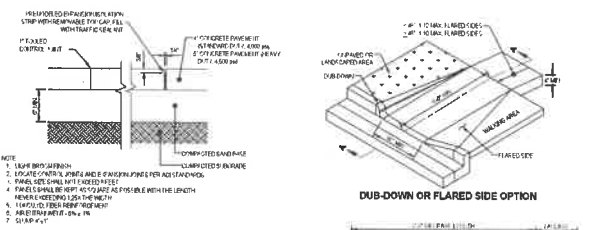
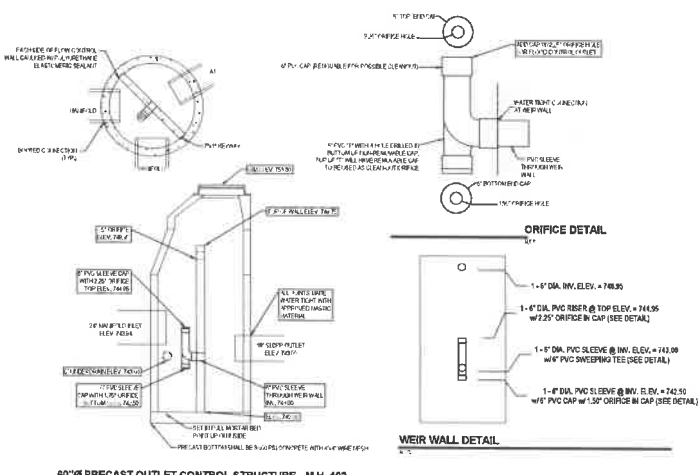
811 is a national service that provides a central point of contact for utility companies. It is a free service that is available in all states. It is a service that is available to all citizens. It is a service that is available to all citizens. It is a service that is available to all citizens.

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800.222.1658
GRAND RAPIDS
210 Grandville Ave., SW
Grand Rapids, MI 49503
Phone 616.233.1100

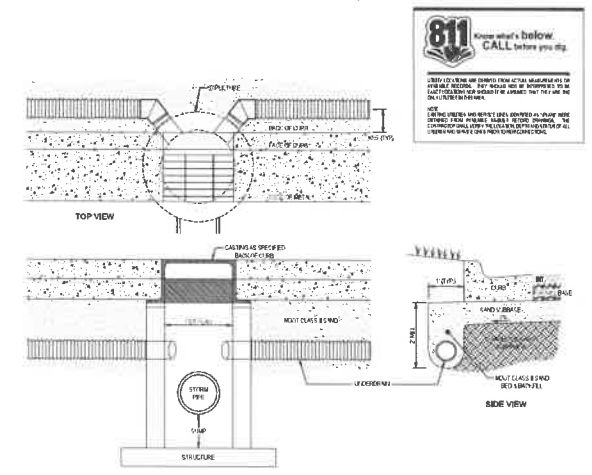
PREPARED FOR:
Green Castle Properties, LLC
Cabin Scholter
200 Ottawa Avenue NW
Suite 403
Grand Rapids, MI 49503

REVISIONS:

Rev	NO	DESCRIPTION	Date
1	1	ISSUE FOR PERMIT	04/11/2010
2	1	ISSUE FOR PERMIT	04/11/2010
3	1	ISSUE FOR PERMIT	04/11/2010
4	1	ISSUE FOR PERMIT	04/11/2010
5	1	ISSUE FOR PERMIT	04/11/2010



TEMPORARY CRUSHED ROCK TRACKING PAD



UNDER DRAIN AT CURB DETAIL

SANITARY SEWER TRENCH AND BACKFILL DETAIL

STORM SEWER TRENCH AND BACKFILL DETAIL

WATER MAIN TRENCH AND BACKFILL DETAIL

EROSION CONTROL BLANKET DETAIL

PAVEMENT MARKING DETAILS

INTEGRAL CURB AND WALK DETAIL

CONSTRUCTION NOTES

STORM SEWER TRENCH AND BACKFILL DETAIL

WATER MAIN TRENCH AND BACKFILL DETAIL

SILT FENCE DETAIL

CONSTRUCTION NOTES

STORM SEWER TRENCH AND BACKFILL DETAIL

WATER MAIN TRENCH AND BACKFILL DETAIL

SILT FENCE DETAIL

CONSTRUCTION NOTES

STORM SEWER TRENCH AND BACKFILL DETAIL

WATER MAIN TRENCH AND BACKFILL DETAIL

SILT FENCE DETAIL

CONSTRUCTION NOTES

STORM SEWER TRENCH AND BACKFILL DETAIL

WATER MAIN TRENCH AND BACKFILL DETAIL

SILT FENCE DETAIL

28TH STREET PARCELS
Details & Specifications
6056, 6116 and 6143 28th Street and 6120 Oakwood Woods Court SE
PART OF THE SOUTHEAST 1/4 OF SECTION 8, T34N, R10W,
CASSIOPHE TOWNSHIP, WEST COUNTY, MICHIGAN


STAMP:

PROJECT NO: 1940962


SHEET NO: C-500

PROJECT INFORMATION

PROJECT NO:	
DATE:	
CLIENT:	



ADVANCED DRAINAGE SYSTEMS, INC.
FOX SUBARU
CASCADE, MI

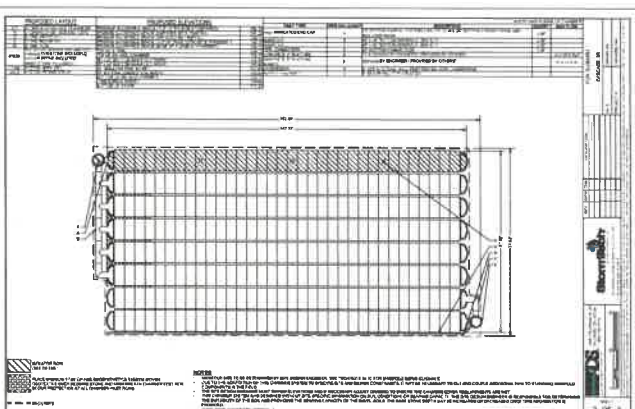


INSTALLATION INSTRUCTIONS (SUMMARY OF REQUIREMENTS)

1. Read and understand all drawings and specifications before beginning installation.
2. Excavate to the required depth and width as shown on the drawings.
3. Prepare the subgrade as specified in the drawings.
4. Install the StormTech MC-AMM Chamber System as shown on the drawings.
5. Backfill and compact the material as specified in the drawings.
6. Install the manhole cover and frame as shown on the drawings.
7. Test the system for proper operation before final acceptance.

GENERAL NOTES:

1. All materials shall be as specified in the drawings.
2. All work shall be done in accordance with the drawings and specifications.
3. The contractor shall be responsible for obtaining all necessary permits.
4. The contractor shall be responsible for protecting existing utilities.
5. The contractor shall be responsible for maintaining access to adjacent properties.
6. The contractor shall be responsible for cleaning up after installation.
7. The contractor shall be responsible for providing a final report.

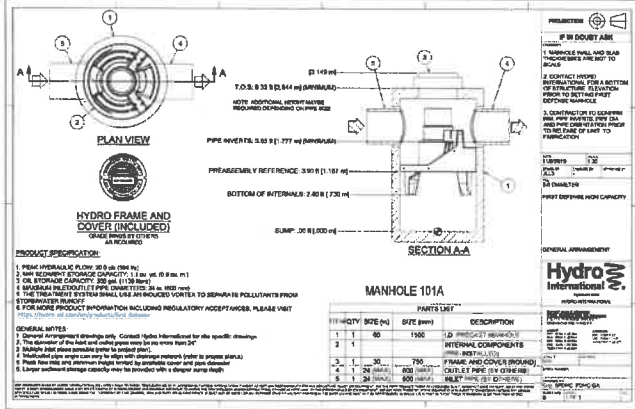
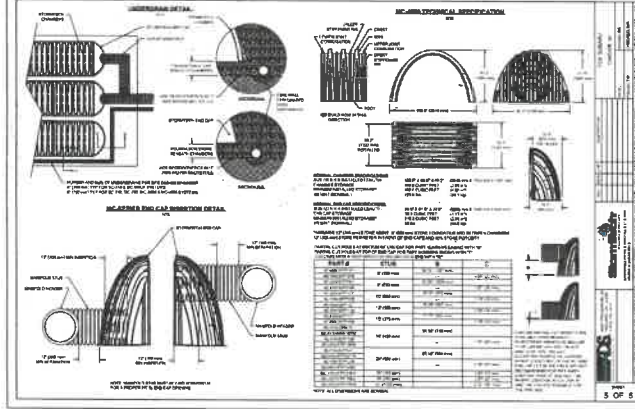
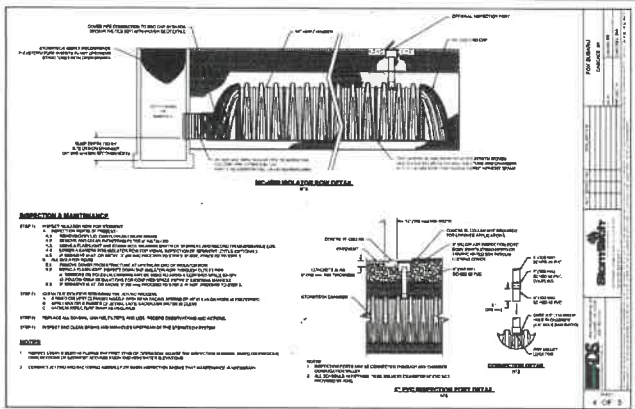


ACCEPTABLE FILL MATERIALS - STORMTECH MC-AMM CHAMBER SYSTEM

MATERIAL LOCATION	DESCRIPTION	ACCEPTED MATERIAL CLASSIFICATION	COMPACTION/DENSITY REQUIREMENT
1. SUBGRADE	Minimum 4" compacted subgrade below the bottom of the chamber.	Group 3 or better, as defined in the MDT Specifications.	95% Relative Compaction (ASTM D 1557)
2. CHAMBER	StormTech MC-AMM Chamber System.	As specified in the drawings.	As specified in the drawings.
3. BACKFILL	Material above and around the chamber.	Group 3 or better, as defined in the MDT Specifications.	95% Relative Compaction (ASTM D 1557)
4. FINISH	Final surface above the chamber.	As specified in the drawings.	As specified in the drawings.

INSTALLATION INSTRUCTIONS:

1. Excavate to the required depth and width as shown on the drawings.
2. Prepare the subgrade as specified in the drawings.
3. Install the StormTech MC-AMM Chamber System as shown on the drawings.
4. Backfill and compact the material as specified in the drawings.
5. Install the manhole cover and frame as shown on the drawings.
6. Test the system for proper operation before final acceptance.



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 Grand Rapids, MI 49508
 Phone: 616.555.5100

PREPARED FOR:
 Green Castle Properties, LLC
 Colin Schiller

200 Ottawa Avenue NW
 Suite 403
 Grand Rapids, MI 49503

REVISIONS:

NO.	DATE	DESCRIPTION
1	01/11/2020	ISSUE FOR PERMIT
2	01/11/2020	ISSUE FOR PERMIT
3	01/11/2020	ISSUE FOR PERMIT

28TH STREET PARCELS

Details & Specifications

6906, 6915 and 6943 28th Street and 6120 Charlotte Woods Court SE
 PART OF THE SOUTHWEST 1/4 OF SECTION 4, T4N, R10W,
 CASCADE TOWNSHIP, ICHT COUNTY, MICHIGAN

STAMP:

PROJECT NO:
19405962

SHEET NO:
C-501



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GRAND RAPIDS
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Grand Rapids, MI 49503
Phone 616.251.8800

ANN ARBOR MI
COLUMBUS
HOLLAND
INDIANAPOLIS
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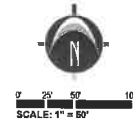
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REVISIONS:

15th 07/12/2009	Revised	15th 07/12/2009
16th 08/11/2009	Revised	16th 08/11/2009
17th 09/01/2009	Revised	17th 09/01/2009
18th 09/01/2009	Revised	18th 09/01/2009
19th 09/01/2009	Revised	19th 09/01/2009
20th 09/01/2009	Revised	20th 09/01/2009

LEGEND

- EXISTING SITE AREA
- EXISTING CONCRETE
- PROPOSED RETAINING WALL (CONCRETE)
- PROPOSED RETAINING WALL (GRAVEL)
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- PROPOSED CONCRETE
- PROPOSED GRAVEL



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	A1	American Sycamore (Liquidambar styraciflua)	15' cal. dbh	11
	G1	Japanese Flowering Quince (Euscalyptus japonica)	24' cal. dbh	22
	H	Hydrangea (Hydrangea sp.)	8' cal. dbh	13
	N1	Norway Spruce (Picea canadensis)	15' cal. dbh	2
	P1	Prunella (Prunella sp.)	22' cal. dbh	1
	T1	Taxus canadensis (Eastern White Pine)	22' cal. dbh	16
	Z1	Zelkova (Zelkova sp.)	22' cal. dbh	16
	B1	Bassia (Bassia sp.)	24' cal. dbh	8
	C1	Cornus (Cornus sp.)	5' cal. dbh	1
	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1
	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1
	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1
	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1
	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1
	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1
	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1
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	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1
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	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1
	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1
	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1
	H1	Hydrangea (Hydrangea sp.)	5' cal. dbh	1

LANDSCAPE CALCULATIONS

LANDSCAPE AREA	BUFFER TYPE REQUIRED	PLANTING REQUIREMENTS	LENGTH OF LANDSCAPE AREA	PLANTINGS REQUIRED	PLANTINGS PROVIDED
ROAD YARD	TYPE C	1. 1' x 1' x 1' TREES 2. 1' x 1' x 1' TREES 3. 1' x 1' x 1' TREES 4. 1' x 1' x 1' TREES 5. 1' x 1' x 1' TREES 6. 1' x 1' x 1' TREES 7. 1' x 1' x 1' TREES 8. 1' x 1' x 1' TREES 9. 1' x 1' x 1' TREES 10. 1' x 1' x 1' TREES 11. 1' x 1' x 1' TREES 12. 1' x 1' x 1' TREES 13. 1' x 1' x 1' TREES 14. 1' x 1' x 1' TREES 15. 1' x 1' x 1' TREES 16. 1' x 1' x 1' TREES 17. 1' x 1' x 1' TREES 18. 1' x 1' x 1' TREES 19. 1' x 1' x 1' TREES 20. 1' x 1' x 1' TREES 21. 1' x 1' x 1' TREES 22. 1' x 1' x 1' TREES 23. 1' x 1' x 1' TREES 24. 1' x 1' x 1' TREES 25. 1' x 1' x 1' TREES 26. 1' x 1' x 1' TREES 27. 1' x 1' x 1' TREES 28. 1' x 1' x 1' TREES 29. 1' x 1' x 1' TREES 30. 1' x 1' x 1' TREES 31. 1' x 1' x 1' TREES 32. 1' x 1' x 1' TREES 33. 1' x 1' x 1' TREES 34. 1' x 1' x 1' TREES 35. 1' x 1' x 1' TREES 36. 1' x 1' x 1' TREES 37. 1' x 1' x 1' TREES 38. 1' x 1' x 1' TREES 39. 1' x 1' x 1' TREES 40. 1' x 1' x 1' TREES 41. 1' x 1' x 1' TREES 42. 1' x 1' x 1' TREES 43. 1' x 1' x 1' TREES 44. 1' x 1' x 1' TREES 45. 1' x 1' x 1' TREES 46. 1' x 1' x 1' TREES 47. 1' x 1' x 1' TREES 48. 1' x 1' x 1' TREES 49. 1' x 1' x 1' TREES 50. 1' x 1' x 1' TREES 51. 1' x 1' x 1' TREES 52. 1' x 1' x 1' TREES 53. 1' x 1' x 1' TREES 54. 1' x 1' x 1' TREES 55. 1' x 1' x 1' TREES 56. 1' x 1' x 1' TREES 57. 1' x 1' x 1' TREES 58. 1' x 1' x 1' TREES 59. 1' x 1' x 1' TREES 60. 1' x 1' x 1' TREES 61. 1' x 1' x 1' TREES 62. 1' x 1' x 1' TREES 63. 1' x 1' x 1' TREES 64. 1' x 1' x 1' TREES 65. 1' x 1' x 1' TREES 66. 1' x 1' x 1' TREES 67. 1' x 1' x 1' TREES 68. 1' x 1' x 1' TREES 69. 1' x 1' x 1' TREES 70. 1' x 1' x 1' TREES 71. 1' x 1' x 1' TREES 72. 1' x 1' x 1' TREES 73. 1' x 1' x 1' TREES 74. 1' x 1' x 1' TREES 75. 1' x 1' x 1' TREES 76. 1' x 1' x 1' TREES 77. 1' x 1' x 1' TREES 78. 1' x 1' x 1' TREES 79. 1' x 1' x 1' TREES 80. 1' x 1' x 1' TREES 81. 1' x 1' x 1' TREES 82. 1' x 1' x 1' TREES 83. 1' x 1' x 1' TREES 84. 1' x 1' x 1' TREES 85. 1' x 1' x 1' TREES 86. 1' x 1' x 1' TREES 87. 1' x 1' x 1' TREES 88. 1' x 1' x 1' TREES 89. 1' x 1' x 1' TREES 90. 1' x 1' x 1' TREES 91. 1' x 1' x 1' TREES 92. 1' x 1' x 1' TREES 93. 1' x 1' x 1' TREES 94. 1' x 1' x 1' TREES 95. 1' x 1' x 1' TREES 96. 1' x 1' x 1' TREES 97. 1' x 1' x 1' TREES 98. 1' x 1' x 1' TREES 99. 1' x 1' x 1' TREES 100. 1' x 1' x 1' TREES	100 FT	100 TREES	100 TREES PROVIDED
EXTERIOR PATIO	TYPE C	1. 1' x 1' x 1' TREES 2. 1' x 1' x 1' TREES 3. 1' x 1' x 1' TREES 4. 1' x 1' x 1' TREES 5. 1' x 1' x 1' TREES 6. 1' x 1' x 1' TREES 7. 1' x 1' x 1' TREES 8. 1' x 1' x 1' TREES 9. 1' x 1' x 1' TREES 10. 1' x 1' x 1' TREES 11. 1' x 1' x 1' TREES 12. 1' x 1' x 1' TREES 13. 1' x 1' x 1' TREES 14. 1' x 1' x 1' TREES 15. 1' x 1' x 1' TREES 16. 1' x 1' x 1' TREES 17. 1' x 1' x 1' TREES 18. 1' x 1' x 1' TREES 19. 1' x 1' x 1' TREES 20. 1' x 1' x 1' TREES 21. 1' x 1' x 1' TREES 22. 1' x 1' x 1' TREES 23. 1' x 1' x 1' TREES 24. 1' x 1' x 1' TREES 25. 1' x 1' x 1' TREES 26. 1' x 1' x 1' TREES 27. 1' x 1' x 1' TREES 28. 1' x 1' x 1' TREES 29. 1' x 1' x 1' TREES 30. 1' x 1' x 1' TREES 31. 1' x 1' x 1' TREES 32. 1' x 1' x 1' TREES 33. 1' x 1' x 1' TREES 34. 1' x 1' x 1' TREES 35. 1' x 1' x 1' TREES 36. 1' x 1' x 1' TREES 37. 1' x 1' x 1' TREES 38. 1' x 1' x 1' TREES 39. 1' x 1' x 1' TREES 40. 1' x 1' x 1' TREES 41. 1' x 1' x 1' TREES 42. 1' x 1' x 1' TREES 43. 1' x 1' x 1' TREES 44. 1' x 1' x 1' TREES 45. 1' x 1' x 1' TREES 46. 1' x 1' x 1' TREES 47. 1' x 1' x 1' TREES 48. 1' x 1' x 1' TREES 49. 1' x 1' x 1' TREES 50. 1' x 1' x 1' TREES 51. 1' x 1' x 1' TREES 52. 1' x 1' x 1' TREES 53. 1' x 1' x 1' TREES 54. 1' x 1' x 1' TREES 55. 1' x 1' x 1' TREES 56. 1' x 1' x 1' TREES 57. 1' x 1' x 1' TREES 58. 1' x 1' x 1' TREES 59. 1' x 1' x 1' TREES 60. 1' x 1' x 1' TREES 61. 1' x 1' x 1' TREES 62. 1' x 1' x 1' TREES 63. 1' x 1' x 1' TREES 64. 1' x 1' x 1' TREES 65. 1' x 1' x 1' TREES 66. 1' x 1' x 1' TREES 67. 1' x 1' x 1' TREES 68. 1' x 1' x 1' TREES 69. 1' x 1' x 1' TREES 70. 1' x 1' x 1' TREES 71. 1' x 1' x 1' TREES 72. 1' x 1' x 1' TREES 73. 1' x 1' x 1' TREES 74. 1' x 1' x 1' TREES 75. 1' x 1' x 1' TREES 76. 1' x 1' x 1' TREES 77. 1' x 1' x 1' TREES 78. 1' x 1' x 1' TREES 79. 1' x 1' x 1' TREES 80. 1' x 1' x 1' TREES 81. 1' x 1' x 1' TREES 82. 1' x 1' x 1' TREES 83. 1' x 1' x 1' TREES 84. 1' x 1' x 1' TREES 85. 1' x 1' x 1' TREES 86. 1' x 1' x 1' TREES 87. 1' x 1' x 1' TREES 88. 1' x 1' x 1' TREES 89. 1' x 1' x 1' TREES 90. 1' x 1' x 1' TREES 91. 1' x 1' x 1' TREES 92. 1' x 1' x 1' TREES 93. 1' x 1' x 1' TREES 94. 1' x 1' x 1' TREES 95. 1' x 1' x 1' TREES 96. 1' x 1' x 1' TREES 97. 1' x 1' x 1' TREES 98. 1' x 1' x 1' TREES 99. 1' x 1' x 1' TREES 100. 1' x 1' x 1' TREES	50 FT	50 TREES	50 TREES PROVIDED
PERMEABLE PAVEMENT AREA	NA	1. 1' x 1' x 1' TREES 2. 1' x 1' x 1' TREES 3. 1' x 1' x 1' TREES 4. 1' x 1' x 1' TREES 5. 1' x 1' x 1' TREES 6. 1' x 1' x 1' TREES 7. 1' x 1' x 1' TREES 8. 1' x 1' x 1' TREES 9. 1' x 1' x 1' TREES 10. 1' x 1' x 1' TREES 11. 1' x 1' x 1' TREES 12. 1' x 1' x 1' TREES 13. 1' x 1' x 1' TREES 14. 1' x 1' x 1' TREES 15. 1' x 1' x 1' TREES 16. 1' x 1' x 1' TREES 17. 1' x 1' x 1' TREES 18. 1' x 1' x 1' TREES 19. 1' x 1' x 1' TREES 20. 1' x 1' x 1' TREES 21. 1' x 1' x 1' TREES 22. 1' x 1' x 1' TREES 23. 1' x 1' x 1' TREES 24. 1' x 1' x 1' TREES 25. 1' x 1' x 1' TREES 26. 1' x 1' x 1' TREES 27. 1' x 1' x 1' TREES 28. 1' x 1' x 1' TREES 29. 1' x 1' x 1' TREES 30. 1' x 1' x 1' TREES 31. 1' x 1' x 1' TREES 32. 1' x 1' x 1' TREES 33. 1' x 1' x 1' TREES 34. 1' x 1' x 1' TREES 35. 1' x 1' x 1' TREES 36. 1' x 1' x 1' TREES 37. 1' x 1' x 1' TREES 38. 1' x 1' x 1' TREES 39. 1' x 1' x 1' TREES 40. 1' x 1' x 1' TREES 41. 1' x 1' x 1' TREES 42. 1' x 1' x 1' TREES 43. 1' x 1' x 1' TREES 44. 1' x 1' x 1' TREES 45. 1' x 1' x 1' TREES 46. 1' x 1' x 1' TREES 47. 1' x 1' x 1' TREES 48. 1' x 1' x 1' TREES 49. 1' x 1' x 1' TREES 50. 1' x 1' x 1' TREES 51. 1' x 1' x 1' TREES 52. 1' x 1' x 1' TREES 53. 1' x 1' x 1' TREES 54. 1' x 1' x 1' TREES 55. 1' x 1' x 1' TREES 56. 1' x 1' x 1' TREES 57. 1' x 1' x 1' TREES 58. 1' x 1' x 1' TREES 59. 1' x 1' x 1' TREES 60. 1' x 1' x 1' TREES 61. 1' x 1' x 1' TREES 62. 1' x 1' x 1' TREES 63. 1' x 1' x 1' TREES 64. 1' x 1' x 1' TREES 65. 1' x 1' x 1' TREES 66. 1' x 1' x 1' TREES 67. 1' x 1' x 1' TREES 68. 1' x 1' x 1' TREES 69. 1' x 1' x 1' TREES 70. 1' x 1' x 1' TREES 71. 1' x 1' x 1' TREES 72. 1' x 1' x 1' TREES 73. 1' x 1' x 1' TREES 74. 1' x 1' x 1' TREES 75. 1' x 1' x 1' TREES 76. 1' x 1' x 1' TREES 77. 1' x 1' x 1' TREES 78. 1' x 1' x 1' TREES 79. 1' x 1' x 1' TREES 80. 1' x 1' x 1' TREES 81. 1' x 1' x 1' TREES 82. 1' x 1' x 1' TREES 83. 1' x 1' x 1' TREES 84. 1' x 1' x 1' TREES 85. 1' x 1' x 1' TREES 86. 1' x 1' x 1' TREES 87. 1' x 1' x 1' TREES 88. 1' x 1' x 1' TREES 89. 1' x 1' x 1' TREES 90. 1' x 1' x 1' TREES 91. 1' x 1' x 1' TREES 92. 1' x 1' x 1' TREES 93. 1' x 1' x 1' TREES 94. 1' x 1' x 1' TREES 95. 1' x 1' x 1' TREES 96. 1' x 1' x 1' TREES 97. 1' x 1' x 1' TREES 98. 1' x 1' x 1' TREES 99. 1' x 1' x 1' TREES 100. 1' x 1' x 1' TREES	NA	NA	NA

811 Know what's below. CALL before you dig.

WHEN YOU HAVE SERVICE LINES OR ARE CONSIDERING TO BE INSTALLED. THEY SHOULD NOT BE INTERRUPTED BY UNNECESSARY DIGGING. THE SERVICE LINES SHOULD BE LOCATED BY THE UTILITY LOCATOR SERVICE AREA.

NEED CONSTRUCTION AND SERVICE LINES AND RECORDS? CALL THE CONSTRUCTION RECORDS AND SERVICE LINES DIVISION. WE'LL FIND THE LINES AND SERVICE LINES BEFORE YOU DIG.

28TH STREET

28TH STREET PARCELS
Landscape Plan
6086 S. ILLS and 6143 28th Street and 6100 Chatham Woods Court SE
PART OF THE SOUTHWEST 1/4 OF SECTION 8, T4N, R17W,
LASCONE TOWNSHIP, IRT COUNTY, MICHIGAN

STAMP:

PROJECT NO:
19400962

SHEET NO:
L-100

CASCADE CHARTER TOWNSHIP

Ordinance # 1 of 2004

Amended by Ordinance #6 of 2004

Amended by Ordinance #5 of 2014

Amended by Ordinance #9 of 2017

**AN ORDINANCE TO AMEND THE CASCADE CHARTER TOWNSHIP ZONING ORDINANCE
AND ZONING MAP TO ESTABLISH THE
EAST IMPORTS
PLANNED UNIT DEVELOPMENT PROJECT.**

Cascade Charter Township Ordains:

Section I. An Amendment to The Cascade Charter Township Zoning Ordinance.

The application received from Green Castle Properties (hereinafter referred to as the "Developer"), for Planned Unit Development designation for the proposed East Imports Automotive Development Project (herein after referred to as the "Project") was recommended by the Cascade Charter Township Planning Commission for approval on December 1, 2003. The Project is recommended to repeal the existing Zoom Automotive PUD and replace it with a new Planned Unit Development that will also permit new and used car sales and service. This action requires an amendment to the Cascade Charter Township Zoning Ordinance and Zoning Map to incorporate the Planning Commission's recommendation and the Cascade Charter Township Board of Trustees' action on January 14, 2004.

Section II. Legal Description.

(Amended by Ord No #5 of 2014)

Part of the SE ¼ of Section 8, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan described as: Beginning at the S ¼ corner of said Section 8; thence N 00°43'11" W, 706.63 feet along the North and South ¼ line to the South line of Charlevoix Woods Court (66 wide private); thence 139.08 feet on a 233.00 foot radius curve to left, the long chord which bears N 64°24'45" E, 137.00 feet along said South line of Charlevoix Woods Court; thence continuing along said South line of Charlevoix Woods Court N 47°18'57" E, 196.63 feet; thence 28.52 feet on a 167.00 foot radius curve to the right, the long chord bears N 52°12'31" E, 28.48 feet; thence S 00°29'57" W, 918.76 feet to said South line of Section 8; thence N 89°32'03" W 273.75 feet along said South line of Section 8 to the POINT OF BEGINNING. This parcel contains 5.07 acres more or less. Subject to easements, restrictions and rights-of-way of record.

Subaru Site Legal Description – 6045 28th Street

(Amended by Ordinance #9 of 2017)

Part of the Southeast 1/4 of Section 8, Town 6 North, Range 10 West, Cascade Township, Kent County, Michigan, described as: Commencing at the South 1/4 corner of said Section 8; thence S89°32'03"E 273.75 feet along the South line of said Section 8 to the Point of Beginning; thence N00°29'57"E 918.76 feet to the South right-of-way line of Charlevoix Woods Court; thence Northeasterly 95.90 feet along a 167.00 foot radius curve to the right, said curve having a central angle of 32°54'11", and a chord bearing N73°32'50"E 94.59 feet; thence N90°00'00"E 101.02 feet; thence Southeasterly 57.59 feet along a 50.00 foot radius curve to the right, said curve having a central angle of 65°59'41", and a chord bearing S57°00'05"E 54.46 feet; thence Southeasterly 128.03 feet along a 68.00 foot radius curve to the left, said curve having a central angle of 107°52'49", and a chord bearing S77°56'42"E 109.94 feet; (last 4 courses being along said South right-of-way line); thence S60°43'50"E 275.14 feet; thence S00°38'51"E 232.94 feet; thence N89°32'03"W 273.01 feet along the North line of the South 530.38 feet of said Southeast 1/4; thence N00°43'11"W 111.61 feet; thence N89°32'03"W 135.09 feet; thence S00°29'57"W 641.86 feet; thence N89°32'03"W

180.50 feet along the South line of said Section 8 to the Point of Beginning. Contains 6.64 acres. Subject to easements, restrictions and rights-of-way of record.

Section III. General Provisions.

The following provisions shall hereby apply to the Project, in addition to those Provisions outlined in Chapter 16 of the Cascade Charter Township Zoning Ordinance (Ordinance No. 11 of 1988, as amended).

Section IV. Purpose.

(Amended by Ord #9 of 2017)

The Project occupies approximately 11.8 acres of land. The Project is proposed to be expanded to allow for a new (Subaru) new and used automobile sales and related uses. The Planned Unit Development technique has been chosen by the Developer to provide more control over the Project's aesthetics and appearance. This development technique provides the Developer with the ability to develop the Project in a manner to meet market expectations and develop the project in a unified manner with the existing East Imports PUD (Porsche and Audi) new and used automobile dealership.

The regulations contained herein are established to define the procedures necessary to insure high quality development in the Project. Additionally, they are designed to achieve integration of this development with adjacent land uses.

Section V. Approval Limitations.

- A. The provisions of this Ordinance are not intended as a substitute for the Cascade Charter Township Zoning Ordinance and the General Development Plan, nor do they in any way relieve the Developer from obtaining all approvals and permits required by the township, except as otherwise expressly provided herein. In the event that a development issue or site plan element is not addressed by this Ordinance, the specifications and requirements of the Cascade Charter Township Zoning Ordinance shall be enforced.
- B. Except as otherwise provided herein, the Developer and his assigns must meet all applicable provisions and regulations of Cascade Charter Township, as well as federal and state law, and must obtain all necessary approvals from state and county governmental agencies that are required for operation or use.
- C. This PUD approval is expressly contingent upon all conditions of approval herein remaining fully effective and valid. If any condition imposed herein is determined to be illegal or contrary to law as a result of a successful legal challenge by the Developer or its assigns, or any other party, the Township reserves the right to review the entire Project under the PUD provisions of the Cascade Charter Township Zoning Ordinance, and further, to withdraw its approval of this PUD if it finds that, absent the effect of any condition imposed herein, the PUD no longer meets the standards for PUD approval contained in the Zoning Ordinance.
- D. All conditions contained herein shall be binding upon the Developer, as well as its successors, tenants and assigns. The conditions may be modified or amended only pursuant to a formal amendment of the PUD approval and ordinance amendment.
- E. **This approval document shall be recorded with the Kent County Register of Deeds by the Developer prior to construction occurring on site and shall run with and bind the lands involved. Copies of this recorded document shall be supplied by the Developer to the Cascade Charter Township Clerk.**
- F. Failure to comply with the site plan or any condition of approval herein shall be deemed a violation of the Cascade Charter Township Zoning Ordinance.

Section VI. Permitted Uses.

(Amended by Ord #5 of 2014)

The permitted uses for the East Imports PUD include the following uses:

1. **New and Used Car sales.**

- A. One (1) 34,600 square foot building. This building will be constructed as shown on the approved site plan dated 12/23/03 as drawn by Concept Design Group (the approved site plan).
- B. One (1) 20,000 square foot building. This building will be constructed as shown on the approved site plan dated 1/2/14.
- C. One (1) 3,200 square foot single story detail building as shown on the approved site plan dated 1/2/14.
This site will also be able to utilize the following uses associated with the new and used automobile sale business on site:
 - Normal repair and servicing associated with automotive sales
 - Display of vehicles outside the building.
 - The display of vehicles for sale or lease inside and outside the building for periods in excess of 72 hrs.
 - Normal retail sales of parts as related to new and used automotive vehicle brands sold on-site.
 - Washing and detailing of vehicles both inside and outside the building.

Section VII. Site Plans & Design Guidelines, Requirements and Limitations.

(Amended by Ord #5 of 2014)

The Project shall be developed in accordance with the site plans approved and signed by the Township. The site plan shall indicate where the building will be located and provide appropriate measurements demonstrating compliance with this ordinance. Engineering plans and documents relating to utilities, topography, drainage, and the survey of the Project shall be reviewed and approved by the Township Engineer. Approval of these documents shall be based upon their meeting recognized, acceptable engineering standards and practices. No alterations, expansions or additions may take place to the Project without an amendment to this Ordinance, other than those changes allowed to be review by staff as stated in Section 21.04 of the Zoning Ordinance or unless authorized otherwise herein.

- A. Maximum Building Height
 - 1. Commercial retail building – 33 feet.
- B. Parking (amended by Ord #9 of 2017)
 - 1. A total of 578 parking spaces are provided. With at least an additional 60 spaces being deferred until needed for a total of 638 if all parking is constructed. A minimum of 50 spaces must be reserved for customer parking with the rest of the parking allowed to be used for display of vehicles for sale. No vehicles are allowed to be displayed anywhere on the site except for an approved parking space as shown on the approved site plan.
- C. Building Setback Requirements
 - 1. These measurements include the following minimum setbacks:
 - a. Minimum of 100 feet from the 28th Street right-of-way line.
 - b. Minimum of 50 feet from the proposed North boundary line.
 - c. Minimum of 25 feet on the sides. With the exception of the Subaru building (6045 28th St) may have a 10 foot setback as shown on the approved site plan.
- D. Bufferyards
 - Parking setbacks shall be provided as indicated on the approved site plan.

Section VIII. Landscaping

(Amended by Ord #9 of 2017)

The project shall provide landscaping according to the approved landscape plans as drawn by Concept Design Group dated 1/02/14 and the parking expansion plans drawn by Nederveld dated 7/25/17. The developer shall be required to deposit a Performance guarantee for landscaping prior to obtaining a building permit.

Section IX. Signs. The following signs shall be permitted for the project:

(As amended by Ord No 5 of 2014)

Sign _____ Area (sf) _____

DELTA IMPORTS (existing dealership at 6025 28th St)

Porsche Wall Logo	33
Audi Ring Logos	46
Audi Grand Rapids	83
Delta Pylon Sign	48
<u>Total</u>	210 sq ft

DELTA IMPORTS DIRECTIONAL

Porsche Service Sign	6
Audi Service	6
Site Directional	8
<u>Total</u>	20 sq ft

SUBARU (6045 28th St)

Oval Logo	16
Subaru Letter Sign	51
“FOX” Dealer Name	17
Pylon Sign	90
<u>Total</u>	174 Sq ft

SUBARU DIRECTIONAL

Subaru Service	10
Site Directional	10
<u>Total</u>	20 sq ft (can be multiple signs provided no more than 20 sq ft total)

1. The developer agrees to comply with all other provisions of the Cascade Charter Township Sign Ordinance as amended.

SECTION X. Loudspeakers

No outside loudspeaker shall be permitted with this project.

Section XI. Land Splits

(Amended by Ord #5 of 2014)

This project involves a portion of a larger parcel to the north; this parcel is currently identified as (6065 28th St. (41-19-08-451-037). Per the approval of the project this land division is already considered approved by Cascade Township provided it is completed as shown on the approved site plan.

This expanded project involves a land split and combination with two different properties to the north and east. The property to the north (6120 Charlevoix Woods Ct) will be split creating two parcels, the western piece will be combined with the Subaru parcel (6045 28th St). The eastern half will stand on its own.

In addition, the 6097 28th St will be split to create two parcels. The western half will be combined to the Subaru parcel and the eastern half will be combined to 6095 28th St

Section XII. Temporary Buildings.

No structure of a temporary nature; trailer, tent or construction shack shall be constructed, placed or maintained within the Project except accessory to and during construction/ renovation of buildings or infrastructure improvements.

Section XII. Sidewalks

The Developer shall have one of the two options for providing sidewalks along their 28th street frontage for this project:

1. Enter into a construction agreement that would require the developer to construct the sidewalk in the future at such time as sidewalks are extended throughout the area. This agreement would need to be in place prior to the issuance of a building permit.
 - i) The Township shall notify the Owner at least 30 days prior to commencing the sidewalk

- extension project in this area.
- ii) The Township shall provide the specifications to which the sidewalk or pedestrian path must be constructed.
 - iii) The location of the sidewalk must be consistent with any sidewalk easement on adjacent property and designed and placed so the sidewalk can be easily connected to by adjacent properties.
 - iv) The sidewalk shall be constructed at the Owner's expense and the Owner shall have up to 12 months to install the sidewalk once required to do so.
2. The Developer pay the Township in the amount that it would cost to engineer and construct the sidewalk at the time of the approval of the project in order for the Township to construct the sidewalk. This amount would need to be submitted to the Township prior to a building permit be issued.

Section XIII. Utilities .

- A. Public Water and Sanitary Sewer - All buildings within the Project shall be served by public sanitary sewer and water at the developer's expense.
- B. Stormwater Drainage - All proposed stormwater drainage facilities shall be reviewed and approved by the Township Engineer and the Kent County Drain Commissioner's office prior to the development of the Project. The Developer shall provide the Township Planning Department with copies of all correspondence and permits received from the Kent County Drain Commissioner regarding stormwater disposal issues.
- C. The Developer shall provide all necessary easements within the Project for telephone, electricity, gas and cable television to the appropriate utility provider without cost. Said easements shall be recorded with the Kent County Register of Deeds and provided to each utility provider for their records.

Section XIV. Lighting

(Amended by Ord #9 of 2017)

The required lighting section of the Zoning Ordinance as amended shall regulate lighting for the project. The lighting at this project is limited to only those lights and those types of lights as indicated on the approved photometric lighting plan as drawn by Concept Design Group dated 11/10/03 and the updated lighting plan dated 12/30/13 for the Subaru site and the parking expansion plan dated 7/25/17. Furthermore, the total height of individual light poles is limited to the height indicated on the plan as well. All lights on the site are to be downcast or "shielded" type lights. If the developer chooses to utilize LED lights the new plan will be reviewed administratively by the Planning Department for compliance with our lighting regulations

Section XV. Soil Erosion Control Requirements.

Prior to construction, the Developer shall submit a soil erosion control plan showing all temporary and permanent soil erosion control measures to be taken before, during, and after construction on the Project. This plan shall be reviewed and approved by the Township Engineer prior to commencing any building on the site. The developer shall also be responsible for obtaining a soil erosion permit posting a performance guarantee prior to issuance of any building permit.

Section XVI. Performance Guarantee.

To insure compliance with this Ordinance and any conditions herein, Cascade Township may require reasonable performance guarantees, as authorized under the Township Rural Zoning Enabling Act to insure completion of improvements such as, but not limited to, landscaping, drainage, lighting, roads, and utilities. The Township Board, Engineer, or Planning Department may require such guarantees at any time they deem necessary to insure completion of the improvements.

Section XVII. Reimbursement of Review Fees.

The Developer shall reimburse the Township for all fees associated with the review of the Project. These fees may include, but not be limited to, legal, engineering, publishing, and planning review fees.

Section XVIII. Consistency With Planned Unit Development (PUD) Standards.

The rezoning to Planned Unit Development will result in a recognizable benefit to the ultimate users of the Project and to the community. The conversion of the vacant property to a commercial use along 28th Street is consistent with the Township Goals.

In relation to the underlying zoning (B2, General Business) the Township finds the Project will not result in a material increase in the need for public services. Utility extensions and construction will be the responsibility of the Developer and will not place a material burden upon the subject property or the surrounding properties. The Project is not anticipated to cause undo impact to the stormwater drainage of the surrounding area. All stormwater and soil erosion control plans have been approved by the Township Engineer and the appropriate County and State agencies.

The Project has been determined by the Township to be compatible with the 1999 Comprehensive Plan of the Township and with the spirit and intent of the Planned Unit Development Chapter of the Zoning Ordinance.

The Township finds the Project will not result in an unreasonable negative economic impact upon surrounding properties.

The Township finds the Project to have a similar amount of green areas, and usable open space than would typically be required by the Township Zoning Ordinance.

Finally, the Township recognizes the Project will be under single ownership or control. The Township recognizes that the Developer or its assigns will retain ownership and control of the project until this PUD Ordinance is recorded and all provisions that the developer and his assigns are responsible for are complied with. After that time, the property may be sold to other parties.

Section XIX. Repeal

The effect of this ordinance shall repeal Ordinance #8 of 2001 and any amendment to it.

Section XX. Effective Date.

This Ordinance shall become effective upon publication of the ordinance, or a summary thereof, in The Grand Rapids Press, a newspaper of general circulation within Cascade Charter Township. All prior Planned Unit Development ordinances that were previously approved for this property shall become null and void.

The foregoing Ordinance was offered by Board Member Timmons, supported by Board Member Parrish. The roll call vote being as follows:

YEAS: Carpenter, Goodyke, Julien, Kleinheksel, Parrish, Timmons
NAYS: None
ABSENT: Jones

Marlene Kleinheksel
Cascade Charter Township Clerk

CERTIFICATION

I hereby certify the foregoing to be a true copy of an Ordinance adopted at a Regular Meeting of the Cascade Charter Township Board on the 14th day of January, 2004.

Marlene Kleinheksel
Cascade Charter Township Clerk

STAFF REPORT

TO: Cascade Charter Township Planning Commission
FROM: Brian Hilbrands, Planner
REPORT DATE: September 14, 2020
MEETING DATE: September 21, 2020
CASE: #20-3579/ 1370 Buttrick Ave

GENERAL INFORMATION

- A. Applicant: BDR Executive Custom Homes
5510 Cascade Rd SE
Suite 200
Cascade MI 49546
- B. Status of Applicant: Developer
- C. General Location:
The property is located on the Southeast corner of Buttrick and Grand River Dr.
- D. Requested Action:
Develop into 19 detached single-family site condominium project.
- E. Existing Zoning on Subject Parcels: R1
- F. Zoning on Adjoining Parcels:
S,W -R1
E-PUD
N- AG (Ada Twp)
- G. Parcel Size: Approximately 23 acres
- H. Existing Land Use on Subject Parcel: Residential/Horse Farm
- I. Adjacent Area Land Uses:
E, S, W - Residential
N- Ada Township Park

STAFF ANALYSIS

- A. The applicant is requesting Final Preliminary Plan approval. The development would allow for a new subdivision for 19 single-family detached homes on a new private street.
- B. The property is zoned R1 and is Master Planned as Suburban Residential.
- C. You reviewed and approved the tentative preliminary plan in May of this year. The developer has now submitted all the required materials to proceed to final preliminary approval. Essentially, that entails all of the other government approvals.
- D. The applicant has provided a plan showing how the property can be developed with 19 lots using 25% open space with public sewer or public water. This method requires a minimum of 30,000 sq ft per lot. The lots range in size from 30,000 sq ft to just under 33,000 sq ft.
- E. The plan meets our subdivision ordinance for density and lot size requirements.
- F. The development will not be seeking deviations from our subdivision ordinance.
- G. For this stage you are again providing a recommendation to the Township Board for their consideration.
- H. They are proposing to extend public sewer and utilize private wells. The KCHD has approved the plans.
- I. The sewer is being extended from Ada Township. This has received approval from the Utility Advisory Board to allow the Ada system to serve this property in Cascade.
- J. The applicant is attempting to do this subdivision “by right” and therefore does not need to rezone the property.
- K. The development will be utilizing a new private street. The township engineer has approved the private street plans. The KCRC has indicated approval for the location of the new road.
- L. The township engineer has reviewed and approved the plans. They will have to enter into an agreement for maintenance of the storm water system.
- M. There are no projects in the Capital Improvement Plan that would be activated as a result of this project.
- N. The project includes a 5’ sidewalk along the private street and the extension of the pedestrian pathway from Buttrick to the new private street along Grand River. There is also an easement provided for future pathway extensions from the private street to

the east property line. The township would be responsible for the maintenance and the upkeep of the pathway.

- O. As with all our residential developments, an airport recognition statement will be required. This will need to be incorporated into the master deed and/or bylaws.
- P. The subdivision is located in the utility service area and should include an SAD agreement in the master deed language if public water ever becomes available. This is typical for projects that are inside the utility boundary.
- Q. The applicant has not yet submitted the master deed and bylaws. These documents should be submitted so that they can be reviewed by the township to ensure there are no inconsistencies with township ordinances.
- R. The development of this property will require the removal of several buildings that are now used for the horse farm. The applicant should indicate the timing of the removal of these buildings as well as the fencing.
- S. Final Preliminary approval essentially approves the project and allows the developer 2 years to get it started. Such tentative approval may be extended if applied for by the subdivider and granted by the Township Board in writing.

STAFF RECOMMENDATION

Staff believes this project meets the requirements for Final Preliminary approval of our subdivision ordinance and is consistent with the Master Plan. Staff Recommends approval of the plan with the following conditions:

1. Indicate timing of the removal of the existing buildings and fencing.
2. Submit a copy of the proposed deed restrictions and bylaws, including the airport recognition statement and agreement to participate in the Special Assessment District for water.
3. Record the stormwater maintenance agreement.

If you approve the plan, the development will go before the Township Board for Final Preliminary approval.

Attachments: Application
 Site Plan
 Approvals



CASCADE CHARTER TOWNSHIP

2865 Thornhills SE Grand Rapids, Michigan
49546-7140

PLANNING & ZONING APPLICATION

APPLICANT: Name: BDR Executive Custom Homes
Address: 5510 Cascade Road, SE Suite 200
City & Zip Code: Grand Rapids, MI 49546
Telephone: 616.458.8505 ext 8
Email Address: dcontant@bdrinc.com

OWNER: * (If different from Applicant)
Name: BDR Acquisitions, LLC
Address: See above.
City & Zip Code: _____
Telephone: _____
Email Address: _____

NATURE OF THE REQUEST: (Please check the appropriate box or boxes)

- | | |
|---|--|
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Administrative Site Plan Review |
| <input type="checkbox"/> Deferred Parking | <input type="checkbox"/> P.U.D. - Rezoning * |
| <input checked="" type="checkbox"/> P.U.D. - Site Condominium * | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Site Plan Review * | <input type="checkbox"/> Sign Variance |
| <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Subdivision Plat Review * |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ * |

*** Requires an initial submission of 5 copies of the completed site plan**

BRIEFLY DESCRIBE YOUR REQUEST:**

Please see Attachment 1.

(**Use Attachments if Necessary)

-SEE OTHER SIDE-

LEGAL DESCRIPTION OF PROPERTY:**

Please see Attachment 2.

(**Use Attachments if Necessary)

PERMANENT PARCEL (TAX) NUMBER: 41-19 - 03 - 215 - 004

ADDRESS OF PROPERTY: 1370 Buttrick Avenue

PRESENT USE OF THE PROPERTY: Single family residential and equestrienne.

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR
EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

BDR Acquisitions, LLC

via recorded purchase agreement

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) also agree to reimburse the Cascade Charter Township for all costs, including consultant costs, to review this request in a timely manner. I (we) understand that these costs may also include administrative reviews which may occur after the Township has taken action on my (our) request.

I (we) the undersigned also acknowledge that the proposed project does not violate any known property restrictions (i.e. plat restrictions, deed restrictions, covenants, etc.)

BDR Acquisitions, LLC

Owner – Print or Type Name
(*If different from Applicant)

*  3/4/20
Owner's Signature & Date
(*If different from Applicant)

BDR Inc.

Applicant – Print or Type Name

Applicant's Signature & Date

PLEASE ATTACH ALL REQUIRED DOCUMENTS NOTED IN THE PROCESS REVIEW SHEET – THANK YOU

CASCADE TOWNSHIP

KENT COUNTY, MICHIGAN

1370 BUTTRICK AVENUE

-2020-

SHEET NO.	PLAN INDEX DESCRIPTION
1	TITLE SHEET
2	SURVEY & SITE REMOVALS
3	SITE LAYOUT
4	PUBLIC UTILITIES
5	PRIVATE UTILITIES, GRADING & SOIL EROSION CONTROL
6	MISCELLANEOUS DETAILS

UTILITY COMPANIES

CONSUMERS ENERGY (ELECTRIC)
PO BOX 281
GRAND RAPIDS, MI 49501-0281
(616) 530-4244

AT&T (TELEPHONE)
ROOM 5 (PROJECTS N. OF FRANKLIN ST.)
2ND FLOOR (PROJECTS S. OF FRANKLIN ST.)
850 3870 ST. SE
GRAND RAPIDS, MI 49508
(616) 346-7303 (PROJECTS N. OF FRANKLIN ST.)
(616) 246-7219 (PROJECTS S. OF FRANKLIN ST.)

DTE ENERGY (NATURAL GAS)
44 WEALEY ST. SW
GRAND RAPIDS, MI 49503
(609) 947-6509

XFINITY/COMCAST (CABLE TV)
855 CENTURY AVE. SW
GRAND RAPIDS, MI 49503
(616) 245-6539

VERIZON BUSINESS (FIBER OPTICS)
255 OAK INDUSTRIAL DR. NE
GRAND RAPIDS, MI 49505
(616) 224-4644

CENTURY TEL (FIBER OPTICS)
325 N. WASHINGTON SQUARE
LANSING, MI 48213
(800) 238-6119

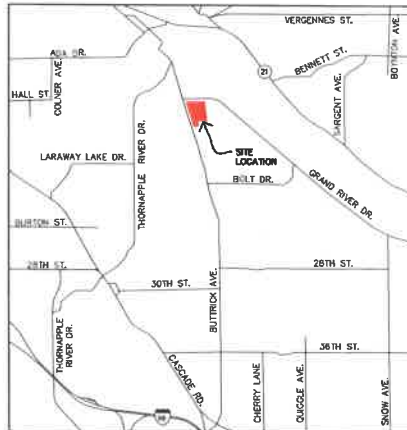
EARTHLINK (FIBER OPTICS)
251 CHARLWOOD DR. SE, STE. 209
GRAND RAPIDS, MI 49503
(616) 968-7108

US SIGNAL COMPANY, LLC (FIBER OPTICS)
201 1056A AVE. SW
GRAND RAPIDS, MI 49503
(616) 968-7631

WINDSTREAM
40 MONROE CENTER ST. NW, STE. 201
GRAND RAPIDS, MI 49503
(616) 268-1907

VEOLIA ENERGY GRAND RAPIDS LLC - STEAM
58 MONROE AVE. NW, SUITE 429
GRAND RAPIDS, MI 49503
(616) 268-2535

TDS METROCOM, LLC
1575 OCEAN PARKWAY SUITE D
WYOMING, MI 49089
(616) 361-3533



PROJECT LOCATION MAP

1370 BUTTRICK AVENUE

SURVEYED & DESIGNED BY:



PREPARED UNDER SUPERVISION OF

JUSTIN F. LONGSTRETH, P.E.
ENGINEER, P.E.

55281

REGISTRATION NO.

Moore+Bruggink

ORGANIZATION

2820 MONROE HWY GRAND RAPIDS, MI 49505
ADDRESS

SHEET NUMBER
1

DATE: MARCH 6, 2020

JOB NUMBER: 200125.01



Know what's below.
Call before you dig.

BENCHMARKS - NAVD83

ELEVATION 656.79
NAIL IN THE EAST SIDE OF A UTILITY
POLE LOCATED 27'6" WEST OF CENTERLINE
BUTTRICK AVENUE AND 30'3" SOUTH OF
CENTERLINE GRAND RIVER DRIVE

ELEVATION 655.16
RAILROAD SPIKE IN THE NORTH SIDE
SECOND UTILITY POLE EAST OF
BUTTRICK AVENUE AND 30'3" SOUTH
OF CENTERLINE GRAND RIVER DRIVE

ELEVATION 648.70
RAILROAD SPIKE IN THE NORTH SIDE OF UTILITY
POLE LOCATED 32'6" SOUTH OF CENTERLINE GRAND
RIVER DRIVE AND 50'6" WEST OF CENTERLINE OF
DRIVE INTO EAST FARMING LOT OF ADA PARCEL

CONTROL POINTS

CP432
SAD NAIL
N 1948.9248
E 10470.7274
ELEV 655.58

CP434
M 48 RED CAP
N 8930.9547
E 11441.8533
ELEV 649.15

CP436
M 48 RED CAP
N 8932.3750
E 11385.6550
ELEV 673.39

CP438
M 48 RED CAP
N 9048.5016
E 10903.7153
ELEV 668.16

CP431
M 48 RED CAP
N 8965.3186
E 10988.2549
ELEV 652.53

CP435
M 48 RED CAP
N 8311.3277
E 11427.8492
ELEV 663.70

CP437
M 48 RED CAP
N 8876.3330
E 10943.4002
ELEV 670.38

EXISTING UNDERGROUND UTILITY DATA

TELECOMMUNICATIONS (HWP)
RM 852.24
WATER LEVEL 656.84
STRUCTURE BOTTOM 655.84
NO WIRDS VISIBLE IN STRUCTURE
2' x 2' DIA PRECAST STRUCTURE

STORM 1642Z
RM 855.87

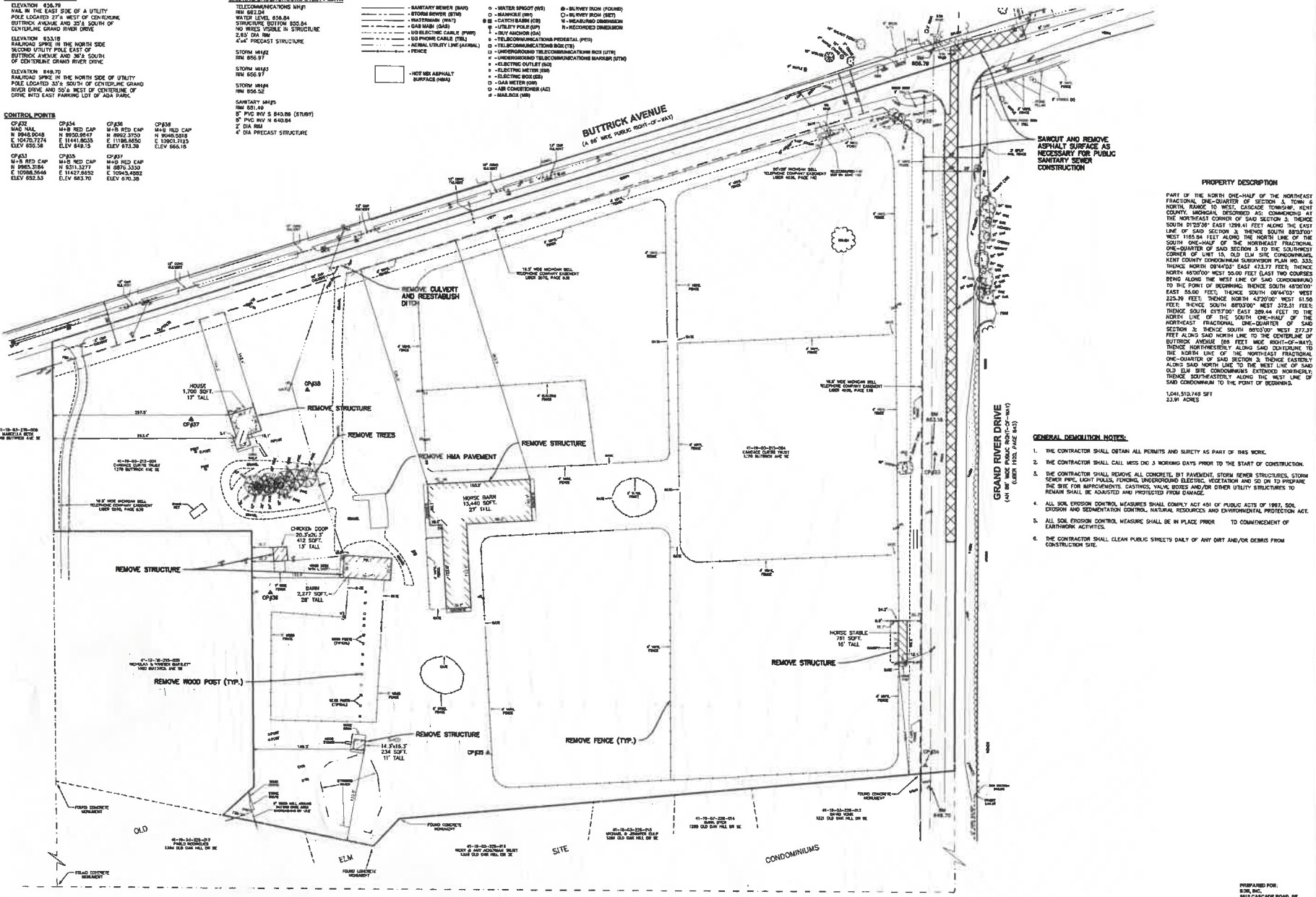
STORM 1643Z
RM 856.97

STORM 1644Z
RM 858.32

SANITARY 1645Z
RM 855.89
8" PVC RIV S 843.86 (STUR)
8" PVC RIV N 840.84 (STUR)
2" DIA DIA
4" DIA PRECAST STRUCTURE

LEGEND

- SANITARY SEWER (SSW)
 - STORM SEWER (STW)
 - WATERMAIN (WMT)
 - GAS MAIN (GAS)
 - UNDERGROUND CABLE (UWC)
 - NO PHONE CABLE (NPH)
 - AIRIAL UTILITY LINE (AUL)
 - FENCE
 - NOT IN ASPHALT SURFACE (NIA)
- - WATER SPROUT (WS)
 - - BRANCH (BR)
 - - CATCH BASIN (CB)
 - - UTILITY POLE (UP)
 - - UTILITY ANCHOR (UA)
 - - TELECOMMUNICATIONS pedestal (TCP)
 - - UNDERGROUND TELECOMMUNICATIONS BOX (UTB)
 - - TELECOMMUNICATIONS BOX (TB)
 - - UNDERGROUND TELECOMMUNICATIONS BOX (UTB)
 - - TELECOMMUNICATIONS BOX (TB)
 - - ELECTRIC OUTLET (EO)
 - - GAS METER (GM)
 - - ELECTRIC BOX (EB)
 - - GAS COMPRESSOR (GC)
 - - AIR COMPRESSOR (AC)
 - - SIGNAL BOX (SB)
- - SURVEY IRON (FIRM)
 - - SURVEY IRON (SIR)
 - - MEASURED DIMENSION
 - - RECORDED DIMENSION



PROPERTY DESCRIPTION

PART OF THE NORTH ONE-HALF OF THE NORTHEAST
FRAC-TIONAL ONE-QUARTER OF SECTION 5, TOWN 6
NORTH, RANGE 10 WEST, CASCADE TOWNSHIP, KENT
COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT
THE NORTHEAST CORNER OF SAID SECTION 5, THENCE
SOUTH 01°20'00" EAST 1299.41 FEET ALONG THE EAST
LINE OF SAID SECTION 5, THENCE SOUTH 88°00'00"
WEST 1183.84 FEET ALONG THE NORTH LINE OF THE
SOUTH ONE-HALF OF THE NORTHEAST FRAC-TIONAL
ONE-QUARTER OF SAID SECTION 5 TO THE SOUTHWEST
CORNER OF UNIT 15, OLD CLM SITE CONDOMINIUMS,
KENT COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 332,
THENCE NORTH 09°45'00" EAST 413.77 FEET, THENCE
NORTH 89°00'00" WEST 50.00 FEET (LAST TWO COURSES
BEING ALONG THE WEST LINE OF SAID CONDOMINIUM)
TO THE POINT OF BEGINNING, THENCE SOUTH 48°00'00"
EAST 54.00 FEET, THENCE SOUTH 09°45'00" WEST
225.29 FEET, THENCE NORTH 42°00'00" WEST 61.50
FEET, THENCE SOUTH 89°00'00" WEST 372.31 FEET,
THENCE SOUTH 01°20'00" EAST 209.64 FEET TO THE
NORTH LINE OF THE SOUTH ONE-HALF OF THE
NORTHEAST FRAC-TIONAL ONE-QUARTER OF SAID
SECTION 5, THENCE SOUTH 89°00'00" WEST 277.07
FEET ALONG SAID NORTH LINE TO THE CENTERLINE OF
BUTTRICK AVENUE (66 FEET WIDE NORTH-OF-WAY),
THENCE NORTHWESTERLY ALONG SAID CENTERLINE
TO THE NORTH LINE OF THE NORTHEAST FRAC-TIONAL
ONE-QUARTER OF SAID SECTION 5, THENCE EASTERLY
ALONG SAID NORTH LINE TO THE WEST LINE OF SAID
OLD CLM SITE CONDOMINIUMS, THENCE NORTHERLY,
THENCE SOUTHEASTERLY ALONG THE WEST LINE OF
SAID CONDOMINIUM TO THE POINT OF BEGINNING.

1.041.513.748 SQ FT
23.91 ACRES

GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
2. THE CONTRACTOR SHALL CALL WES DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL REMOVE ALL CONCRETE, BIT PAVEMENT, STORM SEWER STRUCTURES, STORM SEWER PIPE, LIGHT POLES, FENCING, UNDERGROUND ELECTRIC, VEGETATION AND SO ON TO PREPARE THE SITE FOR RECONSTRUCTION. CASTINGS, NAILS, BODIES AND/OR OTHER UTILITY STRUCTURES TO REMAIN SHALL BE ADJUSTED AND PROTECTED FROM DAMAGE.
4. ALL SOIL EROSION CONTROL MEASURES SHALL COMPLY WITH ACT 451 OF PUBLIC ACTS OF 1987, SOIL EROSION AND SEDIMENTATION CONTROL, NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT.
5. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTHWORK ACTIVITIES.
6. THE CONTRACTOR SHALL CLEAN PUBLIC STREETS DAILY OF ANY DIRT AND/OR DEBRIS FROM CONSTRUCTION SITE.



PLAN SCALE: 1" = 40'



Key sheets below. Call before you dig.

PLAN REVISIONS

Moore & Bruggink
Consulting Engineers
2000 Moore Ave, Suite 1000
Ann Arbor, MI 48106
(313) 263-0001
mab@moorebruggink.com

SURVEY & SITE REMOVALS
FOR
1370 BUTTRICK AVENUE
CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

FIELD SURVEY DATE: M.S.
PROJECT NO.: 200125.01
DESIGN DRAWN BY: M.S.
DESIGNED BY: J.L.
CHECKED BY: J.L.

PREPARED FOR:
B.M. INC.
8915 CASCADE ROAD, SE
SUITE 200
GRAND HAVEN, MICHIGAN 49438
PHONE: 616.748.8888
EMAIL: DCC@TAYLORBROOK.COM

SHEET NUMBER
2 OF **6**

C:\Users\mab\OneDrive\CAD\Drawings\200125\01_1370 Buttrick - Check\CD\DWG\200125_Site_Plan_Sheet.dwg, 5/5/2020 9:01:10 AM, JAVITT KOZAN.

BENCHMARK - MAY08

ELEVATION 656.71
 NAIL IN THE EAST SIDE OF A UTILITY
 POLE LOCATED 27'8" WEST OF CENTERLINE
 BUTTRICK AVENUE AND 30'8" SOUTH OF
 CENTERLINE GRAND RIVER DRIVE

ELEVATION 653.15
 RAILROAD SPIKE IN THE NORTH SIDE
 SECOND UTILITY POLE EAST OF
 BUTTRICK AVENUE AND 35'8" SOUTH
 OF CENTERLINE GRAND RIVER DRIVE

ELEVATION 646.73
 RAILROAD SPIKE IN THE NORTH SIDE OF UTILITY
 POLE LOCATED 37'8" SOUTH OF CENTERLINE OF
 GRAND RIVER DRIVE, AND 52'8" WEST OF CENTERLINE OF
 DRIVE INTO EAST PARKING LOT OF 424 PARCELS

CONTROL POINTS

CP#24
 MAG. NAIL
 N 5946.0048
 E 120470.7274
 ELEV 650.56

CP#25
 MAG. RED CAP
 N 8992.3750
 E 11441.0035
 ELEV 649.15

CP#26
 MAG. RED CAP
 N 8992.3750
 E 11441.0035
 ELEV 673.39

CP#27
 MAG. RED CAP
 N 8992.3750
 E 11441.0035
 ELEV 670.30

CP#28
 MAG. RED CAP
 N 10045.5816
 E 10091.7125
 ELEV 666.18

CP#29
 MAG. RED CAP
 N 8992.3750
 E 11441.0035
 ELEV 673.39

CP#30
 MAG. RED CAP
 N 8992.3750
 E 11441.0035
 ELEV 670.30

CP#31
 MAG. RED CAP
 N 8992.3750
 E 11441.0035
 ELEV 670.30

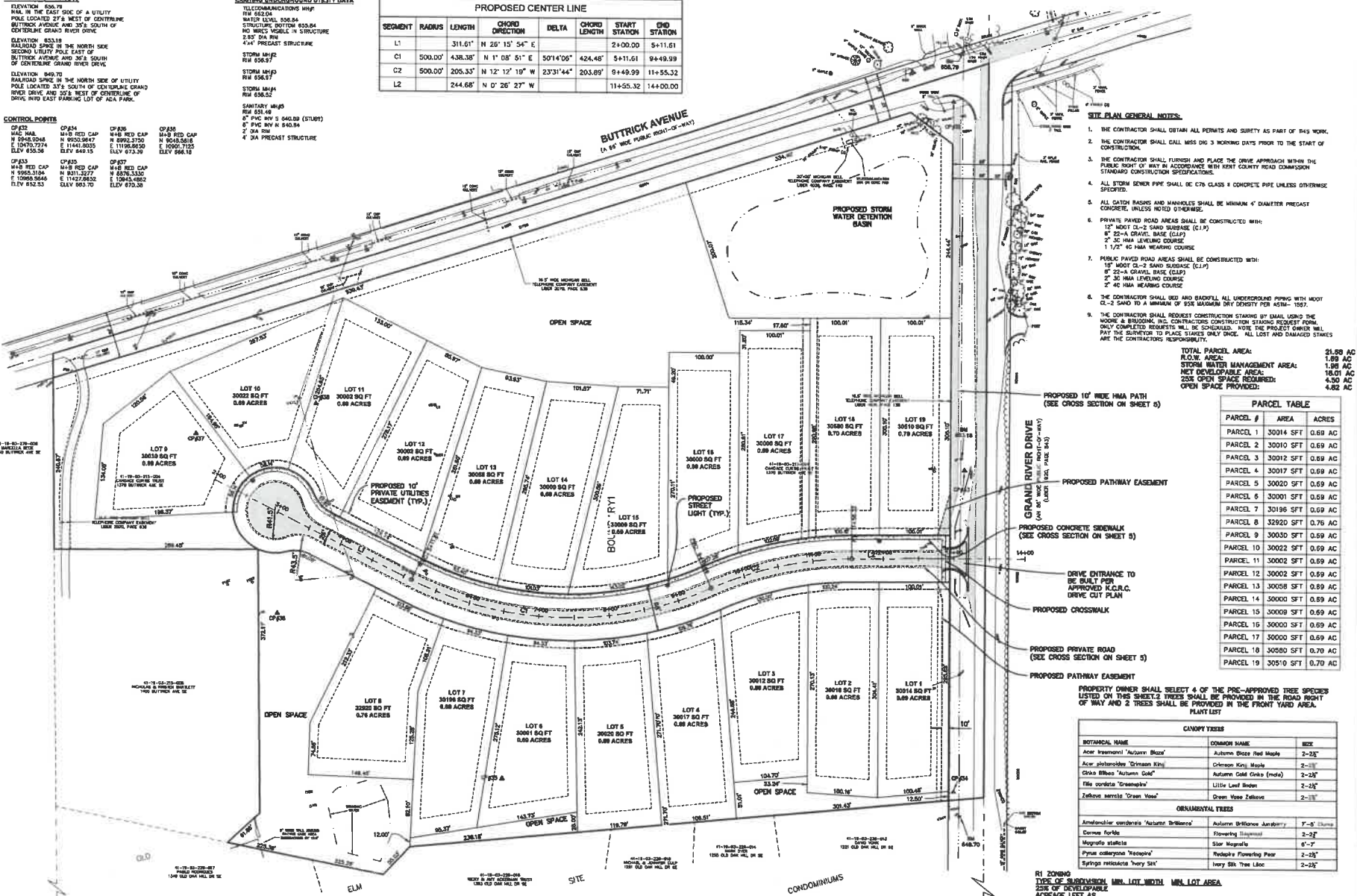
CP#32
 MAG. RED CAP
 N 8992.3750
 E 11441.0035
 ELEV 670.30

EXISTING UNDERGROUND UTILITY DATA

TELECOMMUNICATIONS W/HP
 7" DIA
 WATER LEVEL 536.84
 STRUCTURE, BOTTOM 655.84
 NO. W/CS VISIBLE IN STRUCTURE
 2.57 DIA DIA
 STORM W/HP
 RW 556.37
 STORM W/HP
 RW 556.37
 STORM W/HP
 RW 556.37

SANITARY W/HP
 RW 556.48
 8" PVC RW 5 840.89 (START)
 8" PVC RW 5 840.84
 2" DIA RW
 4" DIA PRECAST STRUCTURE

PROPOSED CENTER LINE									
SEGMENT	RADIUS	LENGTH	CHORD DIRECTION	DELTA	CHORD LENGTH	START STATION	END STATION		
L1		311.61'	N 28° 15' 54" E			2+00.00	5+11.61		
C1	500.00'	438.38'	N 1° 08' 51" E	50'14'06"	424.48'	5+11.61	94+49.99		
C2	500.00'	205.33'	N 12° 12' 19" W	23'31'44"	203.89'	94+49.99	114+55.32		
L2		244.68'	N 0° 26' 27" W			114+55.32	144+00.00		



SITE PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
2. THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL FURNISH AND PLACE THE DRIVE APPROACH WITHIN THE PUBLIC RIGHT OF WAY IN ACCORDANCE WITH KENT COUNTY ROAD COMMISSION STANDARD CONSTRUCTION SPECIFICATIONS.
4. ALL STORM SEWER PIPE SHALL BE C75 CLASS 4 CONCRETE PIPE UNLESS OTHERWISE SPECIFIED.
5. ALL CATCH BASINS AND MANHOLES SHALL BE MINIMUM 4' DIAMETER PRECAST CONCRETE, UNLESS NOTED OTHERWISE.
6. PRIVATE PAVED ROAD AREAS SHALL BE CONSTRUCTED WITH:
 12" MOOT G3-2 SAND SURFACE (CLP)
 8" 22-A GRAVEL BASE (CLP)
 2" 3C HMA WEARING COURSE
 1 1/2" 4C HMA WEARING COURSE
7. PUBLIC PAVED ROAD AREAS SHALL BE CONSTRUCTED WITH:
 12" MOOT G3-2 SAND SURFACE (CLP)
 8" 22-A GRAVEL BASE (CLP)
 2" 3C HMA WEARING COURSE
 2" 4C HMA WEARING COURSE
8. THE CONTRACTOR SHALL BID AND BACKFILL ALL UNDERGROUND PIPING WITH MOOT G3-2 SAND TO A MINIMUM OF 50% SANDWICH DRY DENSITY PER ASTM-1537.
9. THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKES BY EMAIL USING THE MOORE & BRIDGMAN, INC. CONTRACTORS CONSTRUCTION STAKING REQUEST FORM. ONLY COMPLETED REQUESTS WILL BE SCHEDULED. NOTE THE PROJECT OWNER WILL PAY THE SURVEYOR TO PLACE STAKES ONLY ONCE. ALL LOST AND DAMAGED STAKES ARE THE CONTRACTOR'S RESPONSIBILITY.

TOTAL PARCEL AREA:	21.88 AC
F.L.O.W. AREA:	1.99 AC
STORM WATER MANAGEMENT AREA:	18.87 AC
NET DEVELOPABLE AREA:	4.50 AC
238' OPEN SPACE REQUIRED:	4.50 AC
OPEN SPACE PROVIDED:	4.50 AC

PARCEL #	AREA	ACRES
PARCEL 1	32014 SFT	0.69 AC
PARCEL 2	32010 SFT	0.69 AC
PARCEL 3	32012 SFT	0.69 AC
PARCEL 4	32017 SFT	0.69 AC
PARCEL 5	32020 SFT	0.69 AC
PARCEL 6	32001 SFT	0.69 AC
PARCEL 7	30196 SFT	0.69 AC
PARCEL 8	32920 SFT	0.76 AC
PARCEL 9	30030 SFT	0.69 AC
PARCEL 10	30022 SFT	0.69 AC
PARCEL 11	30002 SFT	0.69 AC
PARCEL 12	30002 SFT	0.69 AC
PARCEL 13	30058 SFT	0.69 AC
PARCEL 14	30000 SFT	0.69 AC
PARCEL 15	30009 SFT	0.69 AC
PARCEL 16	30000 SFT	0.69 AC
PARCEL 17	30000 SFT	0.69 AC
PARCEL 18	30580 SFT	0.70 AC
PARCEL 19	30510 SFT	0.70 AC

PROPERTY OWNER SHALL SELECT 4 OF THE PRE-APPROVED TREE SPECIES LISTED ON THIS SHEET. TREES SHALL BE PROVIDED IN THE ROAD RIGHT OF WAY AND 2 TREES SHALL BE PROVIDED IN THE FRONT YARD AREA.

BOTANICAL NAME	CANOPY TREES	COMMON NAME	SIZE
Acer freemanii	'Autumn Blaze'	Autumn Blaze Red Maple	2-2 1/2"
Acer platanoides	'Orionum King'	Orionum King Maple	2-1 1/2"
Celastrus	'Autumn Gold'	Autumn Gold Ceko (mala)	2-2 1/2"
Ficus cordata	'Dreamscape'	Little Leaf Linden	2-2 1/2"
Zelkova serrata	'Green View'	Green View Zelkova	2-1 1/2"

BOTANICAL NAME	ORNAMENTAL TREES	COMMON NAME	SIZE
Amelanchier canadensis	'Autumn Brilliance'	Autumn Brilliance Amelanchier	7-8' Shrub
Cornus florida	'Flowering Quince'	Flowering Quince	2-2 1/2"
Magnolia stellata	'Star Magnolia'	Star Magnolia	6'-7'
Prunus coccinea	'Hotchpot'	Redcap's Flowering Pear	2-2 1/2"
Springer	'rebecca's Tree'	rebecca's Tree Loc	2-2 1/2"

R1 ZONING
 TYPE OF SUBDIVISION: MIN. LOT WIDTH: MIN. LOT AREA:
 SIZE OF DEVELOPABLE ACRES LEFT AS PUBLIC OR PRIVATE OPEN SPACE WITH PUBLIC WATER/SEWER: 100 FEET 30,000 SFT.

FRONT YARD SETBACK: 35 FEET
 SIDE YARD SETBACK: 10 FEET MIN.
 REAR YARD SETBACK: 25 FEET TOTAL

PREPARED FOR: [Name]
 810 CASCADE ROAD, SE
 BELLEVUE, WA 98003
 GRAND RAPIDS, MICHIGAN 49508
 PHONE: 616-964-8484
 EMAIL: DCCANTANT@GMB.COM

PLAN SCALE: 1" = 40'

81
 Home and Business
 Call before you dig.

PLAN REVISIONS

Moore + Bruggink
 Consulting Engineers
 2000 Avenue of the Sciences
 Grand Rapids, MI 49508
 (616) 302-0001

WE

SITE LAYOUT FOR 1370 BUTTRICK AVENUE
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

FIELD SURVEY / DATE: 11/13

PROJECT NO.: 200125.01

PREPARED BY: JMC

CHECKED BY: JFL

DATE: 3/1

PLAN DATE: MARCH 6, 2020

SHEET NUMBER: 3 OF 6

BENCHMARKS - NAVDS

ELEVATION 804.79
 MARK IN THE EAST SIDE OF A UTILITY
 POLE LOCATED 27' S WEST OF CENTERLINE
 OF BUTTRICK AVENUE AND 37' S SOUTH OF
 CENTERLINE GRAND RIVER DRIVE

ELEVATION 823.18
 RAILROAD SPIKE IN THE NORTH SIDE
 SECOND UTILITY POLE EAST OF
 BUTTRICK AVENUE AND 38' S SOUTH
 OF CENTERLINE GRAND RIVER DRIVE

ELEVATION 849.70
 RAILROAD SPIKE IN THE NORTH SIDE OF UTILITY
 POLE LOCATED 27' S SOUTH OF CENTERLINE
 GRAND RIVER DRIVE AND 50' S WEST OF CENTERLINE
 OF DRIVE INTO EAST PARKING LOT OF HIGH PARK.

CONTROL POINTS

CP#32 M-8 RED CAP N 9248.0040 E 12475.7274 ELEV 833.56

CP#33 M-8 RED CAP N 9200.8847 E 11441.8035 ELEV 849.15

CP#34 M-8 RED CAP N 9071.2277 E 12985.9845 ELEV 852.54

CP#35 M-8 RED CAP N 9045.3750 E 11998.8650 ELEV 873.38

CP#36 M-8 RED CAP N 9048.5819 E 10915.7125 ELEV 868.18

CP#37 M-8 RED CAP N 8978.3330 E 10945.4882 ELEV 875.38

CP#38 M-8 RED CAP N 9048.5819 E 10915.7125 ELEV 868.18

EXISTING UNDERGROUND UTILITY DATA

TELECOMUNICATIONS 4" DIA
 RM 852.84
 WATER LEVEL 656.46
 STRUCTURE BOTTOM 833.84
 NO WIRES VISIBLE IN STRUCTURE
 2.55' DIA RM
 4"x4' PRECAST STRUCTURE

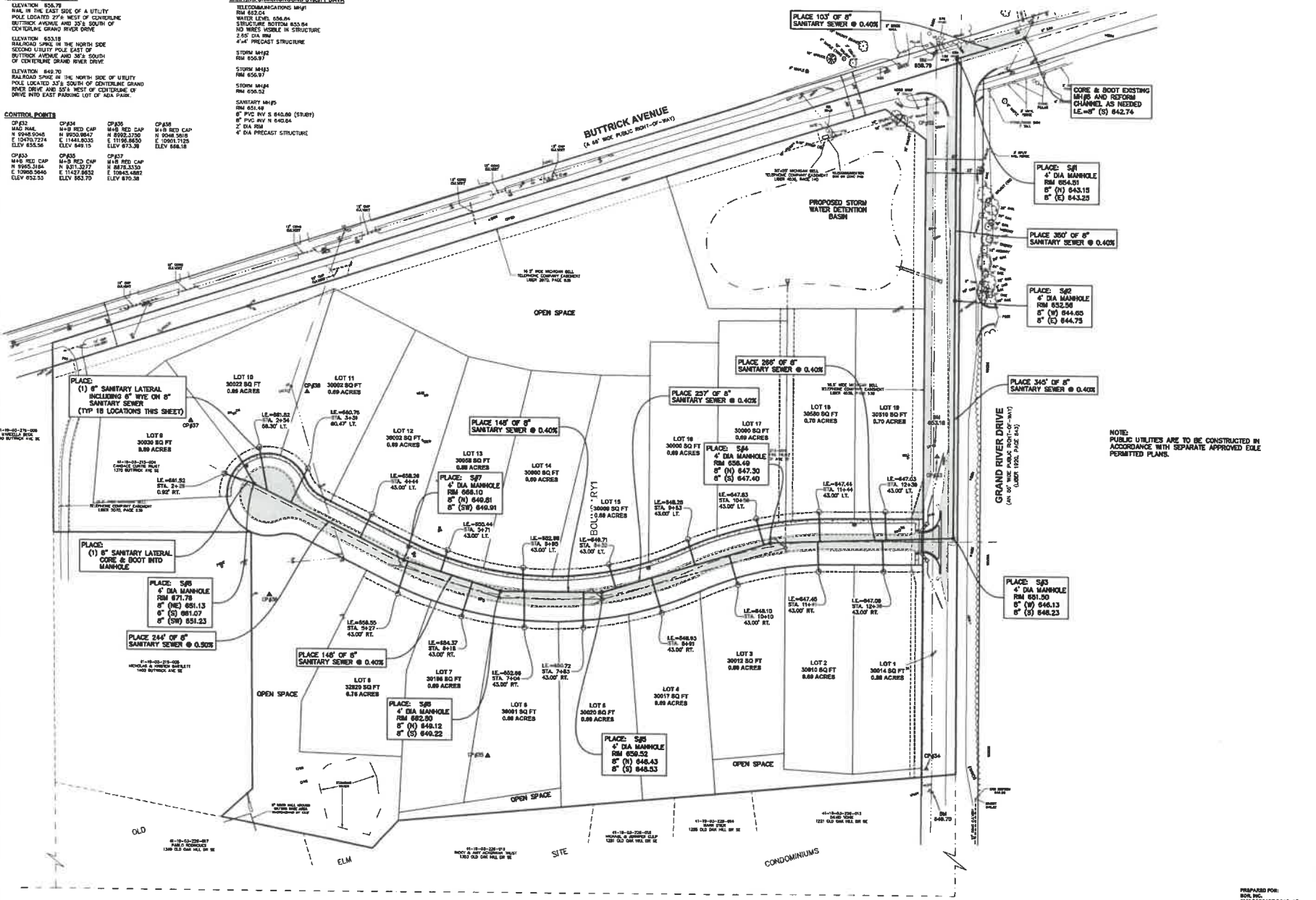
STORM 14" DIA
 RM 850.87

STORM 14" DIA
 RM 850.87

STORM 14" DIA
 RM 850.87

SANITARY 14" DIA
 RM 851.48

6" PVC RVS 840.88 (STUR)
 8" PVC RVS N 840.84
 2" DIA RM
 4" DIA PRECAST STRUCTURE



PLAN SCALE: 1"=80'



Moore & Bruggink
 Consulting Engineers
 Call before you dig.

PLAN REVISIONS

Moore & Bruggink
 Consulting Engineers
 2020 Moore Ave., Suite 200
 Cascade, OR 97101
 (503) 253-8800
 mbr@moorebruggink.com

PUBLIC UTILITIES FOR 4370 BUTTRICK AVENUE
 CASCADE TOWNSHIP, TERT COUNTY, MICHIGAN

FIELD SURVEY DATE: M-09
 PROJECT NO.: 201725-01
 DESIGN DRAWN BY: M.K.
 CHECKED BY: J.P.

PREPARED FOR: BOK INC.
 8915 CASCADE ROAD, SE
 SUITE 200
 GRAND RAPIDS, MICHIGAN 49508
 PHONE: (269) 880-8888
 EMAIL: DCCOUNT@BOKINC.COM

PLAN DATE: MARCH 6, 2020
 SHEET NUMBER: 4 OF 6

NOTE: PUBLIC UTILITIES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH SEPARATE APPROVED EULE PERMITTED PLANS.

C:\Users\mbruggink\CAD\Drawings\2017\25-01\370 Buttrick - Cascade\CDU\DWG\201725-01_Site Plan_Sheet.dwg, 5/5/2020 9:01:23 AM, MATT GOZAK

BENCHMARK - NAVD83

ELEVATION 658.70
 NAIL IN THE EAST SIDE OF A UTILITY POLE LOCATED 27' NEST OF CENTERLINE BUTTRICK AVENUE AND 35' S SOUTH OF CENTERLINE GRAND RIVER DRIVE

ELEVATION 655.18
 HALLOWAY SPIKE IN THE NORTH SIDE SECOND UTILITY POLE EAST OF BUTTRICK AVENUE AND 35' S SOUTH OF CENTERLINE GRAND RIVER DRIVE

ELEVATION 849.70
 HALLOWAY SPIKE IN THE NORTH SIDE OF UTILITY POLE LOCATED 37' S SOUTH OF CENTERLINE GRAND RIVER DRIVE AND 57' S WEST OF CENTERLINE OF DRIVE INTO EAST PARKING LOT OF ADA PARK.

CONTROL POINTS

CP#25
 M&S RED CAP
 N 8048.9248
 E 10470.7274
 ELEV 855.56

CP#26
 M&S RED CAP
 N 8048.9248
 E 10470.7274
 ELEV 855.56

CP#27
 M&S RED CAP
 N 8048.9248
 E 10470.7274
 ELEV 855.56

CP#28
 M&S RED CAP
 N 8048.9248
 E 10470.7274
 ELEV 855.56

CP#29
 M&S RED CAP
 N 8048.9248
 E 10470.7274
 ELEV 855.56

CP#30
 M&S RED CAP
 N 8048.9248
 E 10470.7274
 ELEV 855.56

CP#31
 M&S RED CAP
 N 8048.9248
 E 10470.7274
 ELEV 855.56

CP#32
 M&S RED CAP
 N 8048.9248
 E 10470.7274
 ELEV 855.56

CP#33
 M&S RED CAP
 N 8048.9248
 E 10470.7274
 ELEV 855.56

CP#34
 M&S RED CAP
 N 8048.9248
 E 10470.7274
 ELEV 855.56

CP#35
 M&S RED CAP
 N 8048.9248
 E 10470.7274
 ELEV 855.56

EXISTING UNDERGROUND UTILITY DATA

TELECOMMUNICATIONS W/AF
 RM 855.24
 ELEV. LEVEL 856.64
 STRUCTURE BOTTOM 855.84
 NO. 6003 WISLE 1" STRUCTURE
 2.50" DIA. RM

STORM MAIN#2
 RM 856.97

STORM MAIN#3
 RM 854.17

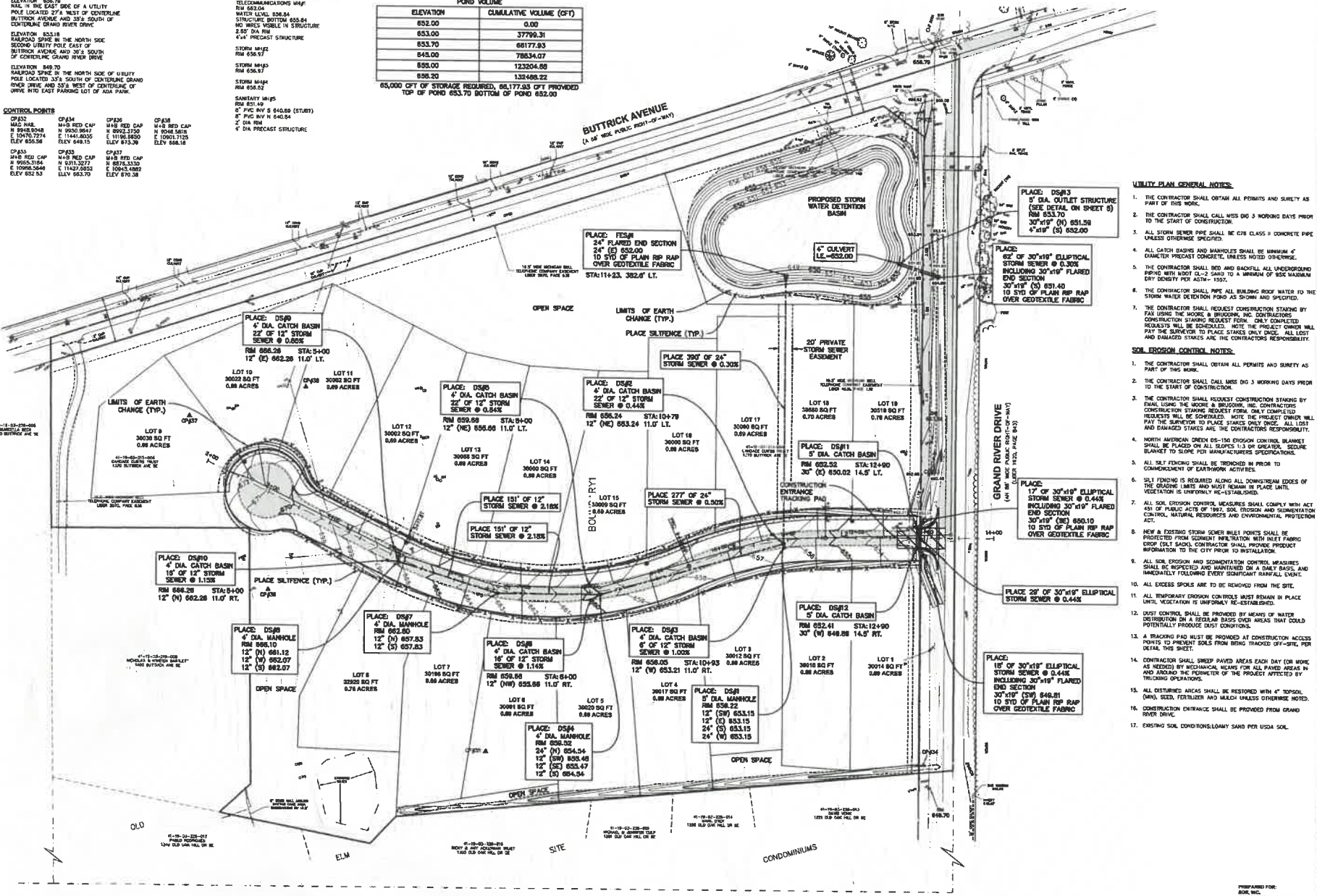
STORM MAIN#4
 RM 858.52

SANITARY MAIN#5
 RM 853.49
 8" PVC R/W N 840.84
 2" DIA. RM
 4" DIA. PRECAST STRUCTURE

POND VOLUME

ELEVATION	CUMULATIVE VOLUME (CFT)
852.00	0.00
853.00	37769.31
853.70	68177.93
845.00	78634.07
858.00	123204.60
858.20	132468.22

65,000 CFT OF STORAGE REQUIRED, 68,177.93 CFT PROVIDED
 TOP OF POND 853.70 BOTTOM OF POND 852.00



UTILITY PLAN GENERAL NOTES:

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
2. THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. ALL STORM SEWER PIPE SHALL BE CTS CLASS B UNLESS OTHERWISE SPECIFIED.
4. ALL CATCH BASINS AND MANHOLES SHALL BE MINIMUM 4" DIAMETER PRECAST CONCRETE, UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL PROVIDE ALL UNDERGROUND PIPING WITH A MINIMUM OF 2' SAND TO A MINIMUM OF 80% MAXIMUM DRY DENSITY PER ASTM 1557.
6. THE CONTRACTOR SHALL PIPE ALL BUILDING ROOF WATER TO THE STORM WATER DETENTION POND AS SHOWN AND SPECIFIED.
7. THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKING BY PAV FROM THE ABOVE & BRIDGEMAN, INC. CONTRACTORS CONSTRUCTION STAKING REQUEST FORM. ONLY COMPLETED REQUESTS WILL BE SCHEDULED. NOTE: THE PROJECT OWNER WILL PAY THE SURVEYOR TO PLACE STAKES ONLY ONCE. ALL LOST AND DAMAGED STAKES ARE THE CONTRACTORS RESPONSIBILITY.

SOIL EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND SURETY AS PART OF THIS WORK.
2. THE CONTRACTOR SHALL CALL MISS DIG 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKING BY PAV USING THE ABOVE & BRIDGEMAN, INC. CONTRACTORS CONSTRUCTION STAKING REQUEST FORM. ONLY COMPLETED REQUESTS WILL BE SCHEDULED. NOTE: THE PROJECT OWNER WILL PAY THE SURVEYOR TO PLACE STAKES ONLY ONCE. ALL LOST AND DAMAGED STAKES ARE THE CONTRACTORS RESPONSIBILITY.
4. NORTH AMERICAN GREEN 05-150 EROSION CONTROL BLANKET SHALL BE PLACED ON ALL SLOPES 1:3 OR GREATER. SECURE BLANKET TO SLIP FOR MANUFACTURERS SPECIFICATIONS.
5. ALL SLOPE FENCING SHALL BE INSTALLED IN PRIOR TO COMMENCEMENT OF EARTHWORK ACTIVITIES.
6. SLOPE FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNFORMALLY RE-ESTABLISHED.
7. ALL SOIL EROSION CONTROL MEASURES SHALL COMPLY WITH ACT. 456 OF PUBLIC ACTS OF 1987, SOIL EROSION AND SEDIMENTATION CONTROL, NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT.
8. NEW & EXISTING STORM SEWER INLET POINTS SHALL BE PROTECTED FROM SEDIMENT INFILTRATION WITH INLET FABRIC DROP COLL SCREENS. CONTRACTOR SHALL PROVIDE PRODUCT INFORMATION TO THE CITY PRIOR TO INSTALLATION.
9. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS, AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.
10. ALL EXCESS SPILLS ARE TO BE REMOVED FROM THE SITE.
11. ALL TEMPORARY EROSION CONTROLS MUST REMAIN IN PLACE UNTIL VEGETATION IS UNFORMALLY RE-ESTABLISHED.
12. DUST CONTROL SHALL BE PROVIDED BY MEANS OF WATER DISTRIBUTION ON A REGULAR BASIS OVER AREAS THAT COULD POTENTIALLY PRODUCE DUST CONDITIONS.
13. A TRACKING PAD MUST BE PROVIDED AT CONSTRUCTION ACCESS POINTS TO PREVENT SOILS FROM BEING TRACKED OFF-SITE, PER DETAIL THIS SHEET.
14. CONTRACTOR SHALL DREED PAVED AREAS EACH DAY (OR MORE AS NEEDED) BY MECHANICAL MEANS FOR ALL PAVED AREAS IN AND AROUND THE PERIMETER OF THE PROJECT AFFECTED BY TRUCKING OPERATIONS.
15. ALL DISTURBED AREAS SHALL BE RESTORED WITH 4" TOPSOIL (MIN. SEED, FERTILIZER AND MULCH UNLESS OTHERWISE NOTED).
16. CONSTRUCTION ENTRANCE SHALL BE PROVIDED FROM GRAND RIVER DRIVE.
17. EXISTING SOIL CONDITIONS: LOAMY SAND PER USDA SOIL.

PLAN SCALE: 1" = 40'

811
 Non-emergency
 Call before you dig

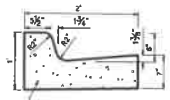
PLAN REVISIONS

Moore+Bruggink
 Consulting Engineers
 2000 Riverchase Ave., Suite 200
 Birmingham, AL 35244
 (205) 382-0801

PRIVATE UTILITIES, GRADING & SOIL EROSION CONTROL
 FOR
1370 BUTTRICK AVENUE
 CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

FIELD SURVEY / DATE: 8-9
 PROJECT NO.: 20013.01
 DESIGN DRAWN BY: MJK
 DESIGNED BY: JLT
 CHECKED BY: JLT
 PLAN DATE: MARCH 8, 2020
 SHEET NUMBER: 5 OF 6

PREPARED FOR:
 BUREAU OF PUBLIC WORKS
 6010 CASCADE ROAD, SE
 SUITE 100
 GRAND RAPIDS, MICHIGAN 49508
 PHONE: 616-948-8800
 EMAIL: DCORSTANT@BUREAU.PW.MICHIGAN.GOV

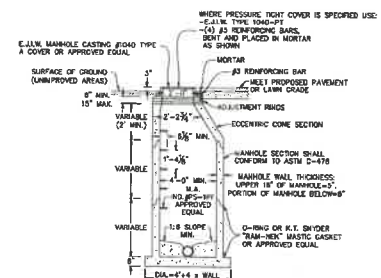


3\"/>

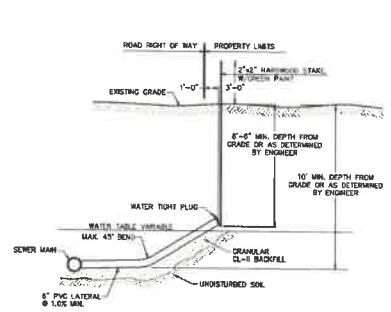


4\"/>

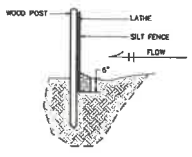
NOTE: MANHOLE COVER SHALL HAVE A 3 INCH 1\"/>



SANITARY MANHOLE DETAIL
SCALE: 1\"/>



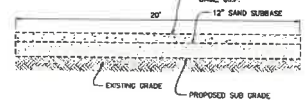
STANDARD SEWER RISER LOCATION DETAIL
SCALE: 1\"/>



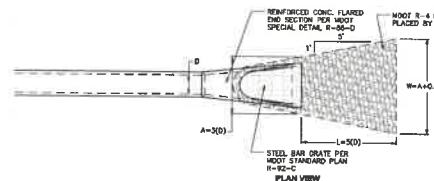
SILT FENCE DETAIL
SCALE: 1\"/>



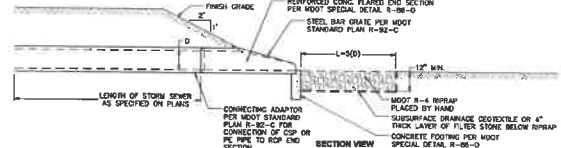
SPLICE DETAIL



CONSTRUCTION TRACKING PAD
SCALE: 1\"/>

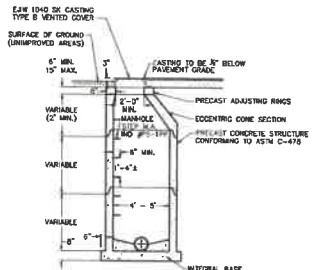


PLAN VIEW

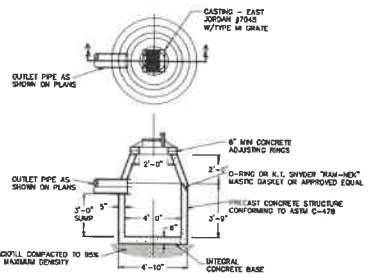


SECTION VIEW

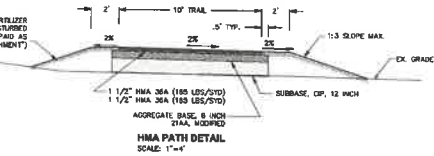
STORM SEWER OUTLET DETAIL
SCALE: 1\"/>



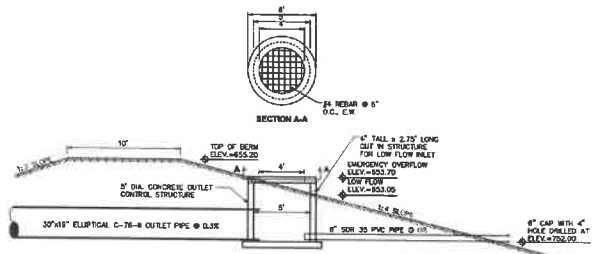
STORM SEWER MANHOLE DETAIL
SCALE: 1\"/>



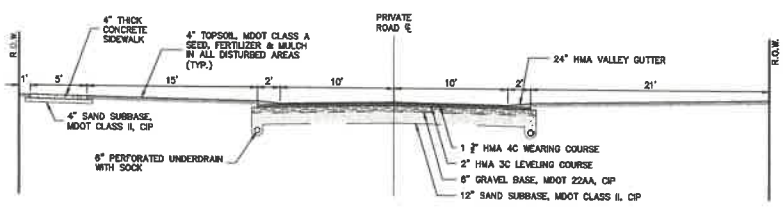
4\"/>



HMA PATH DETAIL
SCALE: 1\"/>



POND OUTLET CONTROL STRUCTURE DETAIL
SCALE: 1\"/>



PRIVATE DRIVE SECTION
SCALE: 1\"/>



PLAN REVISIONS

Moore + Bruggink
Consulting Engineers
2000 Riverchase Way, Suite 200
Birmingham, AL 35244
(205) 333-3800
mbr@moorebruggink.com

MISCELLANEOUS DETAILS
FOR
1370 BUTTRICK AVENUE
CASCADE TOWNSHIP, KENT COUNTY, MICHIGAN

FIELD SURVEY / DATE: 8/18
PROJECT NO.: 201125.01
DESIGN DRAWN BY: JLC
CHECKED BY: JLC
REVISIONS BY: JLC
DATE: 3/1
PREPARED FOR: BIRL INC.
6618 CASCADE ROAD, SE
GRAND RAPIDS, MICHIGAN 49508
PHONE: (616) 456-6666
EMAIL: DCOUNTANT@BIRLINC.COM

C:\Users\mbruggink\OneDrive\Documents\1370 Buttrick - Cascade\CD\DWG\1370 Buttrick - Cascade\CD\DWG\1370 Buttrick - Cascade.dwg, 25/03/2023 10:12:36 AM, MATT KOZAK

September 17, 2020
Project No. 170168

Steve Peterson, AICP
Community Development Director
Cascade Charter Township
2865 Thornhills Avenue, SE
Grand Rapids, MI 49546

**1370 Buttrick Avenue
Site Plan Review**

Dear Steve:

We have reviewed the site plan for 1370 Buttrick Avenue, prepared by Moore and Bruggink. The development is located at the southeast corner of the intersection of Buttrick Avenue and Grand River Drive. The current site plan and basis of this review are dated March 6, 2020. The proposed project is a 19-lot residential development with private street. The site is in the Thornapple River watershed, subdrainage district North Thornapple.

Stormwater and Drainage

Flood Control

The proposed project is a new development, so all improvements shall comply with the requirements of the Cascade Charter Township and Stormwater Ordinance (SWO). The site is located in Stormwater Management Zone B, which requires detention of the 25-year storm event. The SWO also requires the first 0.5 inch of stormwater runoff be detained and released over a 24-hour period.

The proposed stormwater management design is to collect stormwater runoff from the site and private street in a detention basin located at the northwest corner of the site. The detention basin is sized for the 25-year storm event with a restricted release rate of 0.13 cfs/acre. The applicant provided stormwater calculations in support of the detention basin design. The detention basin discharges through an outlet control structure to a drainage swale along Grand River Drive. The drainage swale continues to the east along the road.

The proposed stormwater management design is in accordance with the SWO.

Water Quality Control and Bank Erosion Control

The SWO requires the first 0.5 inch of stormwater runoff be detained and released over a 24-hour period. The detention basin is designed with outlet control structure and low flow outlet to detain the first 0.5 inch of runoff from the site and release it over a 24-hour period. The proposed design is in accordance with the Township SWO.

Stormwater Runoff

The applicant provided stormwater calculations to size the detention basin and onsite storm sewer system. All stormwater runoff from the new private street and developed portion of the site will drain to the detention basin. Therefore, the site will not see an increase in rate of stormwater leaving the sit

Drainage Plan

The applicant has submitted drawings, calculations and additional documentation as required in the SWO Section 2.03, Drainage Plan. Please refer to the attached checklist for items and comments on each item. Please note a maintenance agreement is required before construction begins. The agreement should be submitted to the Township for review. The maintenance agreement and plan should include at a minimum maintenance of the detention basin and cleaning of catch basin sumps.

Private Street Requirements

A new private street is proposed for the development. Fishbeck reviewed the road design against the Township Ordinance for Private Streets for right-of-way width, road and travel lane width, road grade, pavement cross section including aggregate base and subbase design, stormwater drainage, etc. The proposed private street was found to meet the requirements outlined in the Township Ordinance. The Kent County Road Commission will issue a permit for the new driveway.

Utilities

The development includes new public 8-inch sanitary sewer. The new sanitary sewer runs along the private street to Grand River Drive, then west to Buttrick Avenue where it connects to an existing 8-inch sanitary sewer. The residential lots will have onsite water wells. Michigan Department of Environment, Great Lakes, and Energy (EGLE) permits will be required for the sanitary sewer and water well construction.

Soil Erosion and Sedimentation Control

Soil Erosion and Sedimentation Control (SESC) measures are provided on the plan drawings. The applicant has included silt fence along the limits of clearing and grading, silt sacks in catch basins, and construction tracking control. SESC falls under the review and approval of the Kent County Road Commission and a permit is required before construction can begin. If the disturbed area on the site exceeds five acres, a Notice of Coverage is required with EGLE. The SESC measures indicated on the drawings appear appropriate, given the expected work.

Summary

The proposed stormwater management design meets the Township SWO requirements for new developments. The applicant will need to apply for and obtain several permits (SESC, EGLE, KCRC) prior to beginning construction. We recommend approval of the site plan from an engineering standpoint.

If you have any questions or require additional information, please contact me at 616.464.3786 or ntorrey@fishbeck.com.

Sincerely,



Nathan R. Torrey, PE
Senior Civil Engineer

Attachment

By email

Copy: Michael L. Berrevoets, PE – Fishbeck

Cascade Charter Township

Storm Water Ordinance, Ordinance 7 of 2002, as amended by Ordinance No. 2 of 2008, May 14, 2008

Reviewing Engineer Comments are Italicized

OK – Received and Acceptable

NA – Not Applicable

NR – Not Received, Needs Follow-up, See Comments

1370 Buttrick Avenue

Drainage Plan Checklist

- OK (1) Location of the development site and water bodies that will receive storm water runoff
All stormwater runoff from the site is collected in an onsite detention basin.

- OK (2) Existing and proposed topography of the development site, including the alignment and boundary of the natural drainage courses, with contours having a maximum interval of one foot (using USGS datum). The information shall be superimposed on the pertinent Kent County soil map
Existing and proposed contours have been provided.

- OK (3) Development tributary area to each point of discharge from the development
Stormwater calculations and tributary areas were provided by the applicant.

- OK (4) Calculations for the final peak discharge rates
The applicant provided calculations for design of the onsite storm sewer system, detention basin and outlet control structure.

- OK (5) Calculations for any facility or structure size and configuration
Stormwater runoff calculations were provided by the applicant.

- OK (6) Drawing showing all proposed storm water runoff facilities with existing and final grades
The applicant provided a utility plan showing all proposed stormwater runoff facilities.

- OK (7) The sizes and locations of upstream and downstream culverts serving the major drainage routes flowing into and out of the development site. Any significant off-site and on-site drainage outlet restrictions other than culverts should be noted on the drainage map
Offsite drainage areas were not indicated by the applicant.

- OK (8) An implementation plan for construction and inspection of all storm water runoff facilities necessary to the overall drainage plan, including a schedule of the estimated dates of completing construction of the storm water runoff facilities shown on the plan and an identification of the proposed inspection procedures to ensure that the storm water runoff facilities are constructed in accordance with the approved drainage plan
A construction schedule was included on the plans.

- OK (9) Plan to ensure the effective control of construction site storm water runoff and sediment track-out onto roadways
The SESC measures shown on the plan appear appropriate given the expected work. SESC falls under the review and approval of the KCRC and a permit is needed before construction can begin.

- OK (10) Drawings, profiles, and specifications for the construction of the storm water runoff facilities reasonably necessary to ensure that storm water runoff will be drained, stored, or otherwise controlled in accordance with this ordinance
The applicant provided calculations and design details for construction of the onsite storm sewer system and detention basin.
- NR (11) Maintenance agreement, in form and substance acceptable to the Township, for ensuring maintenance of any privately owned storm water runoff facilities. The maintenance agreement shall include the developer's written commitment to provide routine, emergency, and long-term maintenance of the facilities and, in the event that the facilities are not maintained in accordance with the approved drainage plan, the agreement shall authorize the Township to maintain any on-site storm water runoff facility as reasonably necessary, at the developer's expense
Maintenance agreement was not provided and is required.
- OK (12) Name of the engineering firm and the registered professional engineer that designed the drainage plan and that will inspect final construction of the storm water runoff facilities
- NA (13) All design information must be compatible for conversion to Grand Valley Regional Geographic Information System (REGIS)
This is a privately owned system and will not be uploaded to REGIS.
- OK (14) Other information necessary for the Township to verify that the drainage plan complies with the Township's design and performance standards for drains and storm water management systems

Brian Hilbrands

From: David Contant <dcontant@bdrinc.com>
Sent: Tuesday, September 15, 2020 8:29 PM
To: Brian Hilbrands
Subject: FW: curb cuts

Brian,

Please see the email below with the confirmation from Wayne Harrall of the Kent County Road Commission acknowledging that both he and Tim Haagsma are OK with the private drive placement along Grand River Drive for the property at 1370 Buttrick.

Thanks,

David Contant



5510 Cascade Rd. S.E. | Suite 200
Grand Rapids, MI 49546

M) 616.291.3506
O) 616.458.8505 x8
E) dcontant@bdrinc.com

From: Kevin Einfeld <keinfeld@bdrinc.com>
Sent: Tuesday, September 8, 2020 1:19 PM
To: David Contant <dcontant@bdrinc.com>; jlong@mbce.com
Subject: FW: curb cuts

From: Harrall, Wayne <wharrall@kentcountyroads.net>
Sent: Tuesday, March 17, 2020 11:05 AM

To: Beck, David <dbeck@kentcountyroads.net>; Kevin Einfeld <keinfeld@bdrinc.com>

Subject: FW: curb cuts

Kevin,

Since I believe these are both private Streets I am passing these on to Dave Beck our Permit Manager, who handles private streets and commercial driveways. Tim Haagsma & I were both OK with the Grand River Drive location.



Wayne Harrall, P.E.

Deputy Managing Director of Engineering

o. (616) 242.6914 | f. (616) 242-6974

wharrall@kentcountyroads.net

Kent County Road Commission

1500 Scribner Avenue NW, Grand Rapids, MI 49504

kentcountyroads.net

From: Kevin Einfeld [<mailto:keinfeld@bdrinc.com>]

Sent: Tuesday, March 17, 2020 9:46 AM

To: Harrall, Wayne

Cc: David Contant; Justin Longstreth

Subject: curb cuts

Hi Wayne, I hope all is well in your world. Not an easy season to be running organizations. I have attached two site plans that we would like your blessing on.

3500 60 th St SE in Gaines Twp that we chatted about some months back. I have also included our new project at Buttrick and Grand River Dr. in Ada Twp.

We would like conceptual approval on both ASAP and then we will work towards final design for submittal to you.

Thanks

Kevin Einfeld

KENT COUNTY HEALTH DEPARTMENT

ENVIRONMENTAL HEALTH
700 Fuller Avenue N.E.
Grand Rapids, Michigan 49503-1918
Phone: 616-632-6900
Fax: 616-632-6892
Email: KCEHmail@kentcountymi.gov
Website: www.accesskent.com



Adam London, RS, MPA
Administrative Health Officer

September 10, 2020

David Contant
BDR, Inc
5510 Cascade Rd SE, Suite 200
Grand Rapids, MI 49546

**RE: Preliminary Plat Approval
Proposed Bridle Trail Site Condominium, Single Family Residential, Units 1-19
Cascade Charter Township, Kent County, Michigan**

Dear Mr. Contant:

The Environmental Health Division of the Kent County Health Department has reviewed submittals to date for the subject proposed development. This review was conducted in accordance with Act 59, PA 1978, as amended and the Michigan Land Division Act, PA 288 of 1967.

We request the following be incorporated into the Restriction Covenants of the Plat prior to final Health Department approval:

SEWAGE DISPOSAL SYSTEMS:

- Onsite wastewater disposal systems will not be permitted on any parcel. All structures generating wastewater must be connected to the public sewer system.

WATER SYSTEMS

- Individual water supply systems will be permitted on a lot solely to provide water for domestic consumption at the residence, for irrigation purposes, swimming pools, or other nondomestic uses on the unit.
- A permit from the Kent County Health Department (KCHD) is required prior to the installation or major repair of any on-site water supply. As part of the application, KCHD will require a site plan of the property upon which the water supply is or will be located. Required features may include property boundaries, elevations, buildings, sanitary sewer lateral, surface water bodies, proposed and existing wells, driveways, and other significant details.
- All wells installed for private water supply must penetrate an adequate protective continuous clay overburden of at least ten (10) feet. This overburden is to be located greater than twenty-five (25) feet below the ground surface.
- Water well records in the vicinity and a test well within the development demonstrate that a suitable aquifer can be found between 90 feet and 120 feet deep.

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Proposed Bridle Trail Site Condominium, Units 1-19

- Wells in the vicinity have elevated levels of unregulated groundwater contaminants. While iron, sulfates, and hardness are not of a concern for public health, individual owners may wish to consider installing water treatment systems to reduce levels of contaminants that may cause an aesthetic nuisance. Iron in groundwater at or above 0.3 mg/l can cause reddish brown color and staining of plumbing fixtures. Sampling from nearby wells found iron levels as high as 1.63 mg/L. Hardness above 250 mg/L can cause sediment build-up and scaling of plumbing fixtures. Sampling from nearby wells found hardness levels between 230 and 592 mg/L. Sulfate at or above 300 mg/L may cause detectable tastes and odors and a laxative effect and accelerated corrosion of plumbing can be expected above 500 mg/L. Sulfate sampling of nearby wells found sulfate levels between 36 and 443 mg/L.
- Wells may be required to terminate in bedrock formations. Bedrock formations can change unpredictably in short distances. It may be necessary to complete one or more water wells to supply the dwelling with a minimum of 10 gallons per minute. If the water supply is not capable of 10 gallons per minute, this Department may require that additional storage capacity is provided by hydropneumatic storage tanks. Sizing of the tanks will be the responsibility of the water well contractor.
- Except as otherwise approved by KCHD, all wells must be located 10 feet from property boundaries, gravity sanitary sewers, storm sewers, and building foundations, 50 feet from pressure sewers, sewage lift stations, and adjacent onsite sewage disposal areas.
- Wells shall be installed at least 50 feet from abandoned septic tanks and sewage disposal areas for a period of one year from the date of decommissioning.

Noting the above conditions, the Kent County Health Department approves the subject preliminary plat. Accordingly, we ask to review and approve the amendments / additions prior to recording the Master Deed. This approval is contingent on the extension of public sewer to the proposed development and the proper decommissioning and demolition of the existing structures, water wells, septic systems, and fuel storage tanks.

Sincerely,



Jason E Buck, REHS
Sanitarian Specialist
Environmental Health Division

cc: Steve Peterson, Cascade Charter Township
Justin Longstreth, Moore and Bruggink

UTILITY ADVISORY BOARD

June 18, 2020

Minutes

Present: Mike Grenier, Tim Bradshaw, Tim Burkman, Chuck Schroeder, Brian Vu, Darrell Schmalzel, James Hurt, Wayne Jernberg, Bill Kaiser, Jenessa Carter, Jeff McCaul, Ben Swayze

Approval of Minutes- May 21, 2020

The meeting was called to order at 8:40 am by Mr. Jernberg. Mr. DeLong is not able to attend the meeting and has asked Mr. Jernberg to Chair the meeting.

Motion to approve minutes by Mr. Schmalzel second by Mr. Schroeder.

MOTION CARRIED.

Public Comment on Agenda Items

None

Approval of Agenda

Motion to approve agenda by Mr. Grenier second by Mr. Schroeder.

MOTION CARRIED.

Ada/Cascade USD Modification- Wayne Jernberg

Mr. Jernberg said that the City has reviewed the request from Cascade and Ada Township to modify their Sanitary Sewer Utility Service District (USD) size. The proposed change will increase Ada Township's Sanitary Sewer USD by approximately .034 square miles, for a total of 7.25 sq. miles. There are no changes to Cascade's Sanitary Sewer USD.

The area to be added to Ada's USD is the parcel located at 1370 Buttrick Rd. SE. The parcel is located in Cascade Township but can be served more efficiently by Ada Township.

Mr. Jernberg said that the request meets the guidelines set forth by the Utility Advisory Board Policy #10-01.

Motion to approve Ada and Cascade Township USD modification by Mr. Grenier second by Mr. McCaul.

MOTION CARRIED.

Budget FY21 Approval – Jenessa Carter

Ms. Carter mentioned that the Water System is in the market for pre-pricing for its bond issue today. The Water System is looking at \$33 million in bond proceeds, she will provide more information later in the meeting.

The FY21 budget was approved on May 21, 2020, by City Commission. For the Water System, revenue for FY20 is down from what was originally projected at \$48 million. This is due to the rainy weather last year, but the numbers are normalizing. The proposed revenue budget for FY21 is \$51.1 million and \$44.03 million for expenditures.

The increase in revenue from FY20 to FY21 is due to rate increases, and accounting changes. In FY20 Other Financing Sources, the amount budgeted was \$2.5 million and in FY21 it is \$118,514. Comptrollers requested that the money allocated for this line be moved to Charges and Services.

For expenditures in FY20, the biggest change was the money allocated for the pilot AMI program which was budgeted in capital. With that said, comptrollers decided that the project cannot be capitalized and should be budgeted in O&M. A budget amendment was submitted and was approved. That explains why the report shows that expenditures were over. For FY21 expenditures, the biggest change is a \$10 million decrease in the cash capital program which is why the net income is negative for the FY20 estimate. It is negative as a result of the metering project, and a robust cash capital program.

Overall, unassigned cash for the end of FY20 is \$14 million and for FY21 it is estimated to be \$16 million. The biggest thing for expenses when removing the capital program, the true O&M expense, between the two years is largely due to the private lead service line replacement program. This is a Grand Rapids only expense, along with the CMP expense that happens every 5 years. There have been no positions adds for the Water System.

Ms. Carter mentioned that on the agenda there's an FY21 preliminary fiscal plan for capital projects. For the bond amount, the System will be bonding \$12.5 million for the current bond program. She explained that the bond program used at the City is Just in Time financing. For example, the \$32 million of bonds proceeds that we are expecting will be for projects that are already planned or were already budgeted for in the last program and is being paid by the System's cash. The 5 years capital project plan will possibly be funded by the DWRP. The bond issue will mainly go towards linear assets.

Mr. Jernberg thanked Ms. Carter for her work in the unassigned cash. He also asks that customers communities review and verify the line items and that the planned projects are in the correct FY.

For sewer, the revenue projected for FY20 estimate is \$59.3 million which is down from the amended budget. Ms. Carter reminded the board that the sewer system experiences volatility much later than the Water System. She expects to see the effects of COVID-19 next year, and the sewer system budget uses the sewer cap. For the proposed FY21, revenue is \$62.8 million, and the increase is due to the rate increase. The department has done a great job with sticking to the budget and controlling expenses. On the expense side, the FY20 estimate is up to \$53.8 million due to the GRBA. The GRBA budget was finalized recently, and she expects that number to be \$1 million less. There have been no positions adds. Mr. Kaiser clarified that the GRBA increase was also affected by the biodigester not being online in April and the increase in landfills cost.

Ms. Carter referred to the 5-year preliminary capital project plan. There is one project that's a bond and she does not anticipate more investments in bonds for the next two years.

Mr. Chuck asked what the difference between unassigned and unrestricted cash? Ms. Carter said that due to the Water System and Environmental Services policies, it is required that each department reserve 25% of total expending, and on top of the 25% there is an additional 1.3% of total true unassigned cash. In

short, unrestricted is that there is no restriction on the use of the cash and unassigned cash is the 25% policy that must be kept as a reserve. On top of that, there is 1.3% of unassigned cash of the true cash value.

For the Water System, bill volume is down by 9% and the 3-year billed volume dropped by 2%. There is always a lag with billed volume and pumping vs. treatment due to the quarterly billing cycle. If you look at May 2019 compared to May 2020, bill volume for water was down by 20%. However, pump flow was up by 1% which means that it is slowly normalizing. Retail, wholesale, and front footage fees are down. She is hopeful that there will be a spike in the summer.

Penalty revenue is down by \$250,000 due to the suspension of late fees. The total amount of fees that have been waved totals to \$268,000. Additionally, the miscellaneous line is the finalization of the DWRP principal forgiveness and investment loss in the market. Overall, net revenue is \$2.8 million less than this time last year. On the expense side, personal services and supplies are slightly up. The Water System has absorbed about \$60,000 in PPE and other expenses related to COVID-19. Overall, expenses are up by \$500,000 and the total net income loss is \$3.3 million compared to last year.

For the sewer side, overall revenue is down by \$657,775. Again, there is not a big change as compared to the Water System. YTD bill volume is down by 4% and the three-year average is down by 1%. The current bill volume is down by 21%, but the treated volume is up by 15%. On the expense side, she has not seen significant swings this year. For capital outlay, that was an accounting change by comptrollers that resulted in an item being counted twice in the expense fund. It has been fixed. Overall, expenses are \$2.1 million less than this time last year. The net income increased by \$1.5 million.

Utility Financial Update with Graphs – Jenessa Carter

Ms. Carter gave a quick overview of the graphs attached. The graphs are mainly for information purposes, but it gives the board an idea of YTD billed flow and pumped vs treated flow. What she's looking at is the three-year average that is used for the Rate Study.

USD Size Recommendation Memo- Jenessa Carter

Ms. Carter said that this is an information item. The memo outlines USD size recommendation for the 2020 Water/Sewer Rate Study.

If any customer community need to request a change to the USD recommendation, please contact Ms. Carter by June 30th.

2020 Rate Study Schedule Memo – Jenessa Carter

Ms. Carter stated that this is also an information item regarding the Rate Study. In the memo attached she outlines the schedule for the 2020 Rate Study and dates of when major tasks are due.

If you have any questions about the attached Rate Study schedule, please contact Ms. Carter.

Updates

May Awards- Jeff McCaul

Mr. McCaul gave an overview of the May awards. One project was awarded in May, it is the Reconstruction of Hastings Street from Prospect Avenue to College Avenue and Sinclair Avenue from Hastings Street to 275' North of Hastings Street. The project is not integrated.

Lead & Copper Sampling & Construction – Mike Grenier

Mr. Grenier gave an update on the lead and copper sampling that will continue until September. Currently, the 90th percentile is 7ppb which is what he was expecting to see. There are 22 test kits out at different homes in the City. He will be sending a weekly update of the sampling progress to management.

With construction projects, no projects are affecting demand. The plant completed a trial run on the new plate settlers, and it was successful. Mr. Hurt asked if the sampling kits are only for the City of Grand Rapids? Mr. Grenier said yes. Other customer communities are responsible for their sampling if they have lead service lines.

Public Comment

Ms. Sasy from EGLE joined the meeting and she gave the board an overview of her role in drinking water. Her office of Clean Water Public Advocate was created by the Governor to engage and inform Michigan residents on water quality. Her office will be creating metrics on water quality, transparency, and community engagement. Her office will be creating and sharing general educational material that community water systems can use to engage their customers.

Items from Members

Mr. Jernberg said that late fees are being implemented again as of June 9th. As Ms. Carter mentioned, a total of \$268,000 late fees has been waived. This allowed for every customer in the system to take advantage of the waiver. Mr. Hurt asked what percent of customers continued to pay their utility bills? Mr. Jernberg will work on getting additional data on billing.

No further items from members.

Next Meeting – July 16, 2020

The next meeting is scheduled for July 16, 2020.

Adjournment

Motion to adjourn by Mr. Grenier second by Mr. Schmalzel.

MOTION CARRIED

The meeting was adjourned at 9:32 am.